



**Specifications for
The Pennsylvania Horticultural Society's
LandCare Stabilization
Fall 2024**

August 22nd 2024

The Pennsylvania Horticultural Society
100 North 20th Street Suite 405
Philadelphia, PA 19103-1495

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*Project funded by the City of Philadelphia
Division of Housing and Community Development*



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Technical Specifications

Group

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- Maps of Sites
- Drawing
 - Existing Conditions
 - Fence & Tree Layout



August 22nd, 2024

Dear Contractor,

Attached is the Philadelphia LandCare Stabilization Bid Package for Fall 2024. Please review this material and call Kaitlyn Dibble at (215) 988-8834 with any questions.

Bids are due Tuesday September 3rd at 12:00 PM and are to be submitted online through our online web portal - https://PHSonline.formstack.com/forms/stabilization_bid_package_Fall_2024 . Awarded contractors will be notified by Friday, September 13th. However, on-site work may commence no earlier than Monday September 16th and after all contract obligations have been met and “Notice-to-Proceed” letters have been issued.

As in previous years, you are not required to bid on more than one group. Please bid on as much as you feel you can handle. If you would like to bid on everything and feel you can only handle a certain square footage, please note this on the bid form where indicated.

PHS reserves the right to remove any site or piece of work from this contract if conditions change. If changes arise pertaining to the scope of the work, we will contact all potential contractors via written addenda to this bid package.

I am looking forward to another successful year of keeping the city green.

Sincerely,

Kaitlyn Dibble
Philadelphia LandCare Operations Manager
The Pennsylvania Horticultural Society



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00100 INVITATION TO BID

1.01 General

1. The Pennsylvania Horticultural Society (PHS), a Pennsylvania non-profit corporation, invites bids for work on **The Pennsylvania Horticultural Society's Philadelphia LandCare Stabilization Fall 2024**, in accordance with the General Conditions, Supplementary or Special Conditions, Addenda, if any, and other Contract Documents referred to herein, subject to the following terms and conditions.

1.02 Receipt And Opening Of Bids

1. Bids shall be submitted online using this link: [Submit Bid Documents](#). All required documents must be attached to this electronic bid submission.
2. **Bids shall be submitted until 12:00 p.m. on Tuesday September 3rd, 2024.** Any bid received after said hour will not be accepted. Any bid may be withdrawn prior to said time, but no bid may be withdrawn after bids have been viewed. Bids will be opened privately by PHS.

1.03 Contract Documents

1. Bonds are not required for this project.

1.04 Contract Time Frame

1. All construction work under this contract shall **begin Monday, September 16th, 2024.**



00200 INSTRUCTIONS TO BIDDERS

1.01 Scope Of Bids

1. Sealed bid packages shall be submitted for work pertaining to **The Pennsylvania Horticultural Society's Philadelphia LandCare Stabilization Fall 2024**. The Pennsylvania Horticultural Society invites bids for the construction of the titled project. Bids will be received by PHS at the time and place stipulated in the Invitation to Bid.

1.02 Examination Of Site Drawings, Etc.

1. Each bidder shall visit the site of proposed work and fully acquaint himself with conditions as they exist so that he may fully understand the facilities, difficulties, and obstructions attending the execution of work under this contract.
2. Bidders shall also thoroughly examine and be familiar with the Drawings and Specifications. The failure or omission of any bidder to receive or examine any forms, documents, or to visit the site and acquaint themselves with conditions shall in no way relieve any bidder from obligation with respect to his bid. Each bidder shall also thoroughly examine, and be familiar with, the drawings and specifications of all trades involved in the project.

1.03 Interpretation And Addenda

1. Should a bidder find during examination of the Drawings and Specifications, or after examination of the site, any discrepancies, omissions, ambiguities or conflicts in or among the Contract Documents, or be in doubt as to their meaning, he shall notify PHS before the bid opening date.
2. Any and all interpretations, and any supplemental instructions, by PHS shall be in the form of written addenda to the Specifications, not later than two (2) days prior to date of receiving bids. Failure of any bidder to receive any such addenda or interpretations shall not relieve him from any obligation under this bid as submitted. All addenda so issued shall become part of the Contract Documents.



1.04 Bid Package

1. All blank spaces on the bid forms must be filled out. The excel bid form is accessible through the web link and must be completed and attached to submission. If bid is not fully filled in it will not be accepted. PHS has the right to accept any part of the bid per site, so contractor may be bidding on work that is omitted. Contractor will be notified of this prior to contract signing.
2. Each bid shall be contained in a sealed envelope bearing on the outside the name and address of the Bidder and the designation or title of the bid.
3. PHS may consider as informal and unsatisfactory any bid not prepared and submitted in accordance with the provisions hereof. No conditional bid will be considered by PHS. Bid Security Performance and Labor and Material bonds are not required for this project.

1.05 Identification Of Bidder

1. Each bid must be executed under seal in the exact legal title or name of the bidder; and the bidder's business address and telephone number shall be given. In addition:

If the bid is made under an assumed or fictitious trade name, there shall be stated the names and respective residence addresses of all parties interested and whether said name has been registered pursuant to the Act of May 24, 1945, P.L. 967, 54 P.S. 28.1, as amended.

If the bidder is firm or partnership, the names and residence addresses of all the partners shall be given.

If the bidder is a corporation, the State of incorporation shall be given and if it is a foreign corporation (not incorporated in Pennsylvania), a statement shall be made as to whether or not the corporation has obtained from the Department of State, Commonwealth of Pennsylvania, a certificate of authority to do business in Pennsylvania.



1.06 Qualifications Of Bidder

1. PHS may make such investigations as it deems necessary to determine the ability of the bidder to perform the work; and for this purpose the bidder shall furnish all information that PHS may request.
2. The bidder shall issue a completed Statement of Bidders Qualifications as part of the bid.

1.07 Acceptance Or Rejection Of Bids

1. PHS, in its sole discretion, may waive any informality in any bid, may accept or reject any or all Bids deemed in the best interest of PHS.
2. PHS shall announce the accepted bidder within two weeks after the opening of the bids, but such announcements shall not be construed as a rejection of any other bid.
3. The accepted bidder shall promptly execute the contract, work schedule and all related documents, which shall be prepared by the owner substantially in accordance with the accompanying respective forms. Work will not begin until all legal documents are received.

1.08 Insurance

1. The accepted bidder will be required to submit at the time the contract is entered into, satisfactory evidence of insurance coverage specified in **Sample Contract Section 00400**.
2. The contractor shall submit a completed insurance binder to PHS listing the appropriate co-insureds as specified in the contract prior to the start of work. Said insurance binder shall be valid for entire length of the contract.



1.09 Award of Contract

1. The contract award will be made to the bidder whose bid is deemed by PHS to be in its own best interests. Additional consideration will be given to contractors who:
 - Are minority owners or have minority employees
 - Whose business is located in the city of Philadelphia
 - Businesses that employ workers living in the city of Philadelphia (City Resident Form to be filled out. If applicable, please attach proper documentation.
2. The accepted bidder shall execute a contract within (4) four business days of receipt of the notice of award and contract forms; a sample contract form is found in section 00300.
3. Failure of the accepted bidder to enter into an agreement within (4) four business days shall be grounds for forfeiture of the contract by the bidder.



Scope of Work

The scope of work is described herein and on design drawings. Additional sheets describe technical specifications for installation and design components. Steps are arranged in a logical construction sequence and should be used as a guide. The Contractor should discuss with PHS any need to deviate from recommended construction sequence or methods prior to commencing work. All subcontractors must be approved by the City of Philadelphia.

Work is to begin upon contract signing depending on weather conditions. All sites shall be finished in two phases, **the first phase includes cleaning and lawn installation, this must be completed by Friday, May 10th. The second phase is fence installation, which must be completed by Friday May 24th. Contractor shall provide PHS with a schedule of work for each project site and a signed contract before any work can commence.** Once work is in process, contractor will be responsible to send PHS an updated schedule the Friday prior to the upcoming week's work. The schedule can be emailed to Kaitlyn Dibble at kdibble@pennhort.org.

Billing invoices may only be submitted on a per site basis after implementation is complete. **Payments will only be made when all implementation work at a single site has been completed and approved.** Partial payments will not be paid. Contractor is required to use the invoice forms provided by PHS. Failure to use these forms will result in contractor not being paid. Forms can be mailed, faxed, or e-mailed to PHS to the attention of Kaitlyn Dibble. PHS shall remit payment to contractor within sixty (60) days of receipt of invoice. **PA One-Call must be contacted before any work may begin.** Contractor shall maintain all verifications but will be required to turn over copies to PHS upon request.

Recommended Equipment

PHS recommends the Contractor have the following equipment available, however the contractor is responsible for making available all the necessary equipment required to complete the work according to the specifications. This list is only a recommendation.

- Front-end loader or equivalent for lot clearing, debris removal and grading
- Bob Cat with Harley Rake or Preparator attachment, tractor with York rake attachment or equivalent for lot cleaning, grading and incorporating topsoil and organic amendments to 3-inch depth
- Portable 500-gallon water tank or on-site water source, connectors, and hose lengths
- Electric generator or other on-site source of power for hand tools
- Saws-all, circular saw, or equivalent, and levels needed for fence construction
- Hand drill with large diameter bits for fence construction
- Tools for digging post holes (auger), raking, litter and debris clean up, etc.
- Jack hammer or other equipment to break concrete



Site Preparation

Step 1 - Debris Removal:

- A. Contractor shall remove all trash, rubble, and debris (tires, cinder blocks, wood, litter, paper, trash, etc.) found on-site and dispose of properly and legally. **This may not be left at the curb.**
- B. Contractor shall remove any additional hardscape materials or fences as directed on the Design Drawings and/or Bid Forms. This will show up as an additional charge on the Bid Forms.
- C. Contractor is responsible for all costs related to removal of debris found at the site at the time construction begins. Costs for removing debris dumped at the site after construction commences shall be negotiated between Contractor and PHS. Contractor must receive approval before removing debris/short-dumping or payment will not be granted.
- D. Sidewalks are to be included in all installation and maintenance operations.

Step 2 - Tree/ Weed Removal:

- A. Remove trees and/or selected limbs from trees as indicated on design drawing. All trees under 2” caliper shall be removed in entirety, including roots.
 - 1. Trees over 2” in caliper and noted for removal on Design Drawings, shall be cut at level with soil and treated with **Brush Be Gone®**, or an equivalent product, to discourage regrowth. Product is to be approved by PHS prior to application. During the term of the maintenance contract, contractor must remove all regrowth and spray as needed.
 - 2. Removal of all debris associated with tree and limb removal is the responsibility of the contractor. Regrade as necessary.
 - 3. Any stumps located along fence lines or next to foundations, which can not be pulled out, must be cut as close to the base as possible and treated with **Brush Be Gone®**. PHS should be notified of this issue before work commences. PHS must approve any product substitution.
- B. All fence lines, building edges, and sidewalks adjacent to site shall be sprayed. **This will not always be noted on the drawing but is the responsibility of the contractor.**
- C. Noxious weeds should be reported to PHS, a plan for removal shall be set-up and if needed additional prices from the contractor negotiated and added to scope of services.

Site Installation

Site Conditions are noted on drawings and bid forms. Use this chart to determine appropriate steps.

Site Condition A go to step 1	Site is hard, compacted, has debris showing
Site Condition B go to step 1	Site has areas of compaction within existing lawn or has been recently leveled
Site Condition C go to step 3	Site has lawn which needs current maintenance



Step 1 - Lawn Preparation (if not applicable skip to Step 3):

Project Sites listed as Condition A or B contain areas where lawn prep is needed to complete the scope of work. Contractor shall verify dimensions and measurements of project sites as described in Design Drawings and Scope of Work and notify PHS of any major discrepancy prior to beginning work.

Site Condition A

Install lawn on entire site unless otherwise indicated by design drawings, if hardscape exists, or there are other notations.

- A. All rubble, trash, and debris shall be removed legally.
- B. Existing vegetation in the determined work areas shall be cut down to a height of approximately 1-1½". If major weeds are evident, and they will effect growth of new grass, contractor must spray area with Roundup or equivalent product before proceeding and before site has been disturbed (other then for cleaning purposes).
- C. Using appropriate earth moving equipment, such as a grader or front-end loader, a rough grade shall be established to remove depressions from site and level out grade; positive drainage off site is required unless otherwise noted. Contractor may use "cut and fill" techniques in order to establish a stable and level grade.
- D. Any fill areas must be compacted to prevent future settling.
- E. After rough grading and leveling, a BobCat with Harley Rake or preparatory attachment, shall make 3 passes over the entire area, with each pass being in a different direction, and to a depth of 3 to 4 inches. The existing soil should be properly scarified so as to prevent a hardpan under applied soil. Bid Forms will indicate the approximate amount of soil to be incorporated into each site. This is a guide and contractor shall inform PHS prior to ordering material, if more soil will be needed. PHS will approve and give contractor the go ahead to order. This will not increase any other installation costs for PHS.
- F. A 3" layer of amended topsoil is then to be incorporated into the prepared subsoil (this can be done on the third pass to minimize compaction) and fine raked to finished grade. Additional debris brought up to the surface through this process shall be removed from the site and disposed of legally and properly.
- G. **Contractor shall set up all soil deliveries.** Soil shall not be delivered to site until all necessary debris removal and earthwork is completed and approved. **Costs for soil and shall be the responsibility of PHS.** Contractor or his agent must be on site to receive soil. All invoices to be turned into PHS within two weeks of delivery. Contractors will be given supplier of soil once contracts are awarded.



Site Condition B

Sites with this condition have areas of existing grass; areas of compaction; sub-surface debris or the site has been recently leveled. This site should be treated in a way that when finished the area will have positive drainage off site and a full stand of lawn. There may be a need to fill in depressions or remove mounds on site that will affect drainage patterns or cause difficulties in mowing. The site may also contain areas of heavy compaction or gravel evident in small spaces, in this case follow the steps provided for Site Condition A lawn installation where deemed necessary. Sites that are recent demolitions may require additional soil to be spread at a one inch depth to start seed germination.

***Site Inspection and approval by PHS is required before proceeding to next steps.**

Step 2 - Planting and Seeding (if not applicable, skip to step 3)

Lawn Installation for Condition A & B, **to be completed by Friday May 10th, 2024**

- A. PHS shall provide grass seed mix to be spread over the area of lawn installation. Contractors will be notified of the seed supplier once contracts are awarded.
- B. Hydro-seeding must be used at an **application rate of 8 lbs. per 1,000 sq. ft**
- C. The contractor shall provide manufacturer's literature and samples for any of the following items upon the request of PHS Operations Manager:
 - Mulches
 - Binders/Tackifiers
 - Fertilizers
- D. Contractor shall follow seeding with watering to a depth of 3 inches. PHS strongly encourages contractors to seed prior to forecast rain, however the contractor is responsible for watering to a depth of 3 inches within 48 hours of seeding, whether this is by natural or mechanical methods. Watering at time of seeding is the responsibility of the Contractor and is included as part of the lawn installation.

***Site Inspection and approval of PHS is required before proceeding to next steps.**



Step 3 - Fencing (if not applicable, skip to step 4):

Install Fence where shown on Design Drawings. **See Detail FE02VL-R. All fences must meet the specifications or contractor will be required to rework the fence until deemed acceptable.**

- A. Fence location to be marked in field by contractor and approved by PHS before installation. Locate fence run noting the lay of the land and possibility of buried foundations.
- B. Fence shall be located as close to the sidewalk as possible (if more than two feet from sidewalk contact PHS to negotiate an acceptable location) unless noted on drawings or barring obstruction from unseen foundations. Keep fence posts one foot from existing structures. Fence to be laid out per design drawings, all fence openings to range from a 4' opening to a 6' opening unless otherwise noted. **Location of fence can be adjusted only with prior approval of PHS.**
- C. The linear feet of fence noted on drawings and bid sheets are a best estimate, actual linear feet may vary slightly. Field conditions will determine final fencing figures.
- D. Once excavation of fence holes starts contractor may not leave open over night.

***Site Inspection and approval of PHS is required before proceeding to next steps.**

Step 4 - Tree Planting (if not applicable, skip to step 5):

- A. PHS is providing all trees, paying the purchase fee only. All trees tagged are 2-2½" caliper. Tree type and quantity for individual sites is noted on Design Drawings. PHS staff will set-up delivery with Nursery, verify quantity, and to pay for all delivery costs involved in order to get trees from the nursery to their final locations. PHS staff will coordinate pick up with awarded contractors.
- B. The Contractor will inspect trees upon delivery noting any defects, pre-existing damage, or other issues of concern affecting the quality or health of any tree. If issues arise, do not proceed with planting, but immediately contact PHS representative. PHS will assume all trees are acceptable upon delivery unless otherwise advised. PHS will inspect all trees on site. PHS has the right to inspect trees at any time while in the care of the contractor, given proper notification.
- C. The Contractor shall be responsible for storing and maintaining trees as necessary. Trees will be maintained, at minimum, in the condition in which they were delivered. The condition and health of the trees shall be the Contractor's responsibility from delivery/pick-up through planting and final inspection. The Contractor shall store and care for trees according to best nursery standards and practices.



- a. Trees shall be stored standing upright with appropriate spacing to protect trunks and limbs from abrasion
 - b. Trees shall be watered regularly to maintain optimum moisture and prevent drying of the root ball
 - c. Trees in storage for longer than 72 hours shall have root balls completely covered in wood chips or other appropriate mulching material.
 - d. The Contractor shall take care to preserve the integrity of the root ball during moving and planting, handling as few times as possible.
 - e. Trees shall not be thrown or dropped.
 - f. The Contractor will protect the trunk and limbs of trees during moving and planting.
 - i. Trees shall not be moved using the trunk as a fulcrum.
 - ii. Trunks shall be protected with cushioning material during moving and planting to prevent scraping and abrasion.
 - iii. All trees should be tarped during transport. If trees are flagging, the contractor is responsible for immediate watering (not included as a maintenance watering).
- D. Trees shall be planted as quickly as possible to minimize storage time. Contractor shall be responsible for moving trees from the delivery/storage area to each project site.
- E. Per Design Drawings, contractor is to field mark tree locations with paint and/or flags, then seek PHS approval before continuing with planting. Any location deemed unfit due to impermeability or subsurface debris will need a suitable replacement approved by PHS.
- a. Trees shall be planted according to site conditions as specified in Details PL01VL-R.
 - b. Wire baskets shall be cut and/or pulled away from the top 6 inches of the root ball.
 - c. Burlap shall be cut and/or pulled away from the top 6 inches of the root ball.
 - d. Root crown or trunk flare shall be exposed and at a level equal to or slightly (+/- 1 inch) above the surrounding grade.
 - e. Trees shall be thoroughly watered as part of, and at the same time as, planting to a depth of 6 inches.
 - f. Trees shall be mulched with wood chips or double shredded bark mulch to a depth of 4" within 72 hours of planting.

**CONTRACT
BY AND BETWEEN
THE PENNSYLVANIA HORTICULTURAL SOCIETY
AND**

(Contractor)

FOR

(Project)

THIS AGREEMENT is entered into as of this _____ day of _____, 20__, by and between THE PENNSYLVANIA HORTICULTURAL SOCIETY, 100 N. 20th Street, Philadelphia, Pennsylvania 19103, hereinafter referred to as "PHS," and _____ hereinafter referred to as the "Contractor."

The parties hereto, intending to be legally bound hereby, agree as set forth below.

SCOPE OF WORK/CONTRACT DOCUMENTS

The Contractor agrees to undertake and carry out in a satisfactory manner the work described in the Contract Documents, as hereinafter defined, and to furnish all labor, materials and services as indicated in and reasonably inferable from the Contract Documents (the "Work").

A "Notice to Proceed" authorizes Contractor to commence the Work at a particular site (the "Project").

If maintenance is to be included in the Work, a separate maintenance bid schedule shall be included.

References to "Contract" shall be deemed to be references to this Agreement between Contractor and PHS and the other Contract Documents taken as a whole. Terms not defined herein shall have the meanings given elsewhere in the Contract Documents.

The Contract Documents which constitute the entire agreement between PHS and the Contractor consist of the following:

Technical Specifications and Drawings describing the scope of the Work incorporated herein as Exhibit "A"

Accepted Bid Response, incorporated herein as Exhibit "B"

This Agreement between PHS and Contractor including Exhibits "C"

Any amendments and/or addenda issued pursuant to the terms of this Contract.

In the event of a conflict, the documents shall have precedence in the order in which they are listed above.

This Contract represents the entire and integrated agreement between the parties hereto and supercedes any prior representations or agreements, written or oral. The Contract may be amended or modified only by written agreement of the parties.

TIME OF PERFORMANCE

The time for performance of this Contract shall be from the date indicated in a Notice to Proceed to _____, unless PHS shall in writing grant an extension thereto.

On receipt of a Notice to Proceed from PHS's authorized representative, Contractor shall promptly commence the Work of the Project described in the Technical Specifications and Drawings.

The Contractor agrees to complete fully the provisions of this Contract as required by PHS during time for performance of the Contract stated in paragraph 2.1. If work can not be performed in the required time PHS may penalize the contractor. See Exhibit "C" for contractor penalization.

The Contractor shall be responsible for meeting the Work schedule requirements as directed by the PHS authorized representative.

COMPENSATION AND METHOD OF PAYMENT

Contractor shall be paid only for Work authorized by the Technical Specifications and Drawings and approved by the authorized representative of PHS in accordance with paragraph 5.11, herein. Compensation shall be in conformance with the compensation provisions in Exhibit "C" hereto. PHS shall make payment to Contractor upon submission by the Contractor of documented invoices satisfactory to PHS in form and substance substantiating Contractor's right to payment.

Contractor shall receive monthly payments based on invoices submitted at the end of each month. Payments will only be issued once the scope of work for a site is completed within the satisfaction of PHS. PHS shall remit payment to Contractor for invoices submitted and approved within sixty days (60).

Contractor shall promptly pay all workers and material and equipment suppliers under this Contract.

PHS shall have the right to withhold approval of payment because of:

- defective Work not remedied;
- failure of the Contractor to make payment properly for labor, materials or equipment;
- damage to property;
- failure to carry out the Work in accordance with the Contract Documents; or
- failure to comply with the provisions of this Contract.

When the above reasons for withholding approval of an invoice are removed, approval shall be granted for amounts previously withheld.

The approximate quantities represented in each bid package description are estimates and are not a guarantee by PHS of the quantities of what will be the actual requirements of this total Contract. Bidders shall make independent evaluation of these estimates in completing the bid forms.

TERMINATION/SUSPENSION

TERMINATION FOR CAUSE: PHS may suspend or terminate this Contract, Work under the Contract, or payment under this Contract, in whole or in part, for cause including but not limited to the following: (1) failure to comply with any terms and conditions of this Contract; (2) failure of the Contractor to progress with the Work as necessary to ensure completion within the time specified by this Contract; (3) failure of the Contractor to complete the Work within the time fixed in this Contract for its completion or within the time to which such completion may be extended; and (4) failure of the Contractor to act promptly to remedy or repair defective Work. PHS shall provide a ten-day notice with the right to cure or commence to cure prior to the expiration of the ten-day period.

SUSPENSION FOR CONVENIENCE: PHS may, without cause, order the Contractor in writing to suspend, delay or interrupt the Work in whole or in part for such period of time as PHS may determine. Contractor shall be paid all sums due prior to suspension and any actual expenses incurred in the interruption and resumption of the Work. The time for performance of the Work may be equitably adjusted.

TERMINATION FOR CONVENIENCE: PHS may at any time terminate this Contract for PHS's convenience, without fault of the Contractor.

ADEQUATE ASSURANCES: It is recognized that if Contractor becomes insolvent, or institutes or has instituted against it a case under Title 11 of the United States Code, or makes a general assignment for the benefit of creditors, or if a receiver is appointed for the benefit of its creditors, or if a receiver is appointed on account of insolvency, such event or events could impair or frustrate Contractor's performance of this Agreement. Accordingly, it is agreed that upon the occurrence of any such event, PHS shall be entitled to request of Contractor or its successor adequate assurances of future performance in the opinion of PHS. Failure to satisfy such requirement within ten (10) days following delivery of the request shall entitle PHS to terminate this Contract pursuant to paragraph 4.1. Pending receipt of adequate assurances of performance and actual performance in accordance therewith, PHS shall be entitled to proceed with the Work with other contractors.

PAYMENT ON TERMINATION/SUSPENSION: If PHS suspends or terminates the Contract, or Work under it, PHS shall be responsible for payment to the Contractor only for Work satisfactorily performed to the date of termination or suspension.

GENERAL CONDITIONS

LAWS AND ORDINANCES: All work performed and services rendered under this Contract shall strictly conform to all applicable laws, statutes and ordinances and all applicable rules, regulations, codes, methods, and procedures (collectively "Laws") required by any governmental or quasi-governmental departments, agencies, boards, bureaus, offices,

commissions or other bodies, including, but not limited to The City of Philadelphia and all its agencies.

DISCRIMINATION. In accordance with Chapter 17-400 of the Philadelphia Code as amended, Contractor agrees that its payment or reimbursement of membership fees or other expenses associated with the participation by its employees in an exclusionary private organization, insofar as such participation confers an employment advantage or constitutes or results in discrimination with regard to hiring, tenure of employment, promotions, terms, privileges or constitutes or results in discrimination with regard to hiring, tenure of employment, promotions, terms, privileges or conditions of employment on the basis or race, color, sex, sexual orientation, religion, national origin or ancestry, constitutes a substantial breach of the Contract entitling PHS to all rights and remedies provided in the Contract Documents or otherwise available at law or in equity. Contractor agrees to include the immediately preceding sentence (with appropriate adjustments for the identity of the parties) in all subcontracts and other agreements which are entered into for work to be performed pursuant to the Contract by subcontractors, consultants and others. Contractor further agrees to cooperate with the Commission on Human Relations of the City of Philadelphia in any manner which the said Commission deems reasonable and necessary for the Commission to carry out its responsibilities under Chapter 17-400 of the Philadelphia Code, as amended. Failure to so cooperate shall constitute a substantial breach of the Contract entitling PHS to all rights and remedies provided herein or otherwise available in law or equity.

CONTRACT WORK HOURS AND SAFETY STANDARD ACTS ("THE ACT"): The Contractor shall comply with all applicable provisions of the Contract Work Hours and Safety Standards Act and its implementing regulations. In addition to the causes for termination set forth in paragraph 4.1, above, PHS reserves the right to terminate this Contract if the Contractor fails to comply with the overtime provisions of the Act.

UNDERGROUND UTILITY LINE PROTECTION LAW:

The Contractor shall abide by all provisions of the Pennsylvania Underground Utility Line Protection Law that specify the Contractor's responsibilities in regard to public health and safety during excavation and demolition operations in areas of underground utilities.

The Contractor is responsible for making all required calls to the PENNSYLVANIA ONE-CALL SYSTEM (1-800-242-1776), the calling system in direct contact with many utilities within the Commonwealth. Work site locations are included herein. The Contractor will provide to the PHS authorized representative the PA ONE-CALL serial number assigned to each Project within 24 hours of Project implementation.

The ONE-CALL SYSTEM does not replace the requirements of the Underground Utility Line Protection Law.

PERMITS: The Contractor shall be responsible for obtaining all permits for the project Work including tree planting permits and hydrant permits. The Contractor shall be responsible for obtaining all necessary permits, licenses and consents of any kind from any federal, state, or local governmental or quasi-governmental authorities for the performance of the

Work, and shall give all notices required by law. The charge or fee for any permit, license or consent required for the performance of the Work shall be assumed by the Contractor. Contractor shall be fully responsible for knowledge and possession of all permits required and PHS will cooperate fully with Contractor in obtaining such permits.

PROTECTION OF EXISTING SEWERS, CULVERTS, WATER LINES AND GAS AND ELECTRICAL UTILITIES: The Contractor shall use approved methods of construction to insure the safety of the existing structures and utility lines. Any damage caused by the Contractor shall be the responsibility of the Contractor and the Contractor shall repair such damage at no cost to PHS, the City of Philadelphia or the owner of the property so damaged.

NON DISCRIMINATION: In the performance of this Contract, the Contractor shall not discriminate against any person because of race, color, religion, sex, sexual preference, disability, age, veteran status or national origin. In the event of such discrimination, PHS may terminate this Contract whereupon all of PHS's obligations under this Contract shall cease and desist, save only the obligation to pay Contractor the sums due for services previously performed prior to the date of termination in strict and exact accordance herewith.

USE OF SITE/ACCESS TO WORK:

The Contractor shall confine operations at the sites to areas permitted by Laws, permits and the Contract Documents, and shall not unreasonably encumber the sites with materials or equipment. Contractor shall not place or maintain any banners, signs, posters or structures on any site without the prior approval of PHS.

The Contractor shall, at all times, give to PHS and its authorized representatives access to all necessary facilities. The Contractor shall cooperate, including providing access to take photographs, and to determine, both on the work sites and at the places of manufacture or preparation, that all workmanship and materials furnished under the Contract conform strictly to the specifications and terms of the Contract Documents.

LABOR: Contractor shall enforce strict discipline and good order among the Contractor's employees and other persons carrying out the Contract. The Contractor shall not permit employment of unfit persons, persons not skilled in tasks assigned to them or persons who cause any interruption to the performance of the Work of this Contract. Contractor shall dismiss from the Work any employee of the Contractor to whom PHS makes reasonable objection.

SAFETY:

The Contractor shall be responsible for all safety precautions at Project sites. The Contractor shall at all times exercise reasonable precautions for the safety of the public and of the employees of the Contractor and of PHS and other workers with regard to the work performed under this Contract, and shall comply with all applicable provisions of federal, state and local safety laws and regulations. All machinery shall be operated in accordance with manufacturer's instructions. Contractor shall guard against physical hazards in accordance with applicable

standards and Laws, and utilize signs, caution tape or fencing as appropriate to protect the public.

In an emergency affecting the safety of persons or property Contractor shall act in the Contractor's discretion to prevent threatened damage, injury or loss. The Contractor shall give prompt written notice to PHS of any accident involving personal injury requiring a physician's care or any property damage exceeding \$250.00 in value. A detailed written report shall be furnished if requested by PHS.

If Contractor recognizes a hazardous condition on a Project site for which reasonable precautions will be inadequate to prevent foreseeable bodily injury or death to persons resulting from such conditions, including but not limited to hazardous materials such as asbestos or polychlorinated biphenyl (PCB), Contractor shall immediately stop Work in the affected area and report the condition to PHS in writing. When the condition has been rendered harmless, Work shall resume on written agreement of PHS and the Contractor. The time for performance of the Work may be extended appropriately.

INSPECTION/RIGHT TO REJECT WORK:

All materials furnished under the Contract shall be as specified and required in the Contract Documents and all the Work shall be completed to meet quality and standards described herein. PHS shall have the right to reject defective Work or require its correction. If the Contractor fails to proceed at once with correction of rejected Work, PHS may, in its sole discretion and without prejudice to any other rights or remedies available to PHS, have the defects remedied and charge the cost of the same against any moneys which may be due the Contractor.

An authorized representative of PHS shall inspect the Work performed under this Contract, and he/she is also hereby authorized and empowered to reject and refuse all Work which does not comply in kind, quality, quantity, time or place with the requirements of the Contract Documents.

The inspection, approval or acceptance of any part of the Work or any payment on account thereof, shall not prevent the rejection of said Work at any time thereafter during the existence of the Contract and prior to final payment, should said Work be found to be defective or not in accord with requirements of the Contract Documents.

The presence of PHS authorized representatives shall not lessen the obligations of the Contractor for performance in accordance with the requirements of the Contract Documents, or be deemed a defense on the part of the Contractor for an infraction thereof. PHS authorized representatives are not authorized to revoke, alter, enlarge, relax or release any of the requirements of the Contract Documents. Any omission or failure on the part of PHS authorized representatives to disapprove or reject any Work shall not be construed to be an acceptance of any such defective Work.

PERMISSIBLE CHANGES AND ALTERATIONS IN THE WORK:

Should it be deemed necessary by PHS or the Contractor, in the execution of the work, to make variations desirable or necessary for the stability, safety, economy or betterment of the Work, which variations increase or decrease the quantities of work specified or change the location thereof to an extent not unreasonably affecting the conditions of the Work, the Contractor shall, upon written order from PHS to that effect, make such variations. If such variations diminish the quantity of the Work to be done, an appropriate reduction in the amount payable to the Contractor under the Contract will be made, and the Contractor shall make no claim for damages or for anticipated profits on the work that is eliminated. If such variations increase the amount of Work, the value of such increase shall be determined and fixed by PHS in accordance with the quantity of such Work actually done, and, where applicable, at the prices stipulated in the unit price schedule in the Contract Documents.

Should the Contractor consider itself entitled to extra compensation on account of the above alterations or changes, before proceeding with the Work in question it shall notify PHS in writing. No changes or alterations in the scope of Work shall be made without prior authorization in writing by the PHS authorized representative. Should, in the opinion of PHS, any contemplated change in the quantities of the Work or alterations thereof materially increase the compensation for same, then the Work shall be considered to be "Extra Work" and the Contractor shall be paid for same in accordance with paragraph 5.13.

The Contractor may make substitutions only with the prior written consent of the PHS authorized representative.

Written orders varying the scope of the Work and indicating an adjustment in the time for performance of the Contract and/or the compensation due Contractor when signed by PHS and the Contractor stating their agreement to the terms are "Change Orders."

EXTRA WORK: Extra Work, not originally contemplated under the Contract and not otherwise provided for in a unit price schedule herein, shall be performed by the Contractor only when authorized by Change Order.

INSURANCE: The Contractor shall have in effect at all times during the term of the Contract insurance from a carrier rated "A" or better by A.M. Best or an analogous rating from a similarly recognized rating agency:

The Contractor shall carry or require that there be carried worker's compensation insurance for all persons engaged in the Work under the Contract and in accordance with all applicable worker's compensation laws.

The Contractor shall procure and maintain in effect for as long as the Contractor has obligations under the Contract adequate public liability and property damage insurance to protect the Contractor, its agents, or employees and/or subcontractors, the public, and PHS employees, from claims for bodily injury, accidental death and damage to property, which may arise from operations under this Contract, whether or not such operations are undertaken by the Contractor

or anyone directly in its employment. Such insurance shall include the following coverage in at least the following amounts:

comprehensive public liability and property damage insurance in the amount of one million dollars (\$1,000,000.00) per occurrence with an annual limit of not less than two million dollars (\$2,000,000.00); and

protective liability and property damage insurance in the amount of one million dollars (\$1,000,000.00) with an annual limit of not less than two million dollars (\$2,000,000.00).

The Contractor shall carry, and require that there be carried by any of its agents or subcontractors doing work under this Contract, comprehensive automobile liability insurance covering owned, hired and non-owned vehicles used in connection with any Work being performed under this Contract, with limits of one million dollars (\$1,000,000.00) per each person and one million dollars (\$1,000,000.00) per occurrence for bodily injury (including death) and property damage in a single primary contract of insurance.

Each such policy shall name PHS, and the City of Philadelphia as additional insureds and provide that PHS shall receive thirty (30) days' prior written notice of any material change in or cancellation of such policy. The Contractor shall at the request of PHS provide PHS with copies of certificates evidencing such insurance. The Contractor shall increase the amount of such insurance upon the reasonable request of PHS.

The Contractor shall provide prompt written notice to PHS of all losses, damages or injuries to any person or to the property of PHS or any third persons, which might in any way be related to the performance of the Work under this Contract. The Contractor shall promptly report to PHS all such claims of which the Contractor has notice, whether related to matters insured or uninsured. No settlement or payment for any claim or loss, injury or damage or other matter as to which PHS may be charged to make a payment or reimbursement shall be made by the Contractor without the prior written approval of PHS. The Contractor shall assist and cooperate with PHS and any insurance company in the adjustment or litigation of all claims.

The Contractor is responsible for compliance with the insurance requirements herein. No act or omission of any insurance agent, broker or insurance company representative shall relieve the Contractor of any of its obligations under this Contract.

INDEMNIFICATION: The Contractor shall indemnify, save and hold harmless PHS, the City of Philadelphia, and their agencies and departments, subsidiaries, affiliates and each of their directors, officers, representatives, agents, employees, and volunteers from and against all claims, damages, losses, liabilities, cause of action, orders, decrees or judgments or other expenses, including attorneys' fees, whether for injury, death or damage to person or property which arise out of or result from the performance or non

performance of any of the Work by the Contractor under this Contract, provided that any such claim, damage, loss or expense is caused in whole or in part by the negligence, gross negligence or willful misconduct of the Contractor or any subcontractor of the Contractor, anyone directly or indirectly employed by any of them, or anyone for whose acts the Contractor is liable.

ASSIGNMENT OF CONTRACT: The Contractor and its designated representatives shall give his/her best efforts and personal attention to the faithful completion of the work and shall not subcontract Work or assign, transfer, convey or otherwise dispose of either the Contract or any legal right, title or interest in or to the same or to any part thereof without the prior written consent of PHS.

NOTICES: Any notice given under the Contract shall be in writing. Written notice shall be sent by hand delivery, by receipted overnight delivery service by a reputable carrier, by registered or certified mail, postage prepaid, return receipt requested or by facsimile. Any notice sent by facsimile must be followed within three (3) days by written notice sent by one of the four other methods listed. Unless otherwise expressly provided in this Contract, all notices shall be effective two (2) days after deposit in the United States mail, or one (1) day after being sent by overnight delivery service or when delivered by hand, all as evidenced by a signed receipt. Notices shall be sent to the parties at the following addresses:

If to PHS:
The Pennsylvania Horticultural Society
100 North 20th Street, 5th Floor
Philadelphia, PA 19103-1495
Fax (215) 988-8810
Attention: _____

If to Contractor:

WEATHER: PHS's authorized representative may in his or her sole discretion order the suspension of Work in whole or in part, due to weather or the effects of weather, for such time as (s)he considers to be unfavorable for the satisfactory performance of the Work.

SECURITY OF STORAGE FACILITY: The Contractor shall be responsible for maintaining a secure and safe storage facility for all equipment and supplies being stored for PHS Work at Contractor's yard, storage/nursery facility. Contractor shall deliver, handle, and store all plant stock and materials in accordance with the highest standard of care.

REQUIRED REPORTING: The Contractor shall maintain records satisfactory to PHS of Work performed, including labor, equipment and material used.

LIENS. Contractor, for itself and anyone else acting or claiming through or under it, does hereby waive and relinquish all right to file a mechanics' or materialman's lien, or notice

of intention to file any lien, and does hereby covenant, promise and agree that no mechanic's lien or other lien of any kind shall be filed or maintained against any Project or improvements at any Project site or the estate or title of any owner of real property, PHS, and the City of Philadelphia for services rendered, Work done or materials furnished in connection with this Contract.

MISCELLANEOUS:

Only the authorized representatives of the parties may amend or waive provisions of the Contract. Any amendment to the Contract and any waiver of any of the provisions of the Contract must be in writing executed by both of the parties to the Contract. If either party fails to enforce any term of the Contract, failure to enforce on that occasion shall not prevent enforcement on any other occasion.

All rights and remedies conferred by the Contract are cumulative and may be exercised singularly or concurrently. If any provision of the Contract is held invalid by any law or regulation of any government or by any court, such invalidity shall not affect the enforceability of other provisions in the Contract. The Contract shall be governed by and interpreted in accordance with the laws of the Commonwealth of Pennsylvania without regard to the conflict of laws statutes.

Each party hereto acknowledges that it has entered into the Contract as an independent contractor and is not, and shall not hold itself out as an agent, representative or employee of the other party hereto, except as provided for under this Contract or by operation of law.

The Contractor acknowledges that it has read the Contract, understands the same and agrees to be bound by same. This Contract shall supersede all prior contracts, agreements, amendments, addenda, extension and proposals, whether oral or written, and any and all negotiations, conversations and discussions relating to same.

All descriptive headings in this Agreement are for convenience of reference only and in no way shall be used to construe or interpret this document.

The obligations of the Contractor under the selections titled "Insurance" and "Indemnification" shall survive the termination or expiration of the Contract.

PHS and the Contractor have executed this Agreement on the date indicated below with the document intended to be effective as of the date first written above.

THE PENNSYLVANIA HORTICULTURAL SOCIETY

By _____

Date: _____

CONTRACTOR

By _____

Date: _____

SAMPLE

Exhibit A

Technical Specifications and Drawings

See drawings and scope in bid documents.

SAMPLE

Exhibit B

Accepted Bid Response

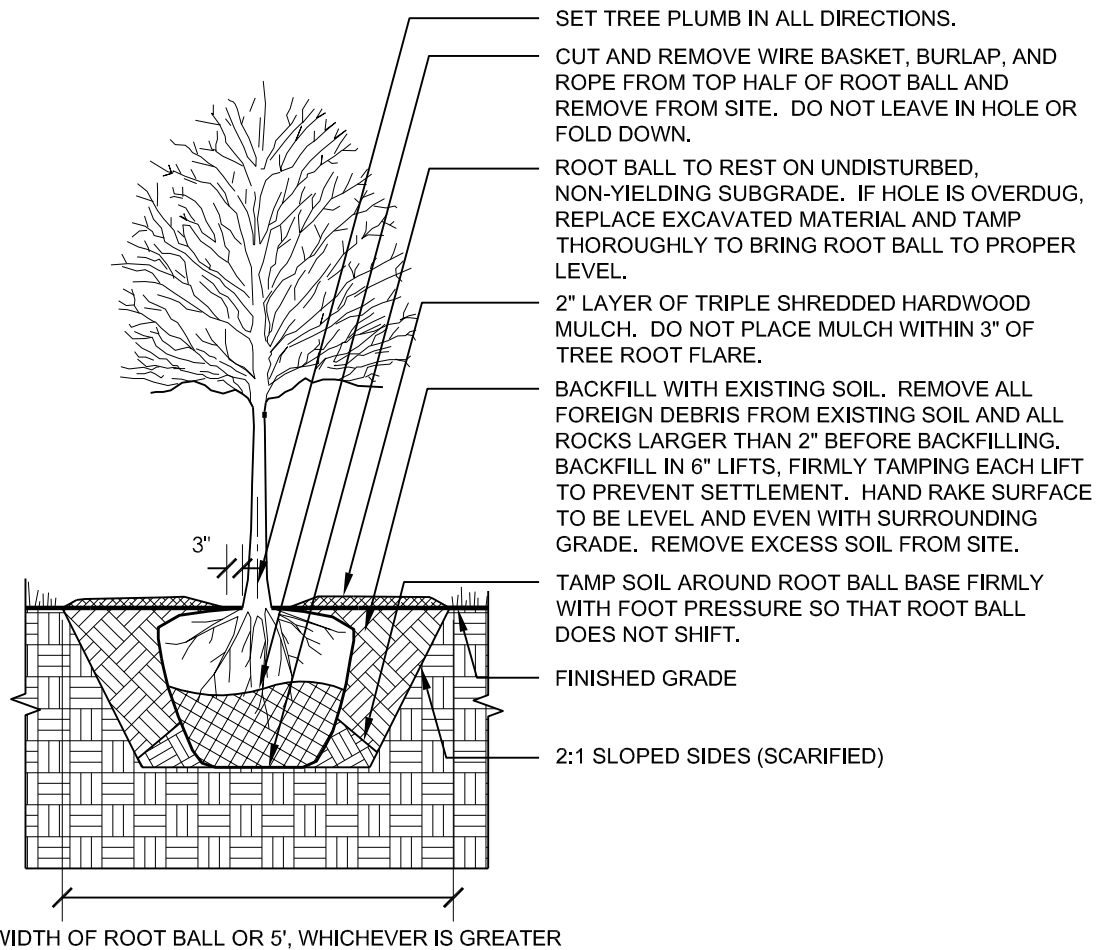
SAMPLE



Exhibit C

Compensation

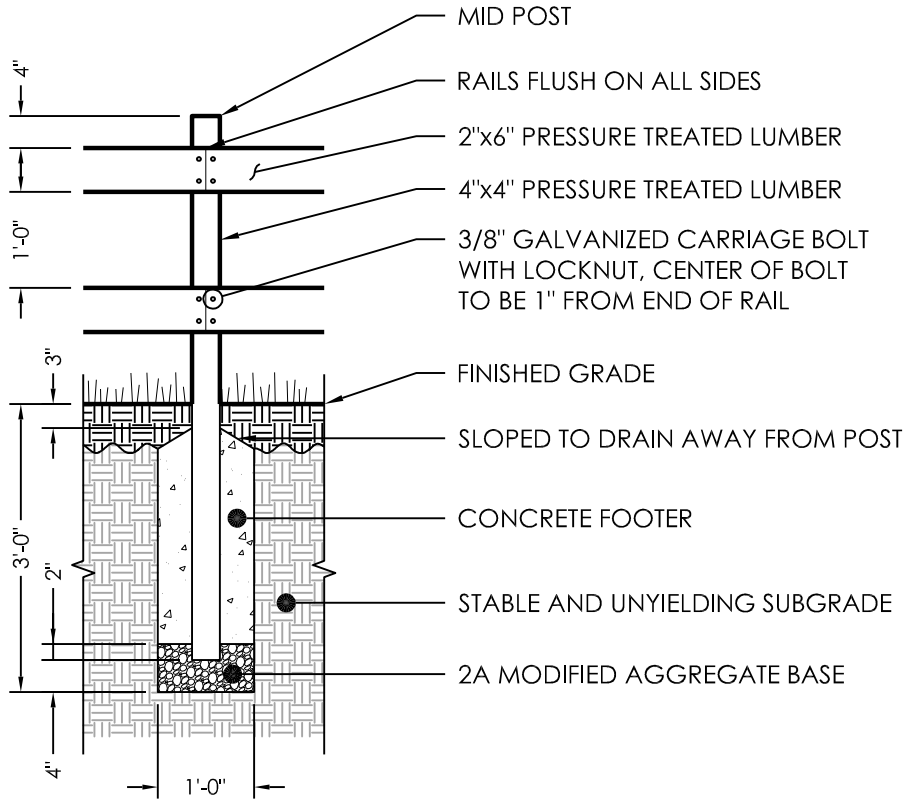
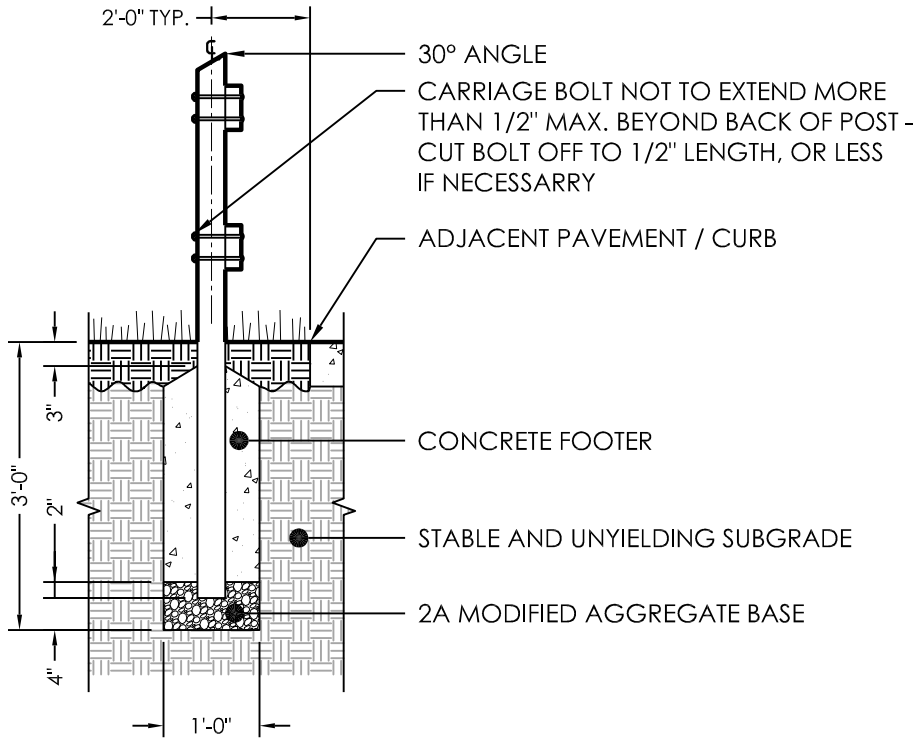
Penalization: PHS will hold contractor to all dates set forth in the contract. If contractor fails to meet deadlines PHS will either cancel contract or impose a 5% penalty for work not completed. All sites which are not complete will receive a 5% penalty every week that they are late.



GENERAL NOTES:

- CONTRACTOR SHALL ENSURE THE HIGHEST TREE ROOT FLARE IS LOCATED PRIOR TO EXCAVATING. CONTRACTOR SHALL EXCAVATE PIT TO A DEPTH THAT ENSURES **THE HIGHEST ROOT FLARE IS FLUSH WITH EXISTING GRADE**. THE TREE MUST REST ON UNDISTURBED OR COMPACTED SUBGRADE. **TREES PLANTED LOW OR HIGH WILL BE REJECTED.**
- PRIOR TO PLANTING, THE CONTRACTOR SHALL NOTIFY PHS IN WRITING, IF SOIL CONDITIONS ARE DEEMED BY CONTRACTOR DETRIMENTAL TO PLANT GROWTH.
- CONTRACTOR SHALL VERIFY TREE PIT IS FREE DRAINING AND NOTIFY PHS IF IT IS NOT.
- CONTRACTOR SHALL NOTIFY PHS OF BELOW GRADE OBSTRUCTIONS PRIOR TO PLANTING.
- THE TRUNK OF THE TREE SHALL NOT BE USED AS A LEVER IN POSITIONING OR MOVING THE TREE.
- CONTRACTOR SHALL REMOVE TREE WRAP AND/OR SHIPPING MATERIALS FROM TREE ONCE PLANTING IS COMPLETE.
- CONTRACTOR SHALL LEAVE IN PLACE PHS/CONTRACTOR TAGGING SEAL. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CO-DOMINANT LEADERS, BROKEN, DEAD, OR DAMAGED BRANCHES. PRUNE WITH A CLEAN CUT PER ANSI A300 & ISA (2008) STANDARDS. DO NOT CUT TREE LEADER.

Revision Date 08/01/11	BASIC TREE PLANTING SECTION / ELEVATION DETAIL	Project Of: 	Project Manager: 
Scale 1/4" = 1'-0"			
PL01VL-R			
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800			



Revision Date
01/25/12

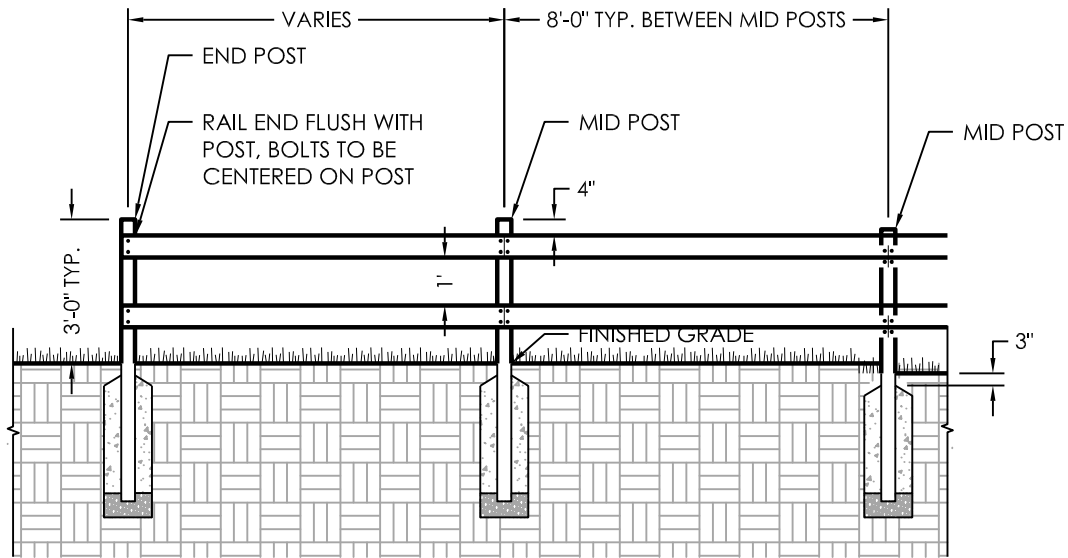
Scale
1/2" = 1'-0"

POST & RAIL WOOD FENCE

CROSS-SECTION DETAILS







FE02VL-R



GENERAL NOTES:

1. VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE STARTING WORK. CALL PA ONE CALL SYSTEM: 811 OR 1-800-242-1776.
2. USE EXTREME CARE TO PROTECT ALL EXISTING ELEMENTS FROM DAMAGE OR DISPLACEMENT. REMOVE ANY DEBRIS OR TRASH UNEARTHED DURING EXCAVATION AND DISPOSE OF LEGALLY.
3. LAYOUT AND STAKING OF POST AND RAIL FENCE IS TO BE DONE IN THE FIELD BY THE CONTRACTOR AND APPROVED BY PHS BEFORE THE START OF CONSTRUCTION. TYPICAL HEIGHT OF POST AND RAIL WOOD FENCE SHOULD BE 3'-0" UNLESS SPECIFIED OTHERWISE ON DRAWING.
4. DRILL OR HAND-EXCAVATE HOLE FOR WOOD POST TO A DEPTH, DIAMETER, AND SPACING INDICATED ON THE DRAWING OR PLAN. EXCAVATE HOLE IN FIRM, UNDISTURBED, OR COMPACTED SOIL TO LOCAL FROST DEPTH.
5. POSITION PRESSURE-TREATED WOOD POST IN SIX (6) INCH AGGREGATE BASE TO PROVIDE FIRM FOOTING. POST SHOULD REST IN FOUR (4) INCHES OF TAMPED AGGREGATE AND HAVE TWO (2) INCHES PLACED AT THE BOTTOM OF POST FOR DRAINAGE.
6. FILL THE HOLE WITH CONCRETE, SETTING WOOD POST TRUE AND PLUMB. CONCRETE SHOULD NOT ENGLUF THE BOTTOM OF THE POST. TAKE CARE TO SLOPE TOP OF CONCRETE AWAY FROM WOOD POST FOR DRAINAGE PURPOSES AS SHOWN IN DETAIL DRAWING ABOVE.
7. REPEAT STEPS 4-6 FOR EACH FENCE POST. VERIFY THAT POSTS ARE SET PLUMB, ALIGNED, AND AT CORRECT HEIGHT AND SPACING AS SPECIFIED ON DRAWING. HOLD IN POSITION DURING PLACEMENT AND FINISHING OPERATIONS UNTIL CONCRETE IS SUFFICIENTLY CURED. FINISHED CONCRETE SHOULD BE THREE (3) INCHES BELOW EXISTING GRADE, AS SHOWN IN DETAIL DRAWING ABOVE.
8. ATTACH 2" X 6" PRESSURE-TREATED WOOD TO POSTS WITH TWO (2) 3/8" CARRIAGE BOLTS AND LOCKNUT, ENSURING THAT WOOD IS CENTERED ON POSTS AS SHOWN IN DETAIL DRAWING ABOVE.
9. IF FENCE LOSSES MORE THAN 3" OF HEIGHT OVER 30' DISTANCE THEN CONTRACTOR SHALL SLOPE FENCE WITH GRADE.

Revision Date 01/25/12	<h2 style="margin: 0;">POST & RAIL WOOD FENCE</h2> <p style="margin: 0;">LENGTHWISE SECTION / ELEVATION DETAIL</p>	Project Of: 	Project Manager: 
Scale 1/4" = 1'-0"		 	
FE02VL-R		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800	



THE PENNSYLVANIA HORTICULTURAL SOCIETY

PHILADELPHIA LANDCARE STABILIZATION
Fall 2024

Group A
East Germantown

Ardleigh St, E Church St, Germantown Ave, E Haines St



*Project funded by the City of Philadelphia
Division of Housing and Community Development*

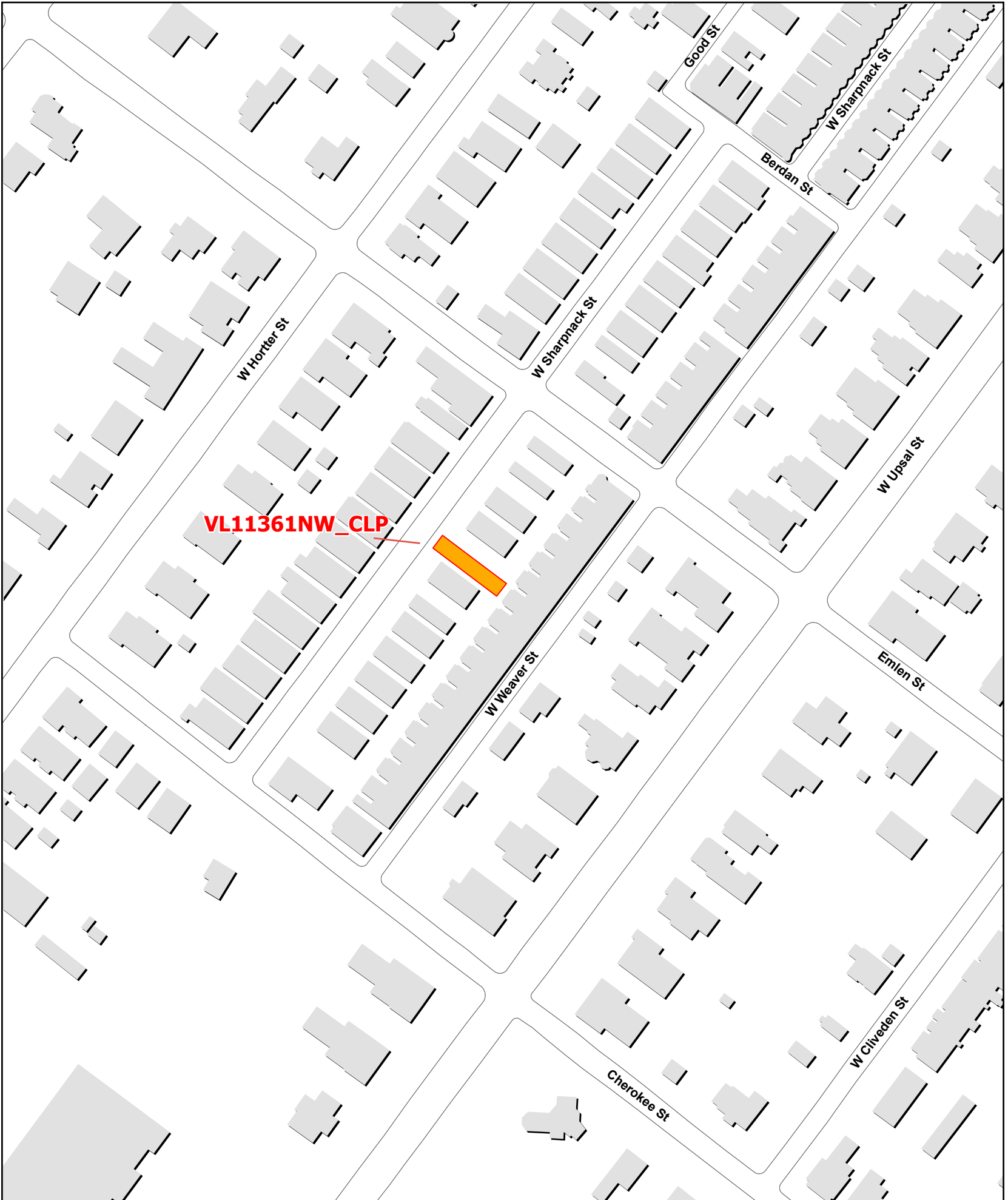


Group A Site List
Fall 2024
East Germantown
Page 1 of 1

<u>VL#</u>	<u>Address Range</u>
VL11342NW_CLP	18 E RITTENHOUSE ST
VL11343NW_CLP	29 E RITTENHOUSE ST
VL11345NW_CLP	41-43 E RITTENHOUSE ST
VL11346NW_CLP	5514-5516 BLOYD ST
VL11349NW_CLP	5612 HEISKELL ST
VL11350NW_CLP	5618-5620 HEISKELL ST
VL11351NW_CLP	5631 MCMAHON AVE
VL11354NW_CLP	712 E CHELTEN AVE
VL11356NW_CLP	757-759 E WOODLAWN ST; 5626 CHEW AVE
VL11357NW_CLP	829 CHURCH LN
VL11358NW_CLP	845 LOCUST AVE; 853R-855R LOCUST AVE
VL11359NW_CLP	73 E SEYMOUR ST
VL11361NW_CLP	130 W SHARPNACK ST
VL11362NW_CLP	97 E SEYMOUR ST
VL11363NW_CLP	166-180 W LOGAN ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*





PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group A:
E Germantown - Fall 2024

- Fall 2024 Parcels
- Building









PHS

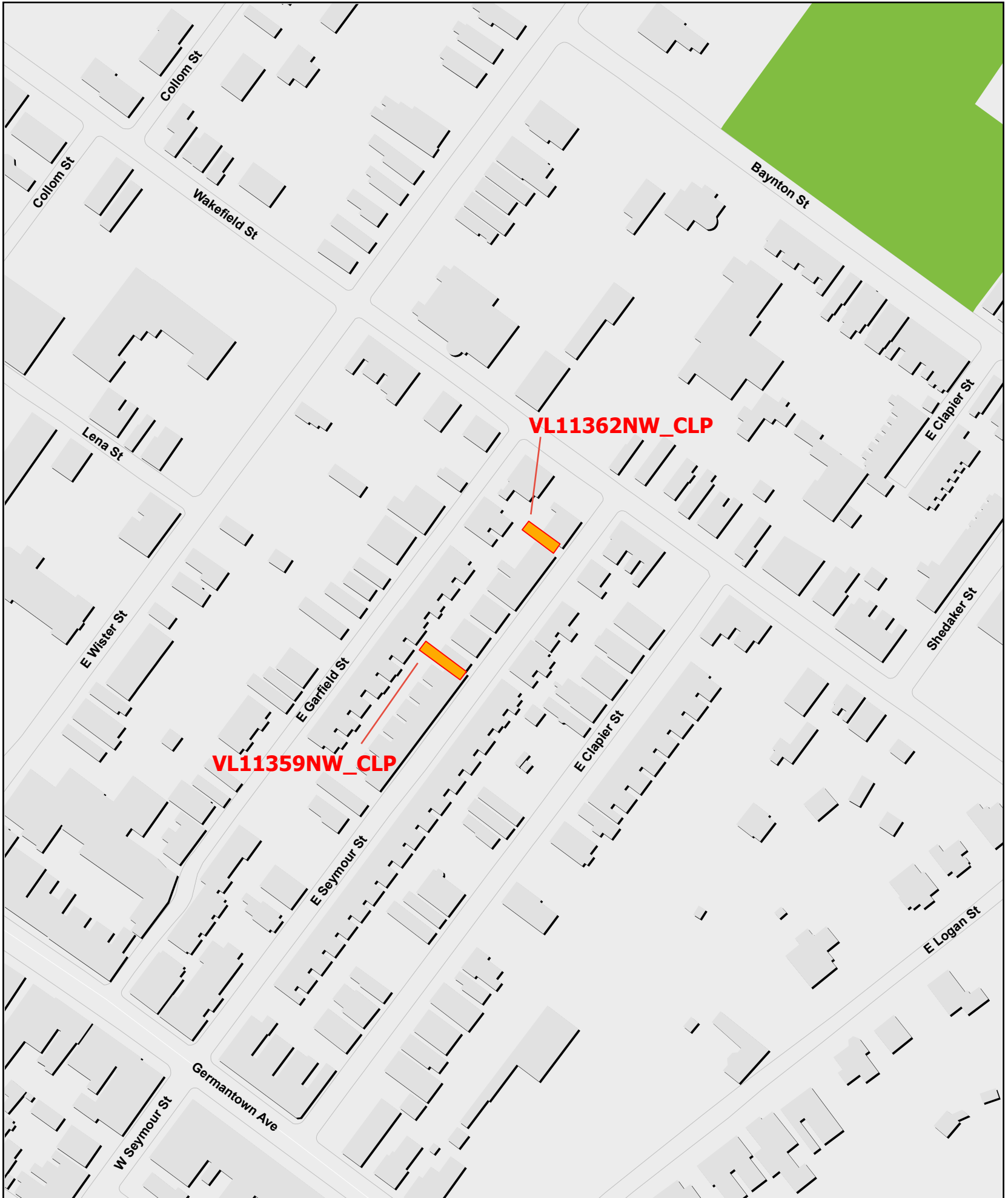


City of
Philadelphia

Philadelphia LandCare Sites
Proposed for Group A:
E Germantown - Fall 2024

-  Fall 2024 Parcels
-  Building









PHS

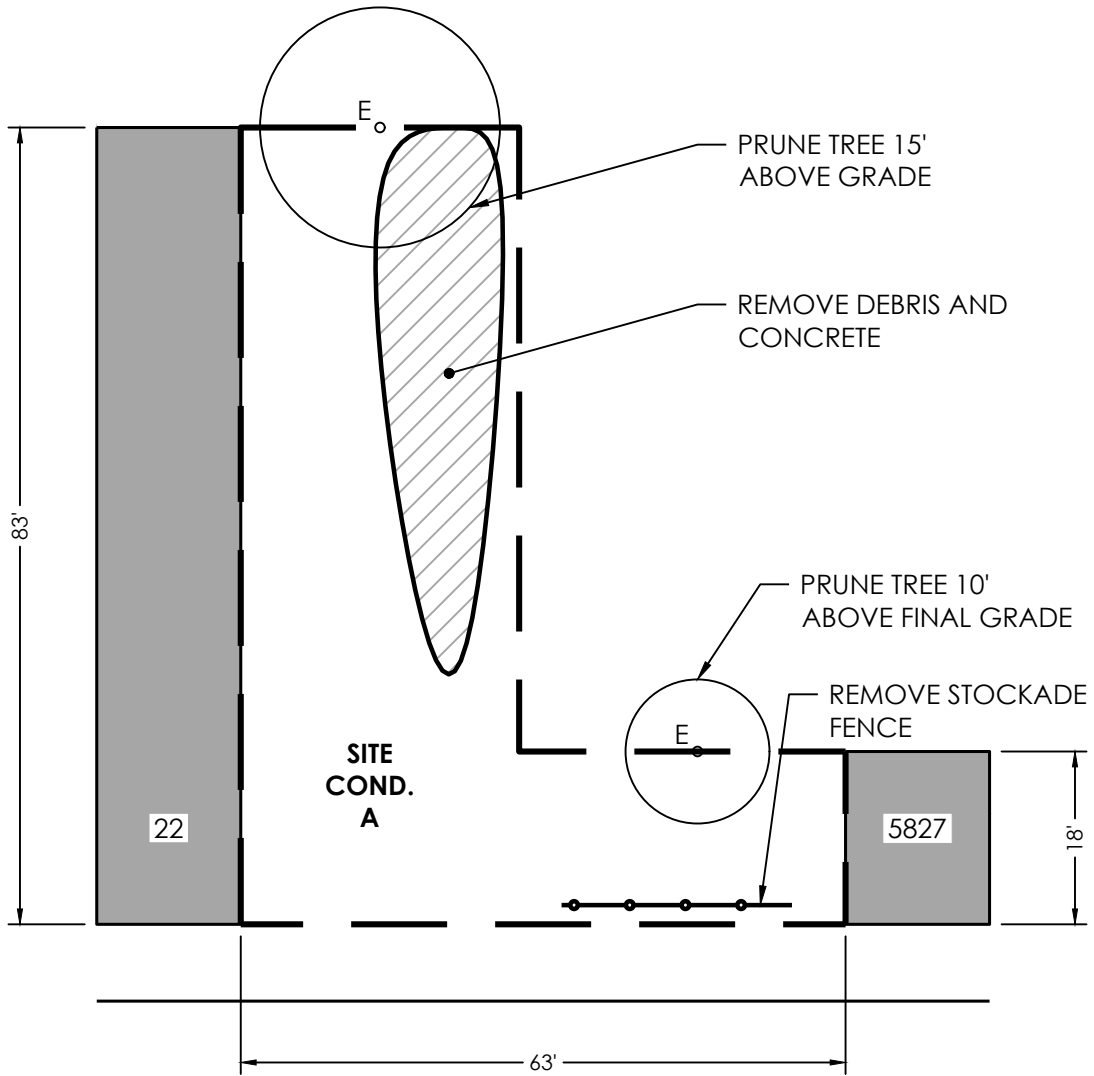


City of Philadelphia

Philadelphia LandCare
Sites Proposed for Group A:
E Germantown Fall 2024

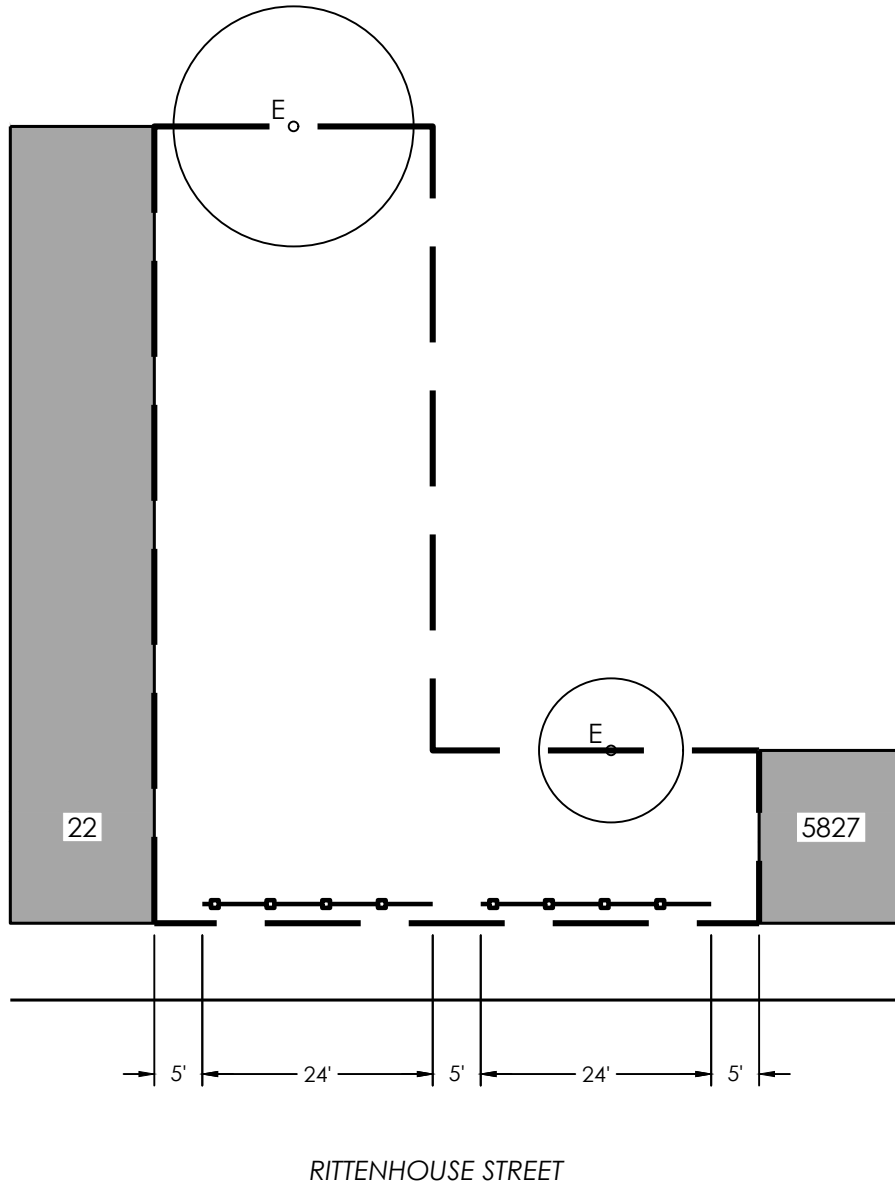
-  Fall 2024 Parcels
-  Building





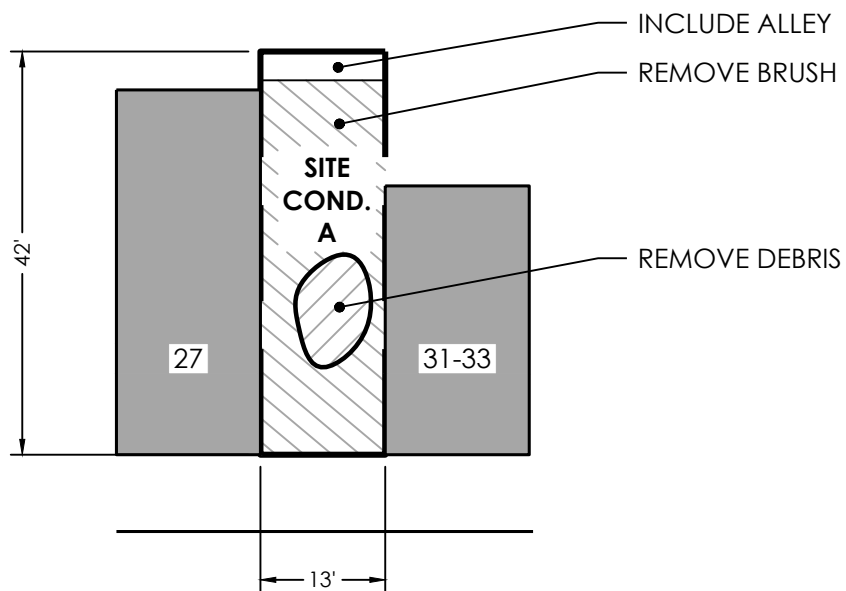
RITTENHOUSE STREET

Initial Date 7/9/2024		<h1>EXISTING CONDITIONS</h1> <p>18 EAST RITTENHOUSE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11342NW_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



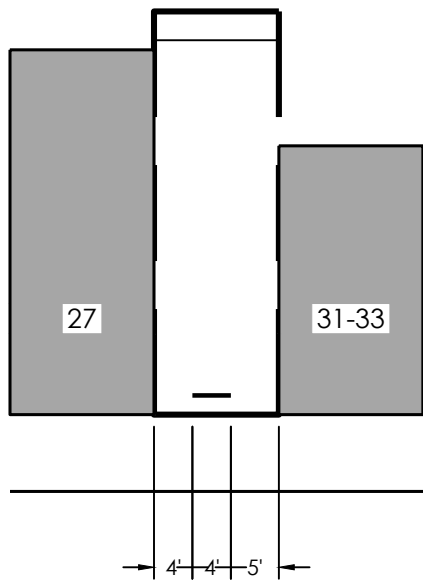
RITTENHOUSE STREET

Initial Date 7/9/2024		<h1>FENCE & TREE LAYOUT</h1> <p>18 EAST RITTENHOUSE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				<p>PHS</p>
Group A				
VL11342NW_CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



EAST RITTENHOUSE STREET

Initial Date 7/26/2024		<h1>EXISTING CONDITIONS</h1> <p>29 EAST RITTENHOUSE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11343NW_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



EAST RITTENHOUSE STREET

Initial Date	7/26/2024
Scale	1" = 20'
Group A	
VL11343NW_CLP	

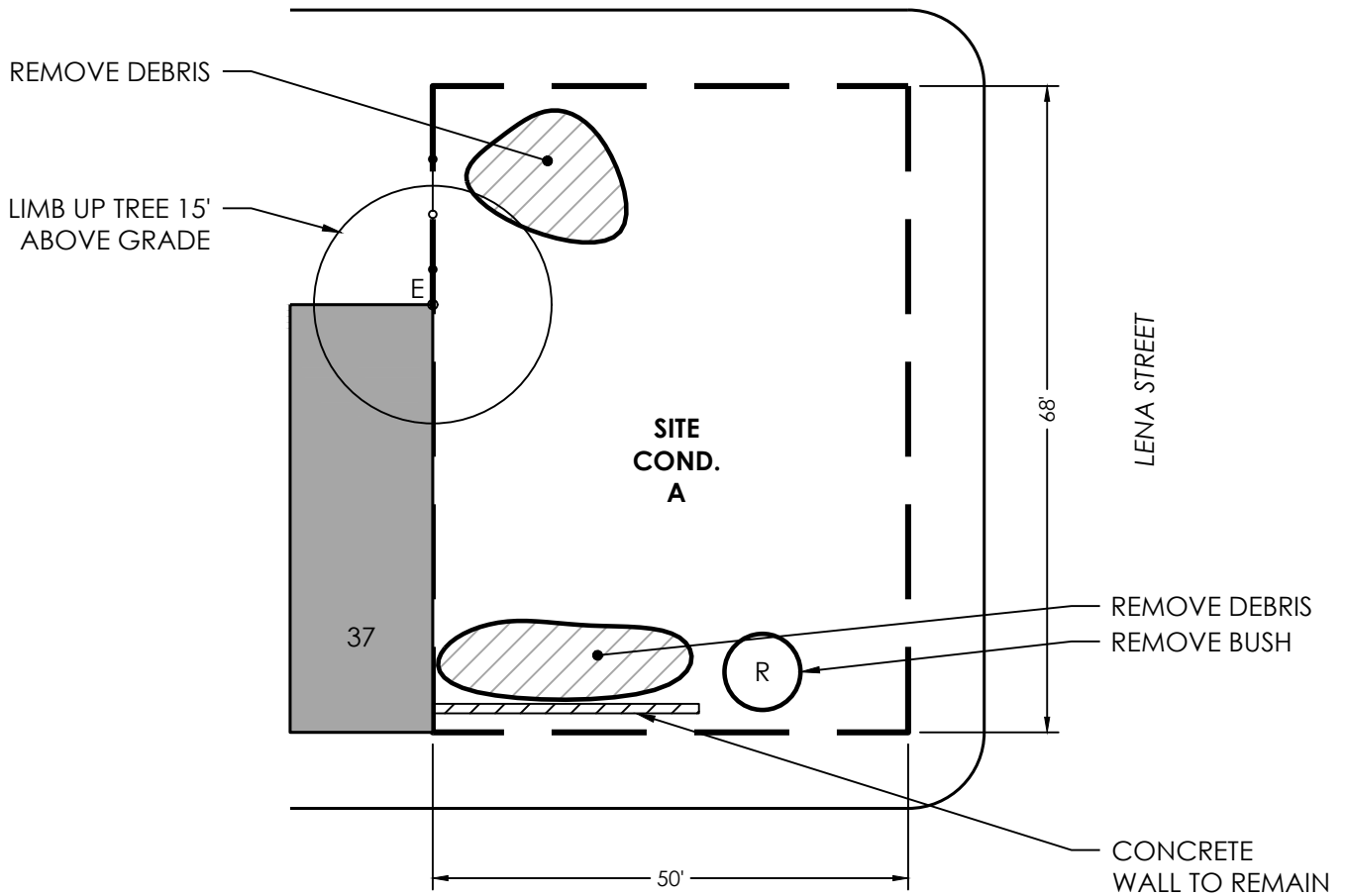


FENCE & TREE LAYOUT

29 EAST RITTENHOUSE STREET



NARRAGANSETT STREET



Initial Date
7/26/2024

Scale
1" = 20'

Group A



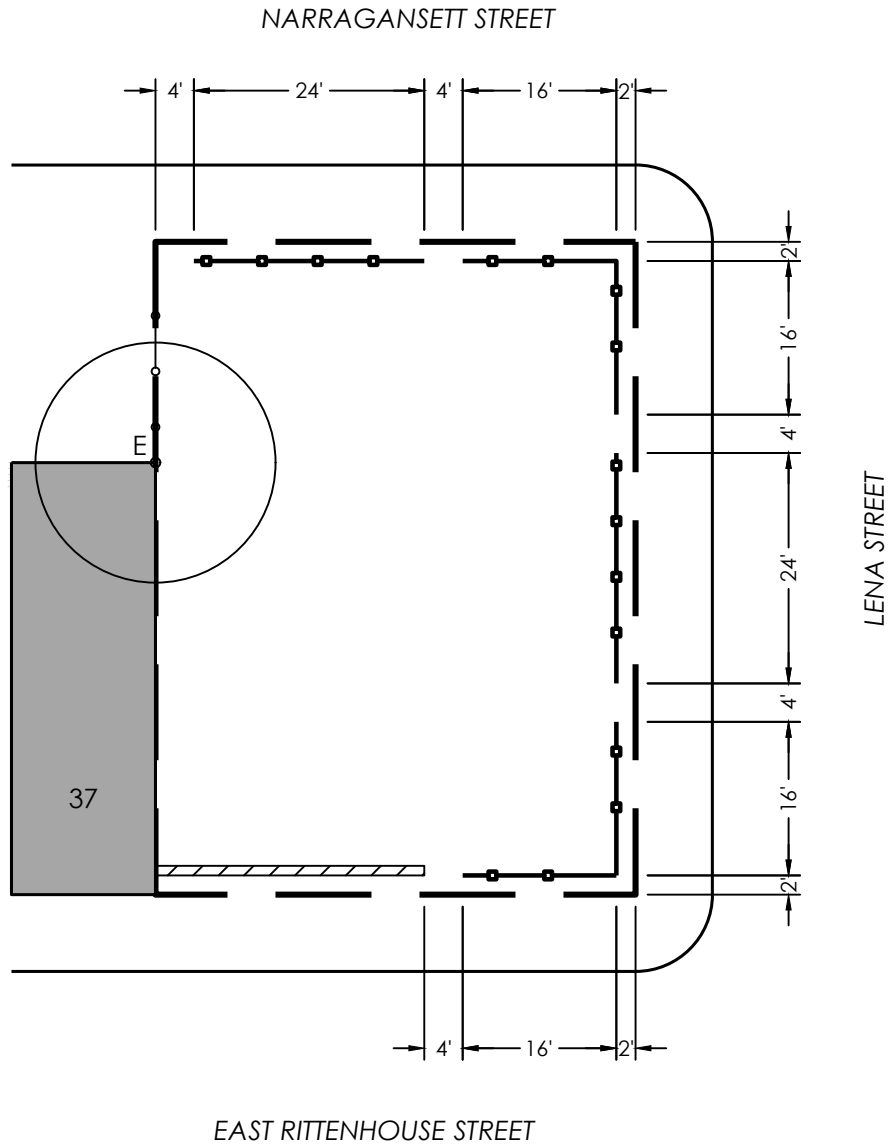
EXISTING CONDITIONS

41-43 EAST RITTENHOUSE STREET



Project Manager:

VL11345NW_CLP

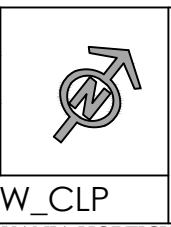


Initial Date
7/26/2024

Scale
1" = 20'

Group A

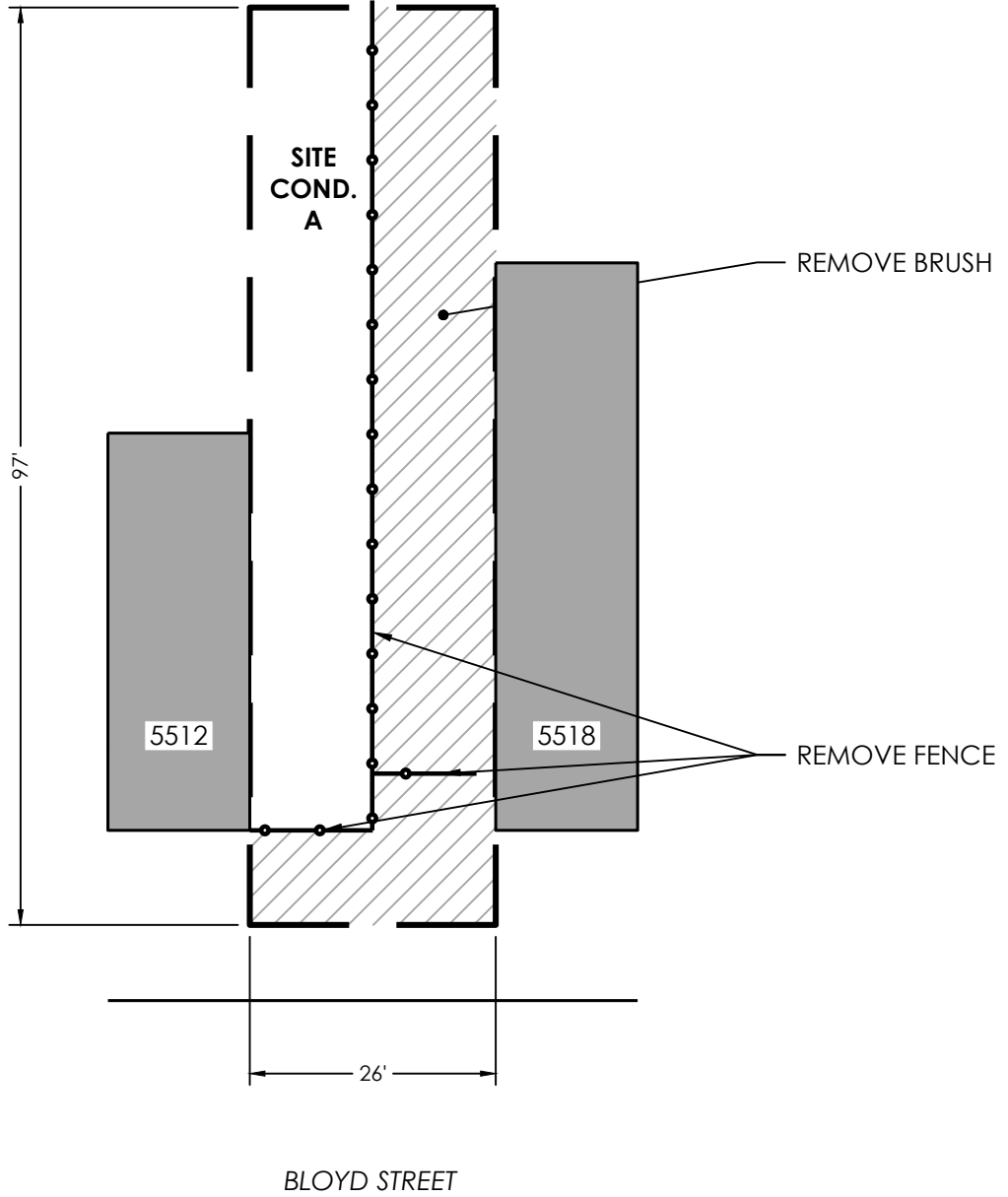
VL11345NW_CLP



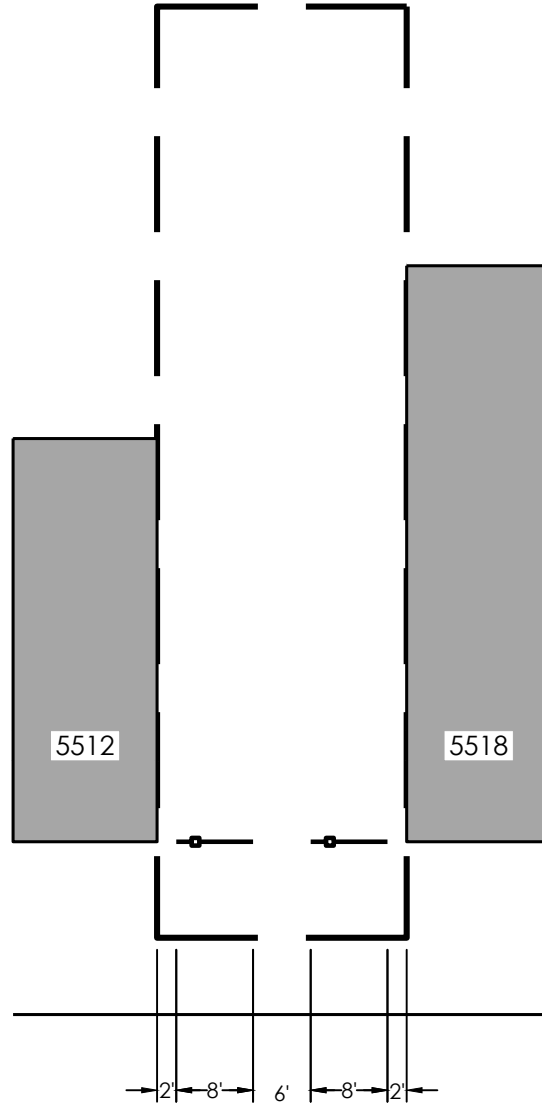
FENCE & TREE LAYOUT

41-43 EAST RITTENHOUSE STREET





Initial Date 1/10/2024		<h2>EXISTING CONDITIONS</h2> <p>5514-5516 BLOYD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11346NW_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



BLOYD STREET

Initial Date	1/10/2024
Scale	1" = 20'
Group A	
VL11346NW_CLP	



FENCE & TREE LAYOUT

5514-5516 BLOYD STREET

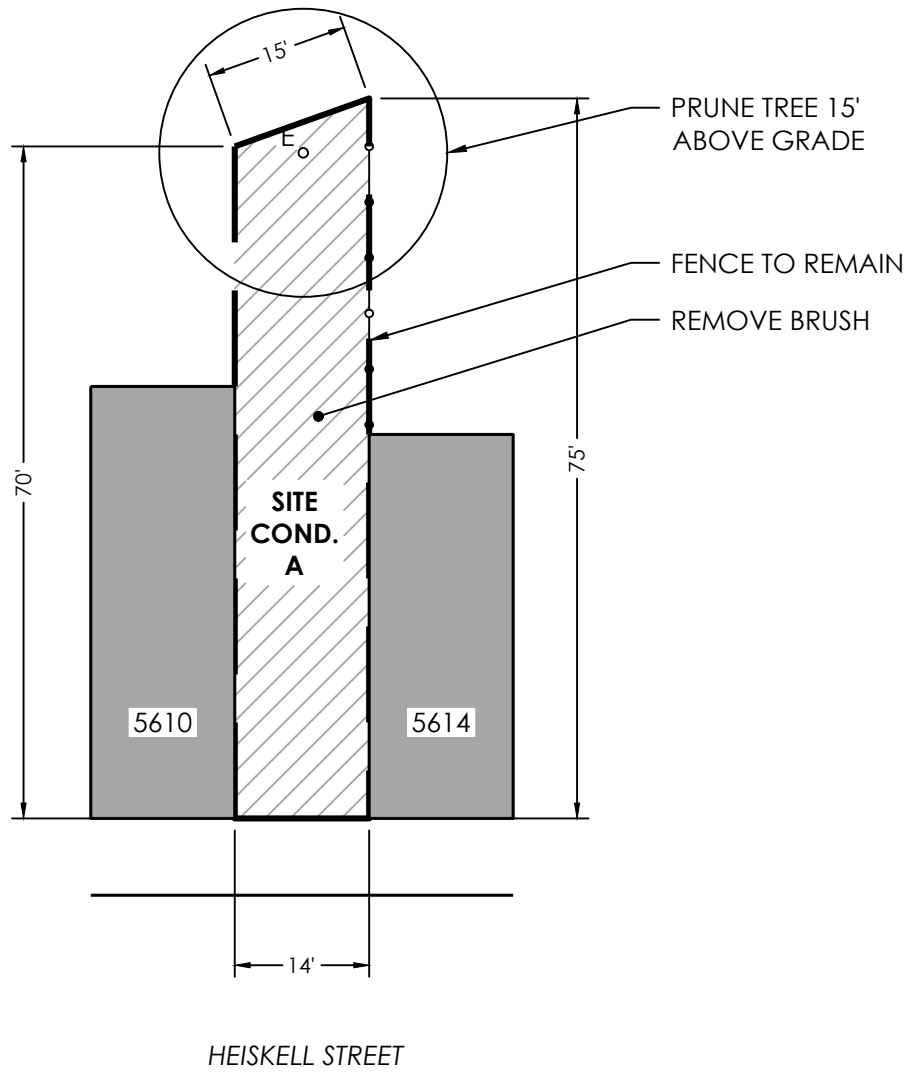
Project Of:



Project Manager:



PHS



Initial Date
7/26/2024

Scale
1" = 20'

Group A



EXISTING CONDITIONS

5612 HEISKELL STREET



VL11349NW_CLP



HEISKELL STREET

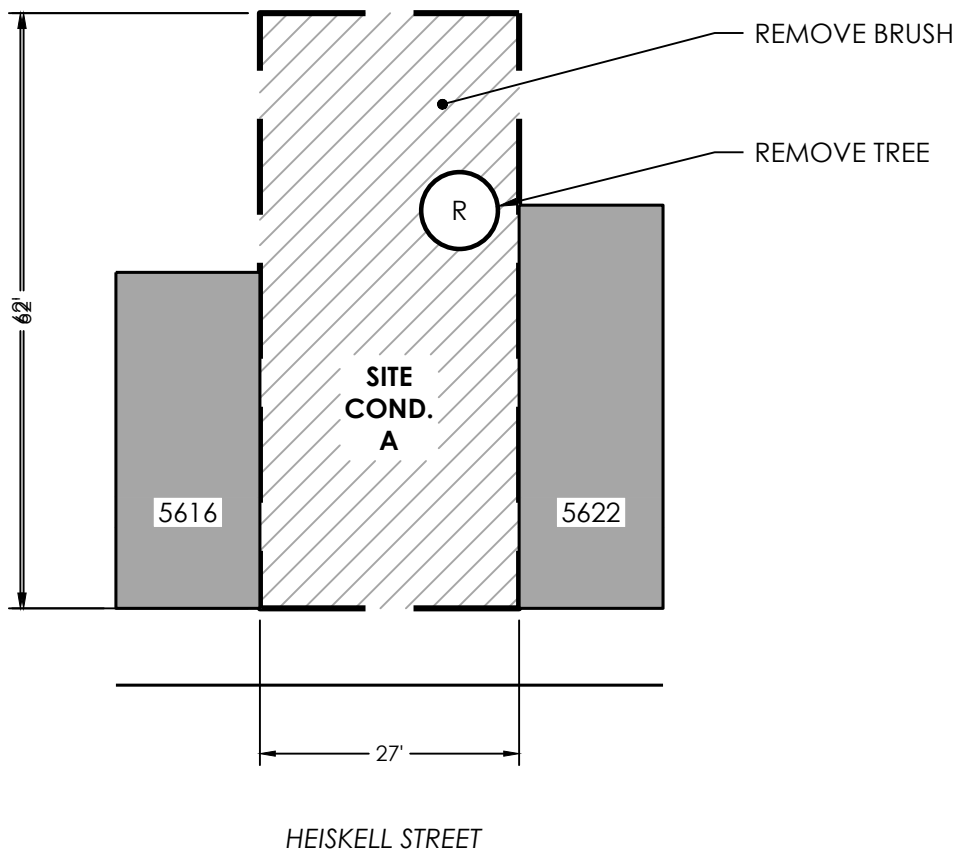
Initial Date	7/26/2024
Scale	1" = 20'
Group A	
VL11349NW_CLP	



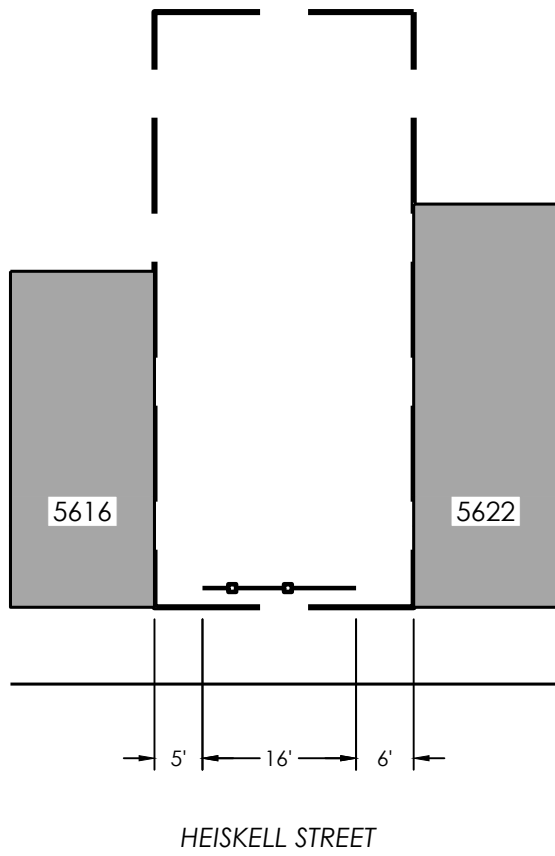
FENCE & TREE LAYOUT

5612 HEISKELL STREET



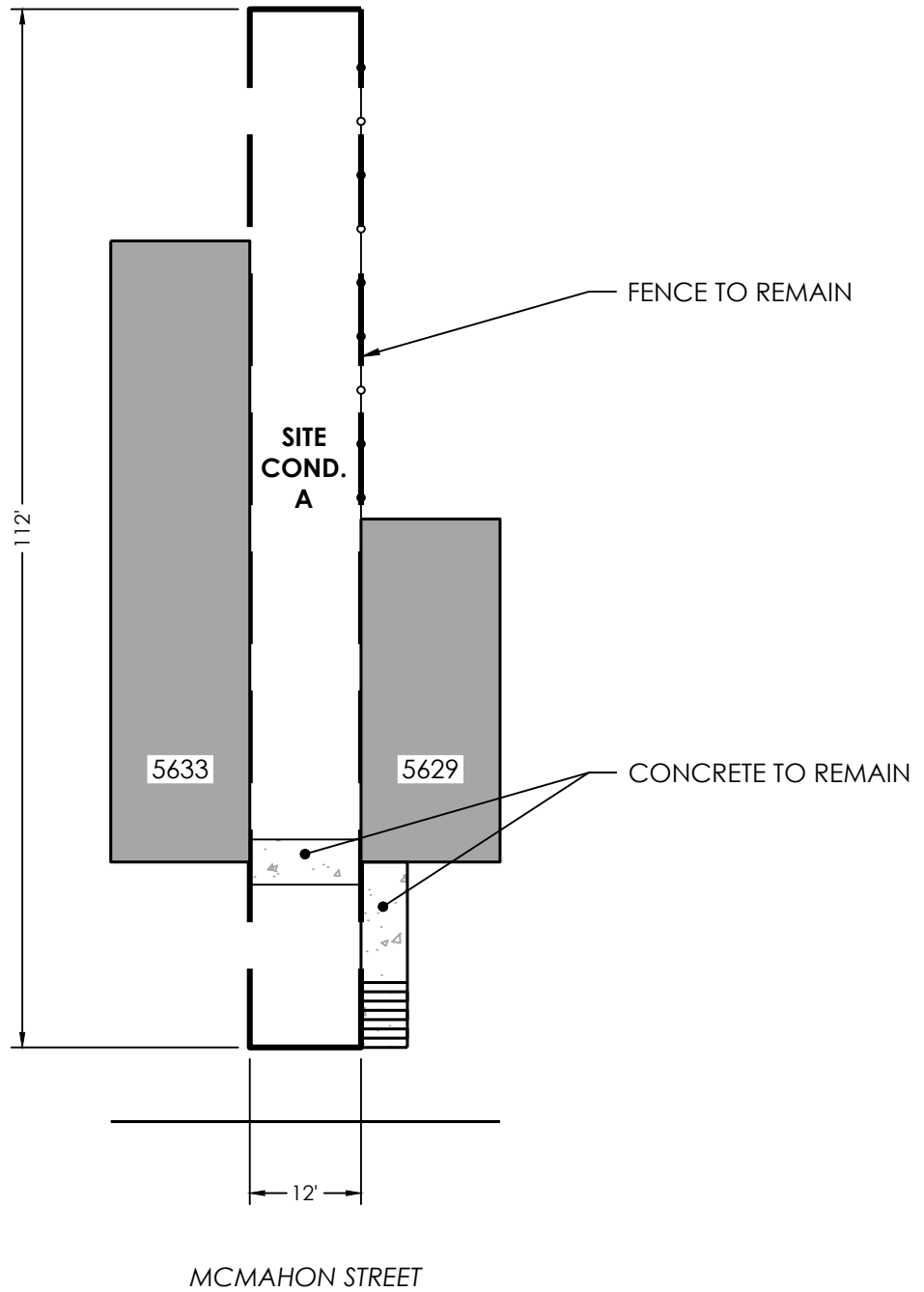


Initial Date 7/30/2024		<h1>EXISTING CONDITIONS</h1> <p>5618-5620 HEISKELL STREET</p>	Project Of:	Project Manager:
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Group A				
VL11350NW_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



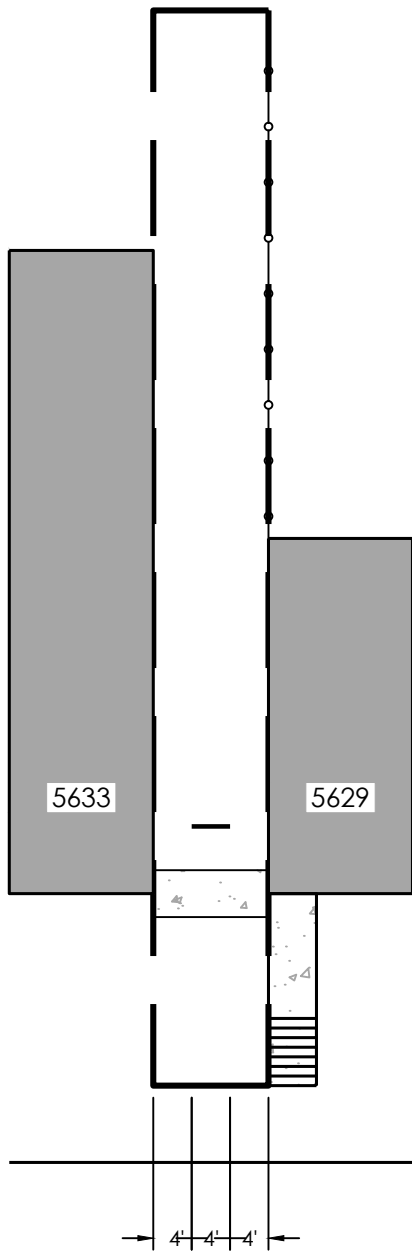
HEISKELL STREET

Initial Date 7/30/2024		<h1>FENCE & TREE LAYOUT</h1> <p>5618-5620 HEISKELL STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11350NW_CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				




MCMAHON STREET

Initial Date 7/26/2024		<h1>EXISTING CONDITIONS</h1> <p>5631 MCMAHON STREET</p>	Project Of: 	Project Manager: 
Scale 1" = 20'			Group A	VL11351NW_CLP
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



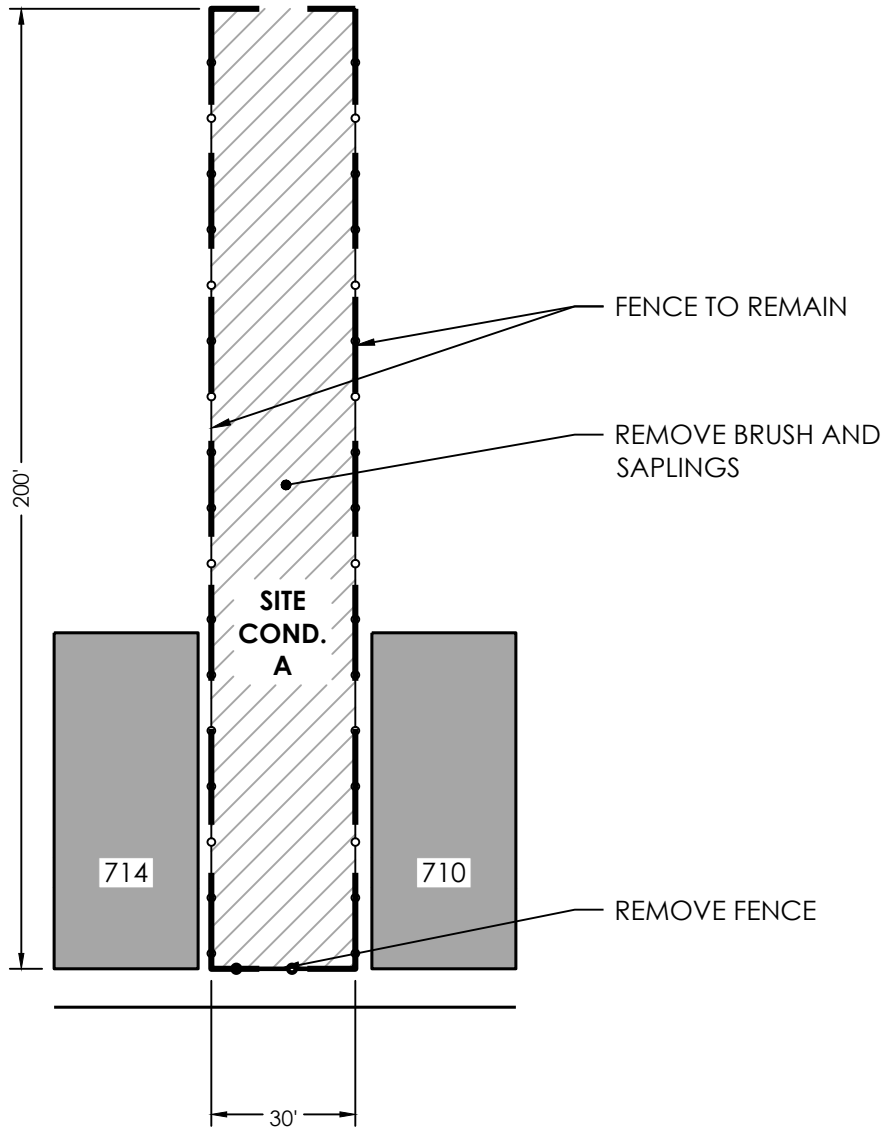
MCCMAHON STREET

Initial Date	7/26/2024
Scale	1" = 20'
Group A	
VL11351NW_CLP	

FENCE & TREE LAYOUT

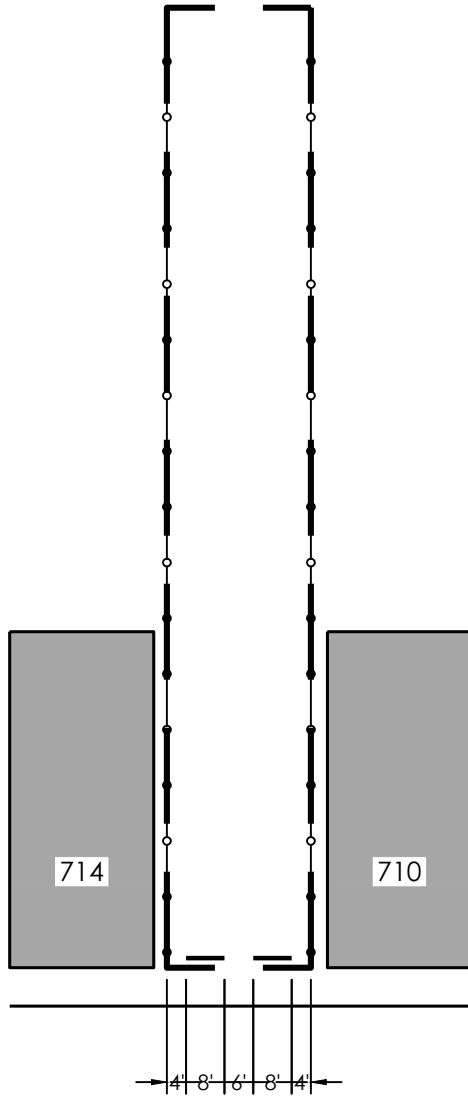
5631 MCCMAHON STREET





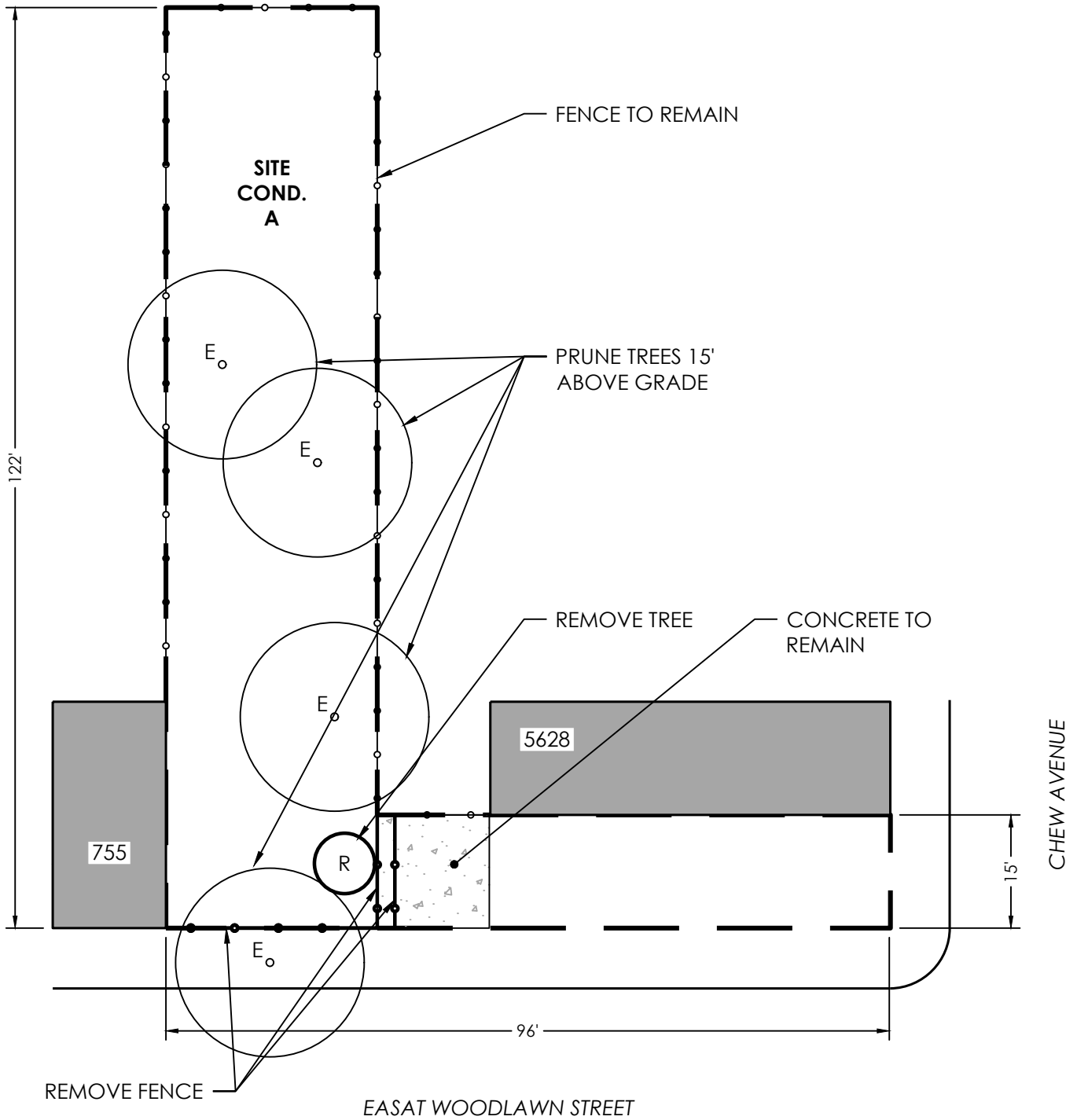
EAST CHELTEN AVENUE

Initial Date 7/26/2024		<h2>EXISTING CONDITIONS</h2> <p>712 EAST CHELTEN AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 40'				
Group A				
VL11354NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

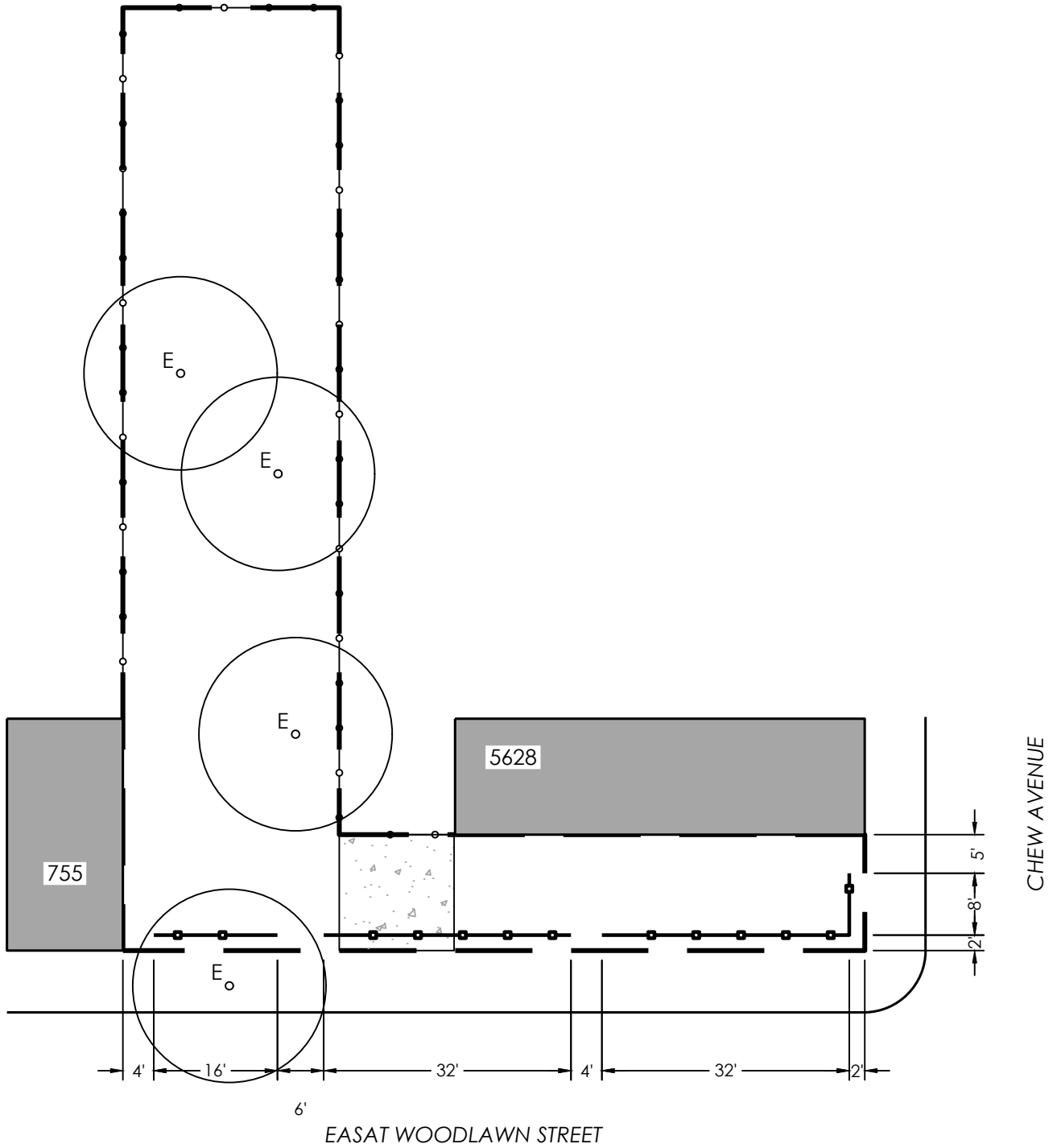


EAST CHELTEN AVENUE

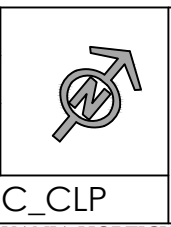
Initial Date 7/26/2024		<h1>FENCE & TREE LAYOUT</h1> <p>712 EAST CHELTEN AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 40'				 PHS
Group A				
VL11354NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date 7/26/2024		<h2>EXISTING CONDITIONS</h2> <p>757-759 EAST WOODLAWN STREET: 5626 CHEW AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11356NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

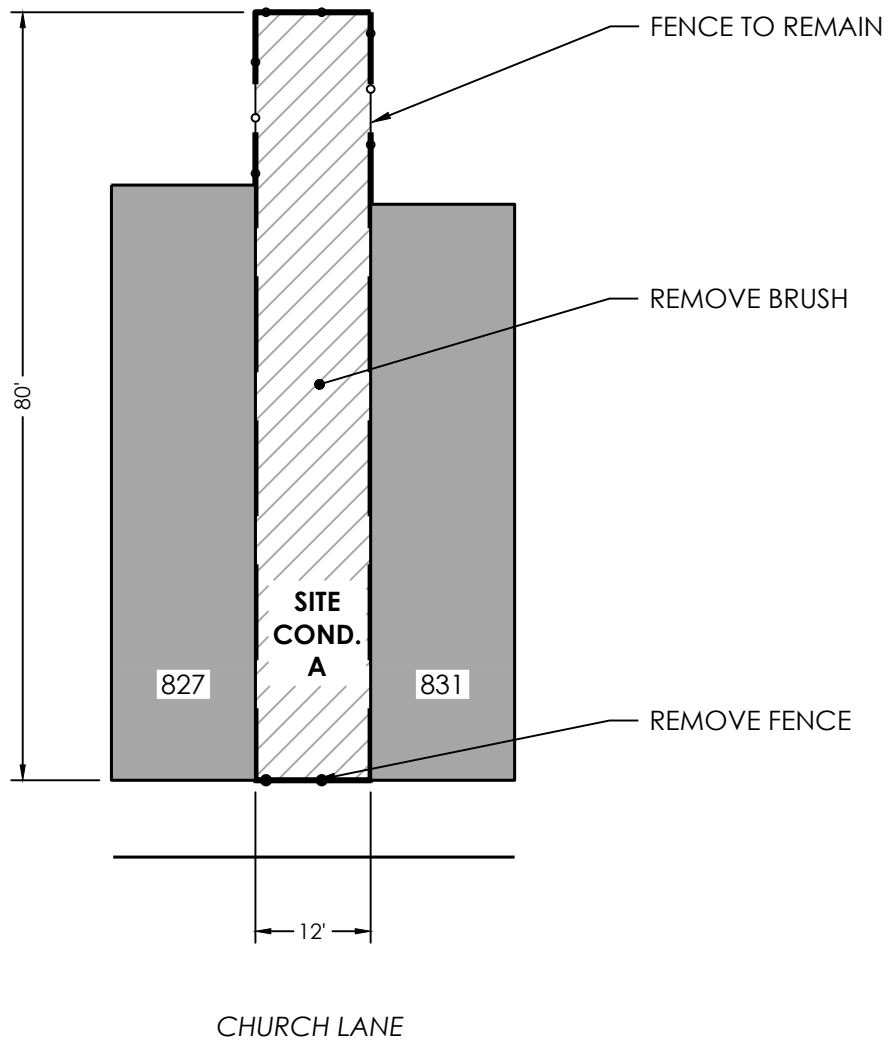


Initial Date	7/26/2024
Scale	1" = 20'
Group	Group A
Project ID	VL11356NC_CLP

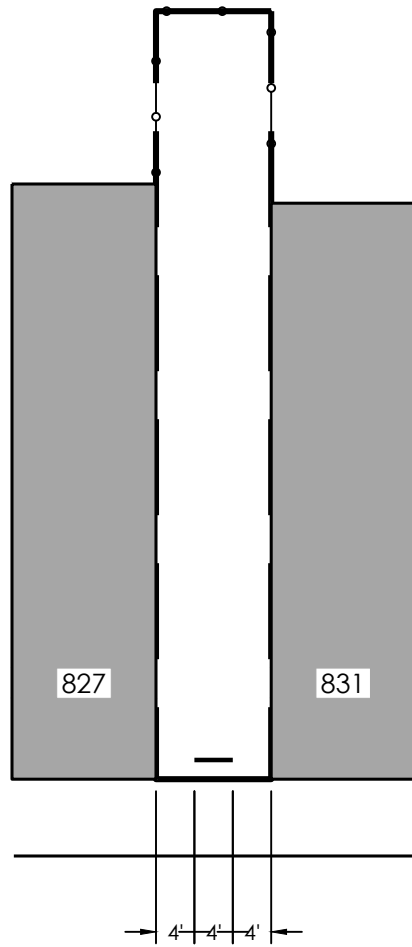


FENCE & TREE LAYOUT
 757-759 EAST WOODLAWN STREET: 5626 CHEW AVENUE





Initial Date 7/26/2024		<h1>EXISTING CONDITIONS</h1> <p>829 EAST CHURCH LANE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11357NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

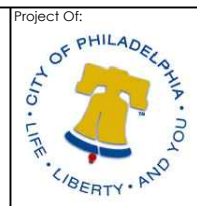


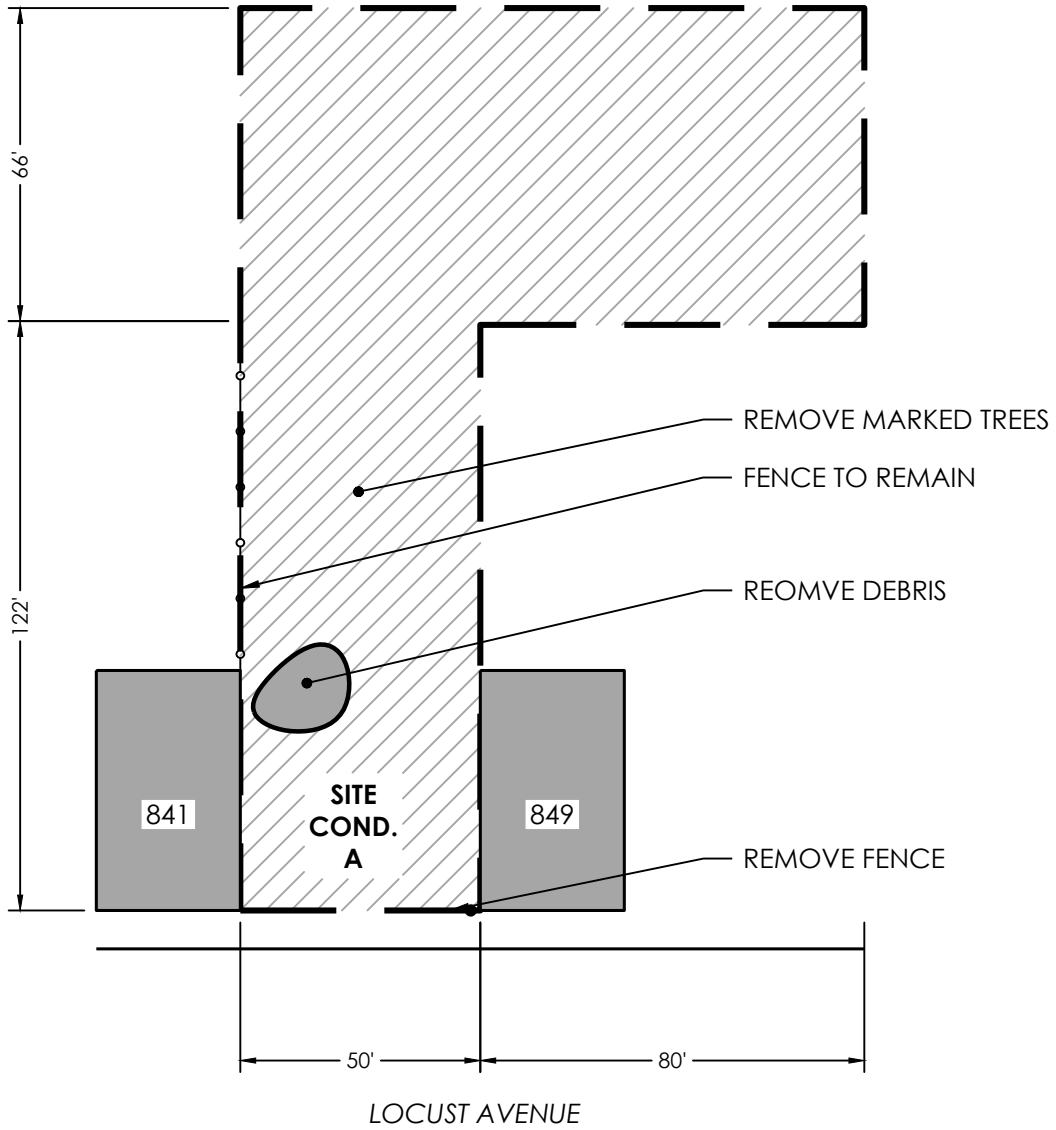
CHURCH LANE

Initial Date
7/26/2024
Scale
1" = 20'
Group A

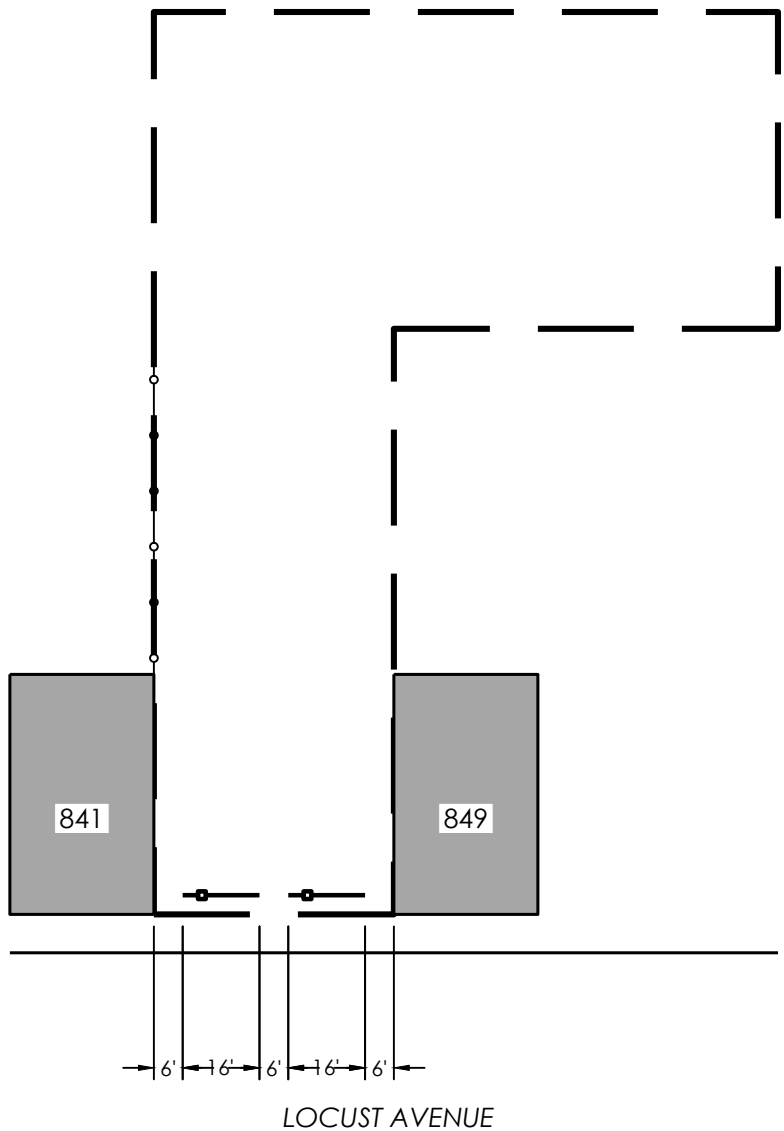


FENCE & TREE LAYOUT
829 EAST CHURCH LANE





Initial Date 7/26/2024		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">843-845 LOCUST AVENUE; 853R-855R LOCUST AVENUE</p>	Project Of: 	Project Manager:
Scale 1" = 40'				
Group A				
VL11358NC_CLP		<p style="text-align: center; font-size: small;">THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
7/26/2024

Scale
1" = 40'

Group A

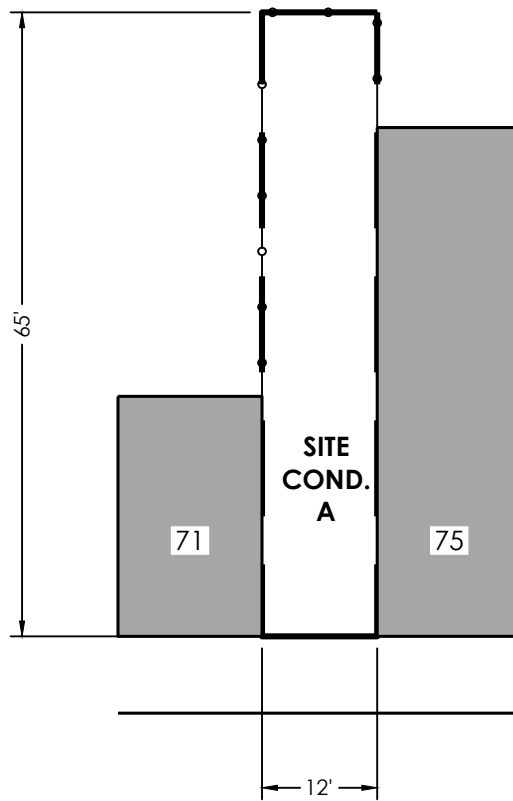
VL11358NC_CLP



FENCE & TREE LAYOUT

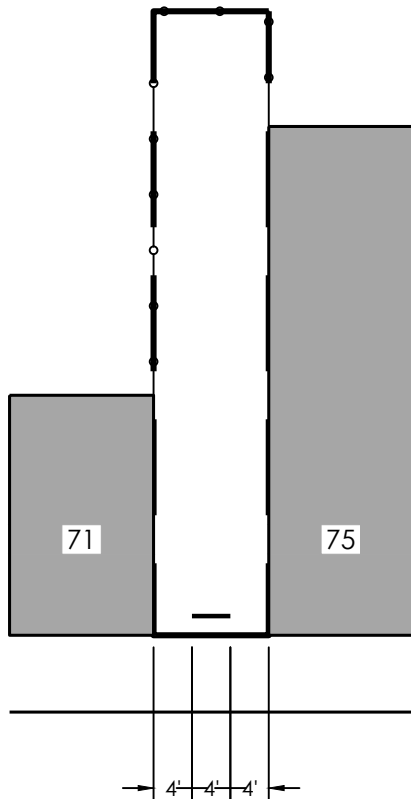
843-845 LOCUST AVENUE; 853R-855R LOCUST AVENUE





EAST SEYMOUR STREET

Initial Date 7/26/2024		<h1>EXISTING CONDITIONS</h1> <p>73 EAST SEYMOUR STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11359NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



EAST SEYMOUR STREET

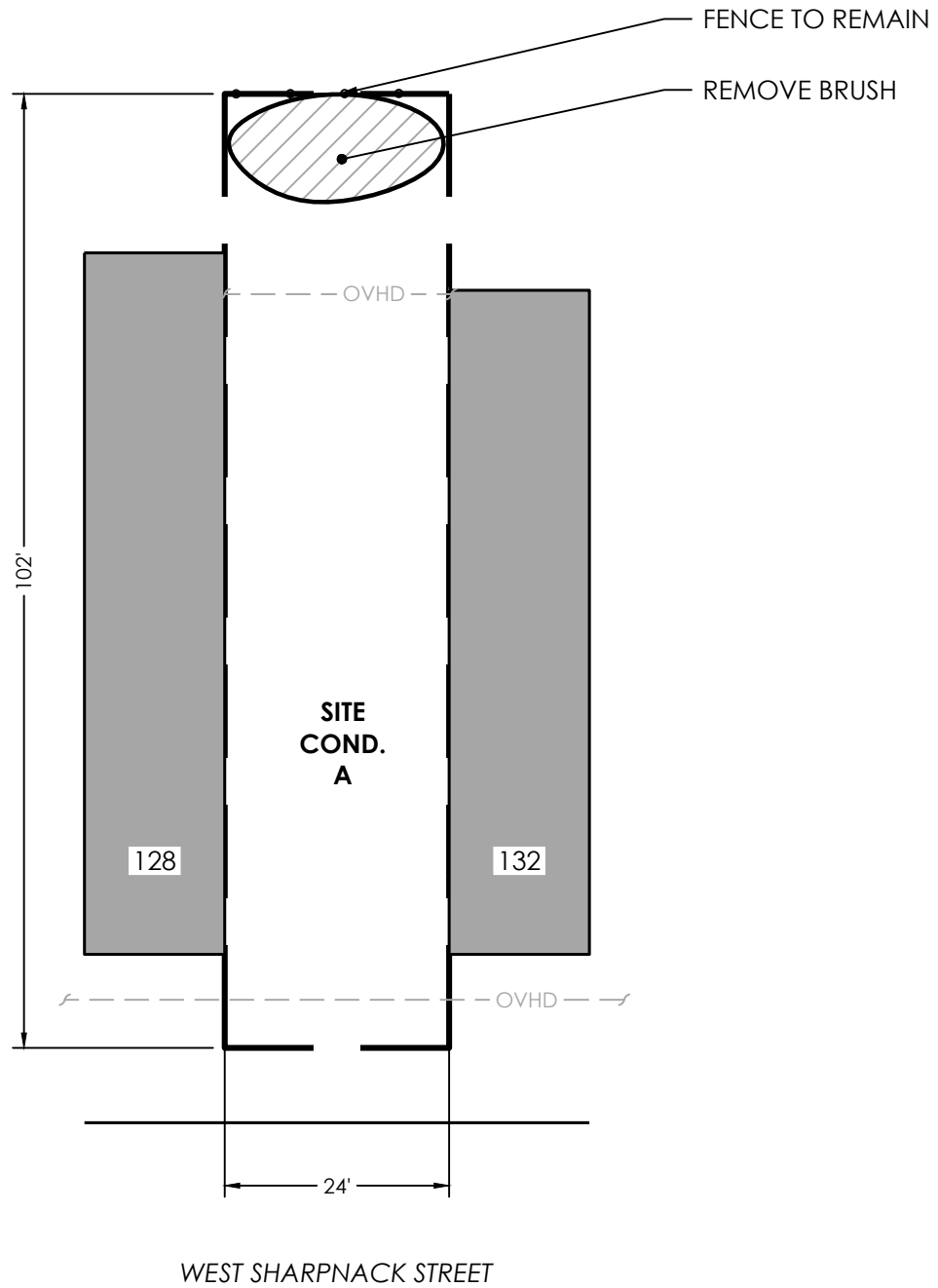
Initial Date	7/26/2024
Scale	1" = 20'
Group A	
VL11359NC_CLP	



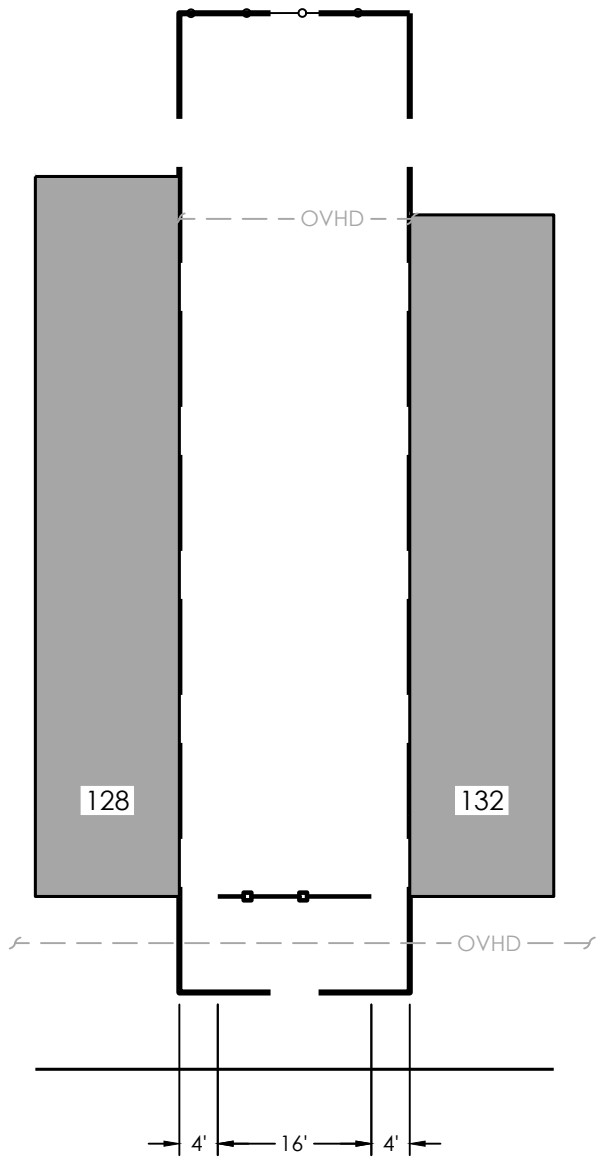
FENCE & TREE LAYOUT

73 EAST SEYMOUR STREET





Initial Date 7/26/2024		<h1>EXISTING CONDITIONS</h1> <p>130 WEST SHARPNAK STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11361NW_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST SHARPKNACK STREET

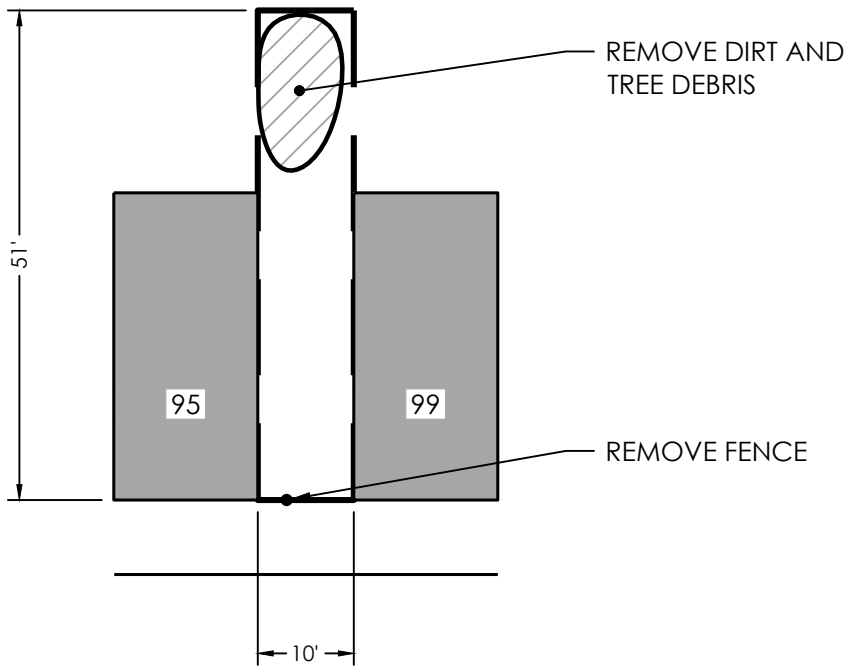
Initial Date	7/26/2024
Scale	1" = 20'
Group A	
VL11361NW_CLP	



FENCE & TREE LAYOUT

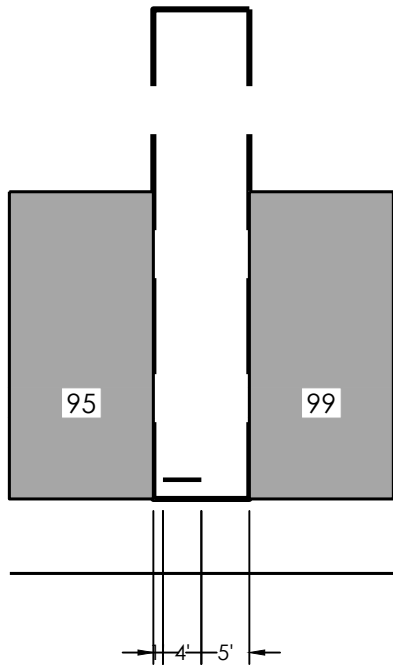
130 WEST SHARPKNACK STREET





EAST SEYMOUR STREET

Initial Date 7/26/2024		<h1>EXISTING CONDITIONS</h1> <p>97 EAST SEYMOUR STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11362NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



EAST SEYMOUR STREET

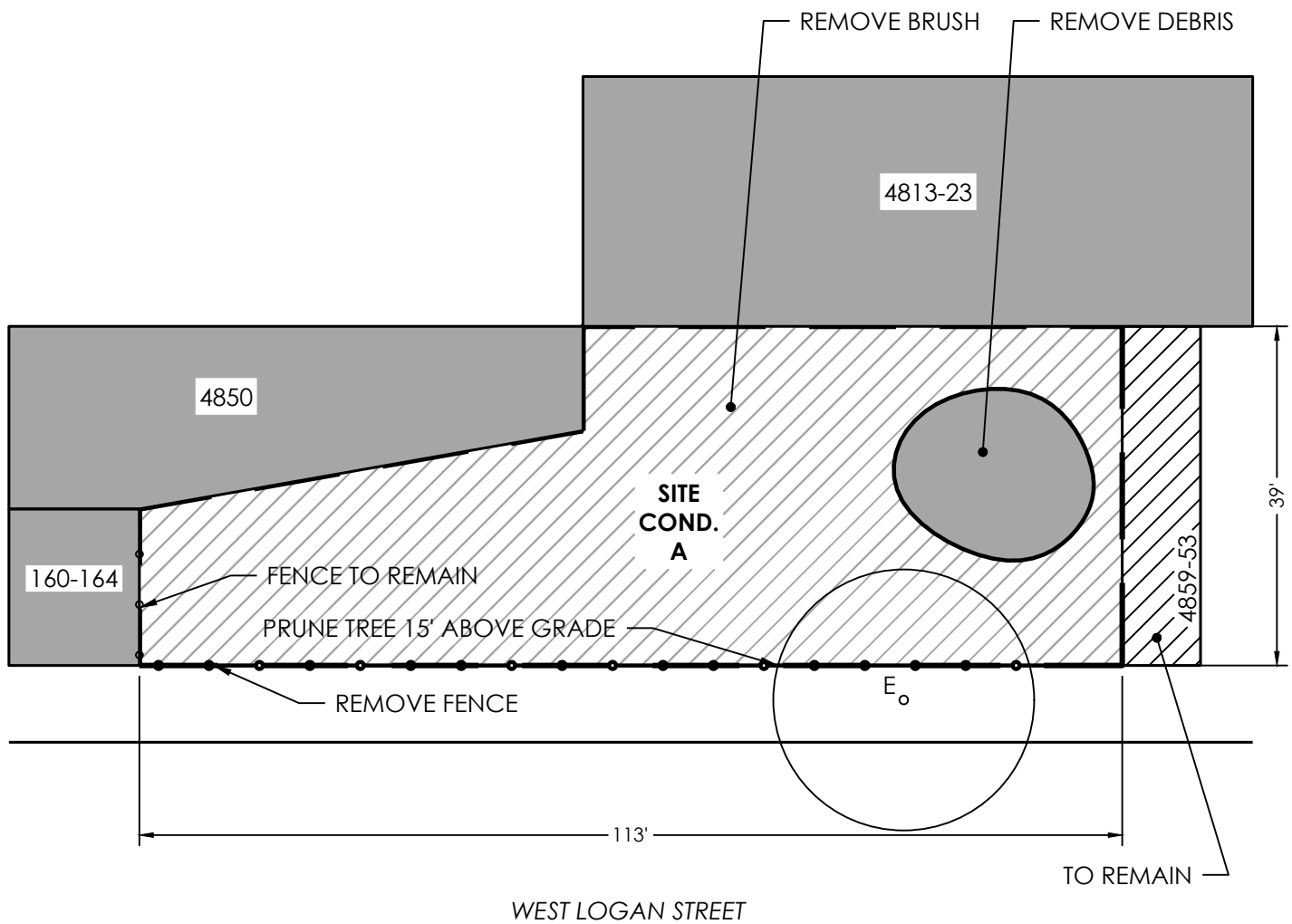
Initial Date	7/26/2024
Scale	1" = 20'
Group A	
VL11362NC_CLP	



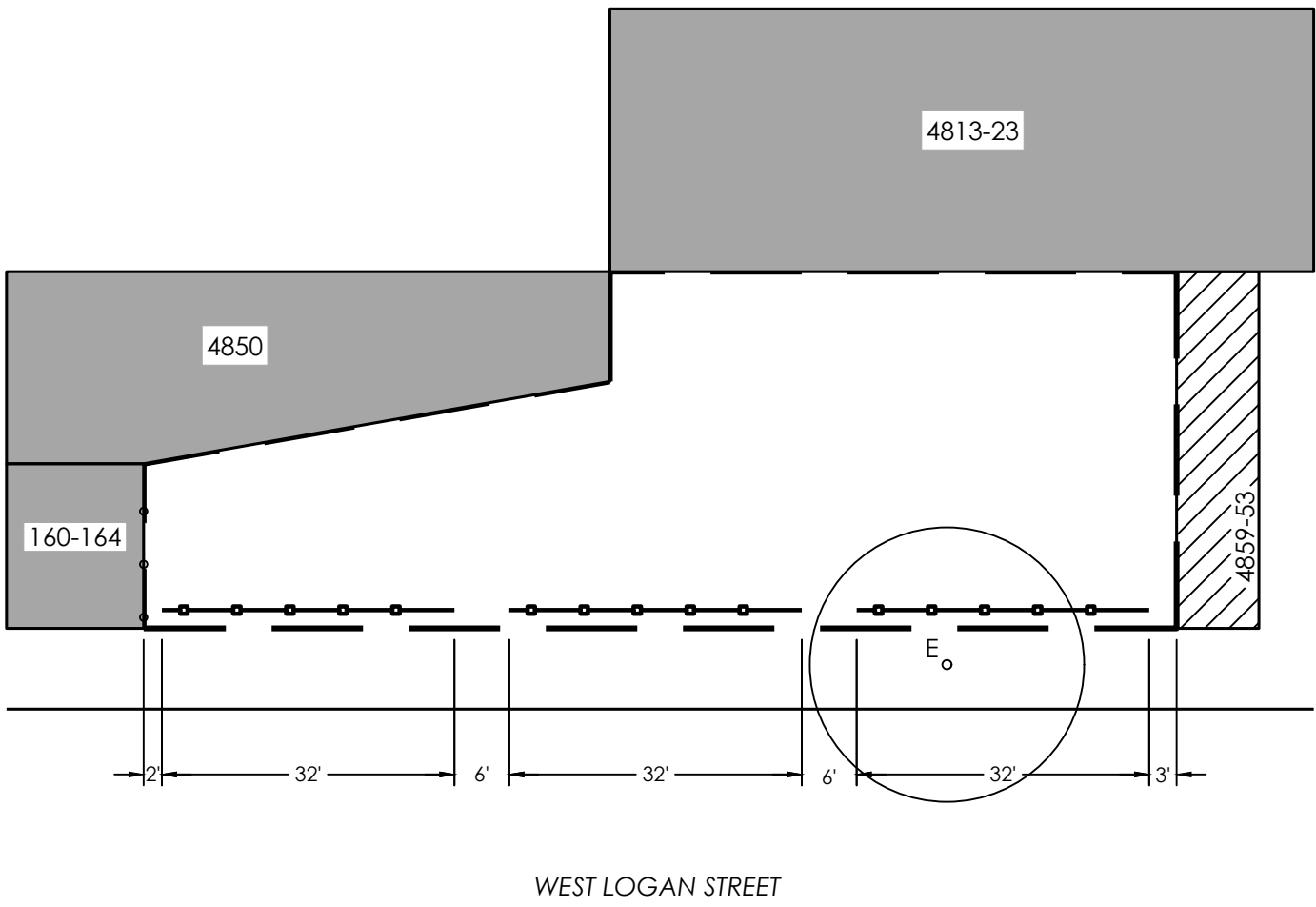
FENCE & TREE LAYOUT

97 EAST SEYMOUR STREET





Initial Date 8/7/2024		<h2>EXISTING CONDITIONS</h2> <p>166-180 WEST LOGAN STREET; 4850R KEYSER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11363NW_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date 8/7/2024		<h2>FENCE & TREE LAYOUT</h2> <p>166-180 WEST LOGAN STREET; 4850R KEYSER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL11363NW_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



THE PENNSYLVANIA HORTICULTURAL SOCIETY

PHILADELPHIA LANDCARE STABILIZATION
Fall 2024

Group B
Allegheny West

W Willard St, N Van Pelt St, Sedgley St, N 24th St, W Leigh Ave Chalmers Ave, N 27th St



*Project funded by the City of Philadelphia
Division of Housing and Community Development*



Group B Site List
Fall 2024
Allegheny West
Page 1 of 1

<u>VL#</u>	<u>Address Range</u>
VL11366NC_CLP	2127 W TORONTO ST
VL11367NC_CLP	2127-2133 W INDIANA AVE
VL11369NC_CLP	2603 N 24TH ST
VL11371NC_CLP	2614 W SELTZER ST
VL11372NC_CLP	2620 W LEHIGH ST
VL11373NC_CLP	2626 W SELTZER ST
VL11376NC_CLP	2652 N 27TH ST
VL11377NC_CLP	2700 W STERNER ST
VL11380NC_CLP	2941 N VAN PELT ST; 2922-24 N 21ST ST
VL11383NC_CLP	3106-3108 N CROSKEY ST
VL11385NC_CLP	3116-3120 N CROSKEY ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*



PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group B:
Allegheny W - Fall 2024

Fall 2024 Parcels
 Building







PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group B:
Allegheny W - Fall 2024

 Fall 2024 Parcels
 Building





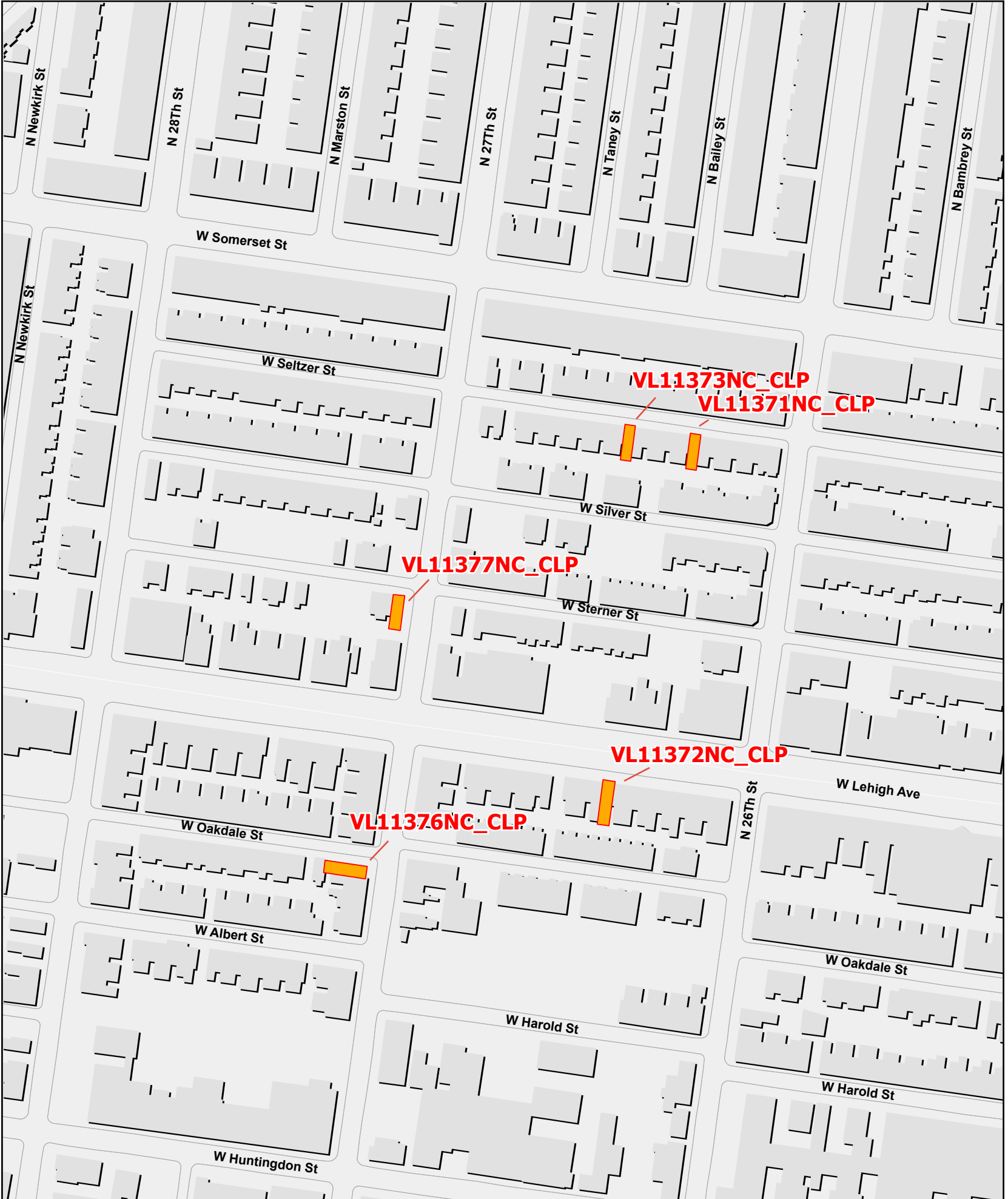
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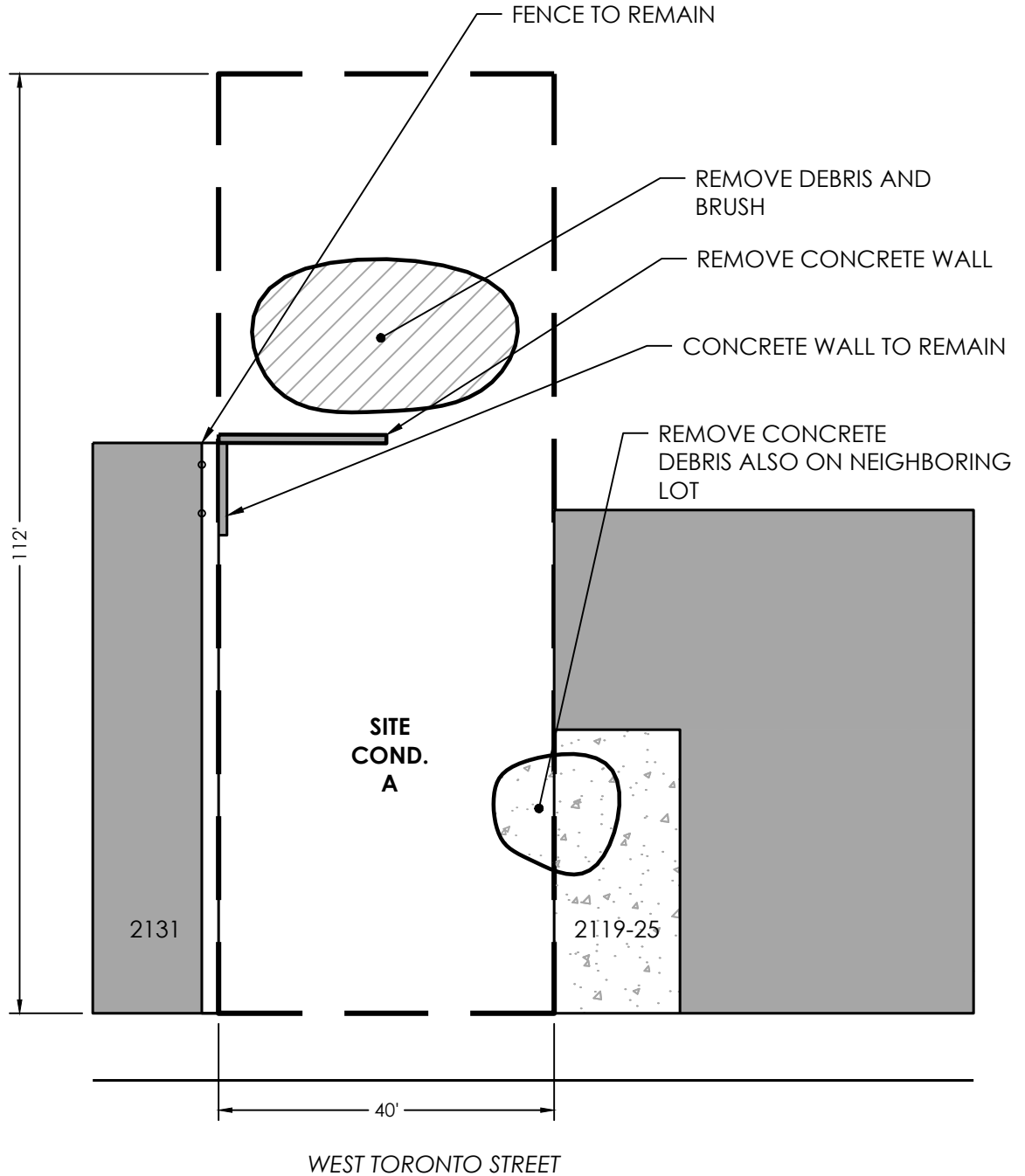


City of Philadelphia

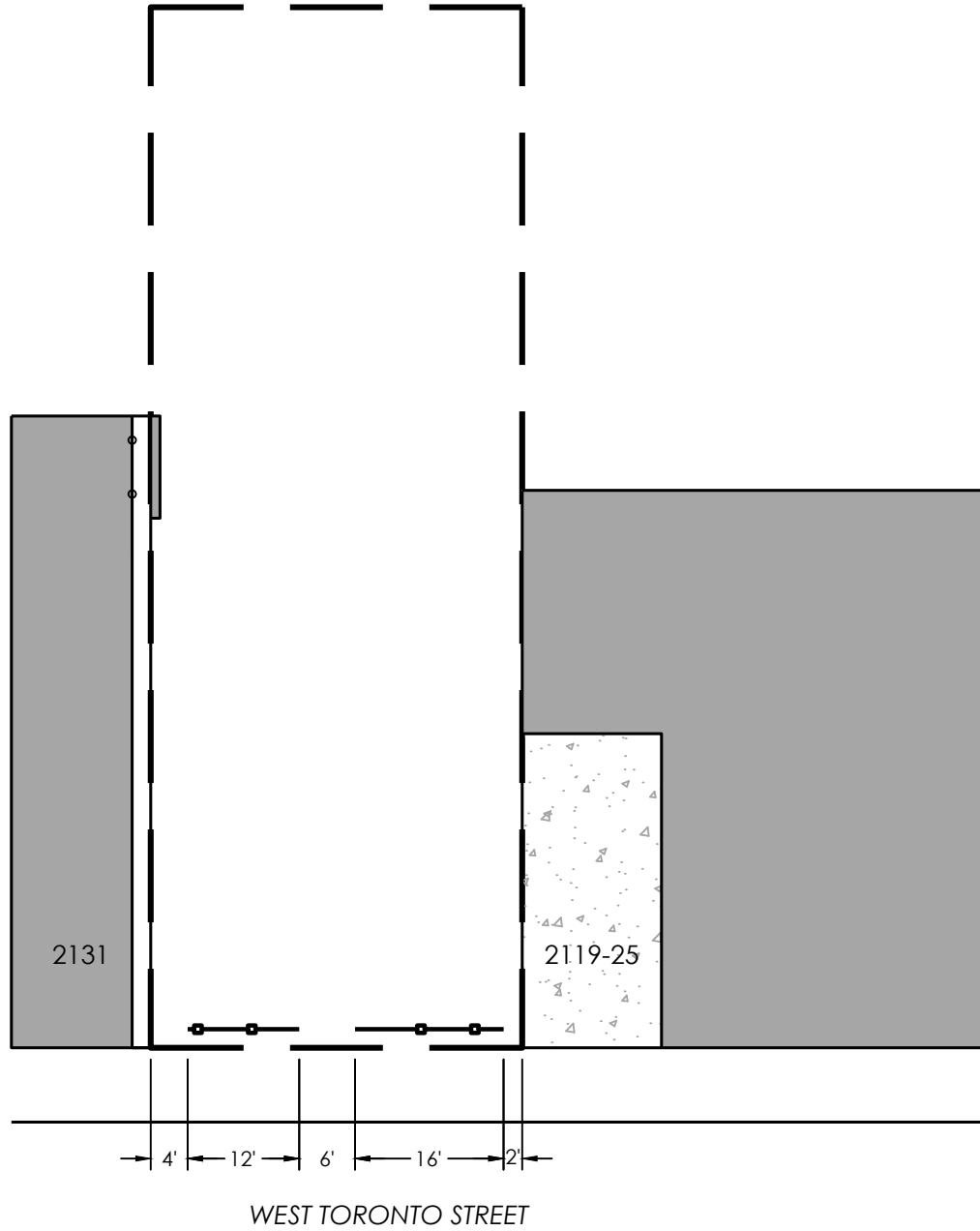
Philadelphia LandCare Sites
Proposed for Group B:
Allegheny W - Fall 2024

- Fall 2024 Parcels
- Building





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2127 WEST TORONTO STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11366NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group B

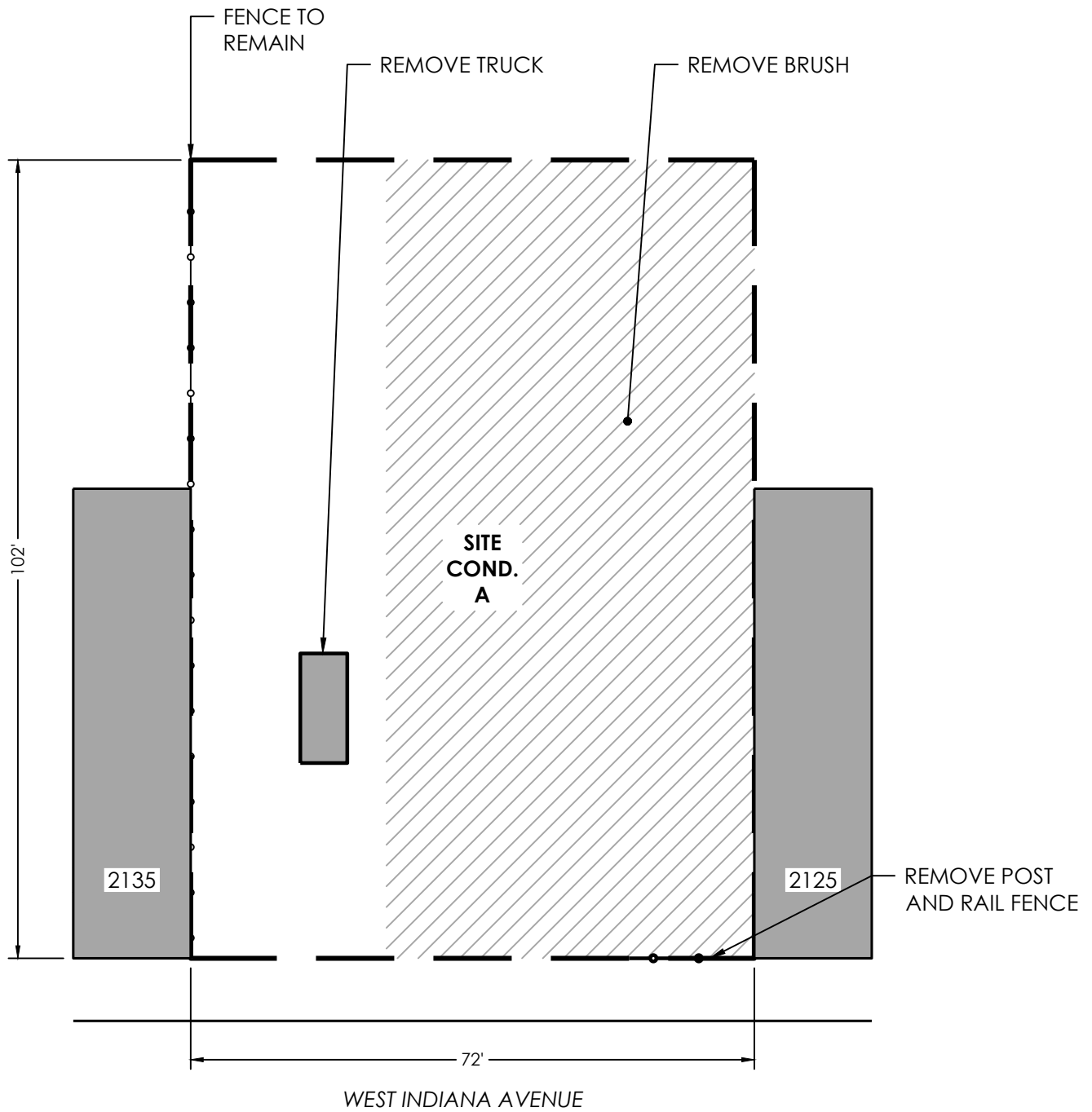
VL11366NC_CLP



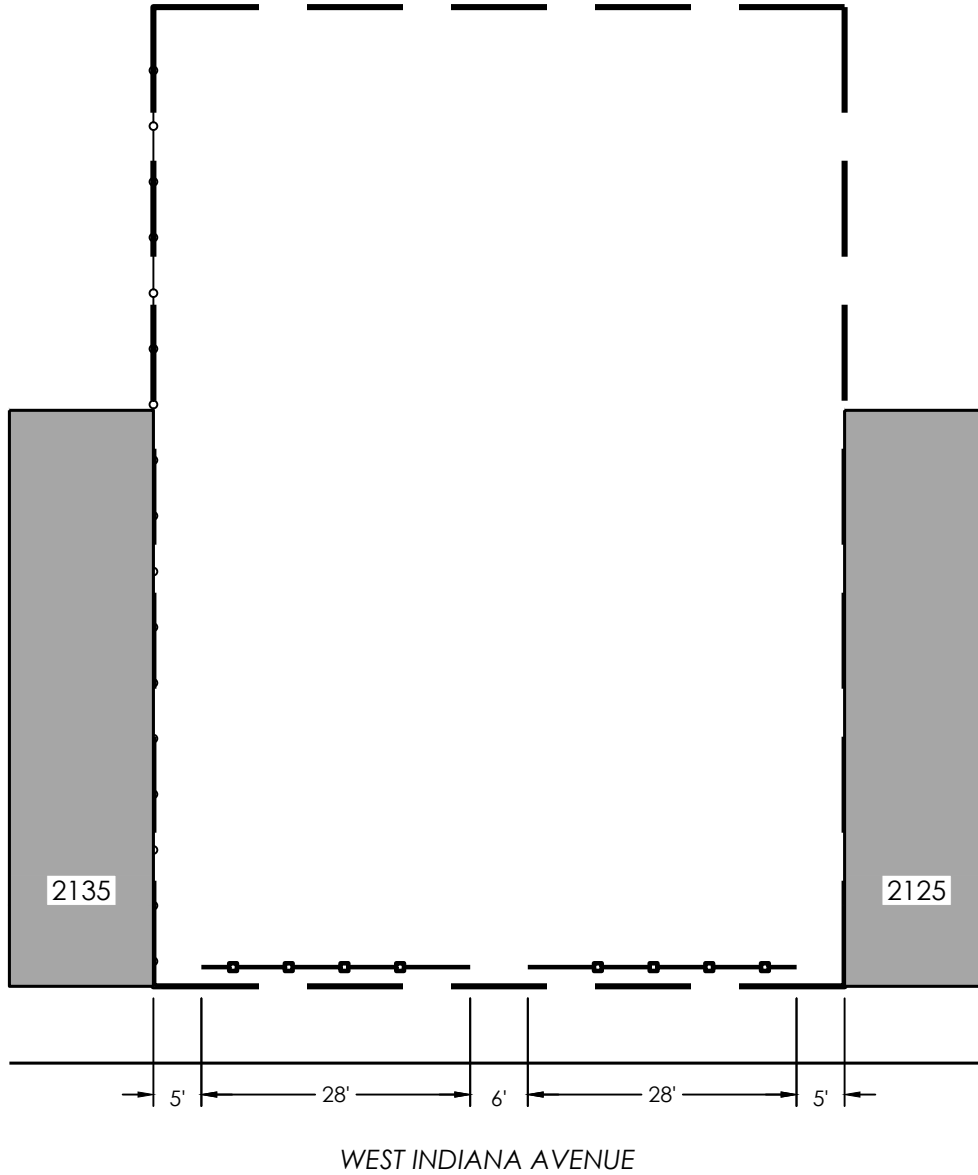
FENCE & TREE LAYOUT

2127 WEST TORONTO STREET





Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>2127-2133 WEST INDIANA AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11367NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



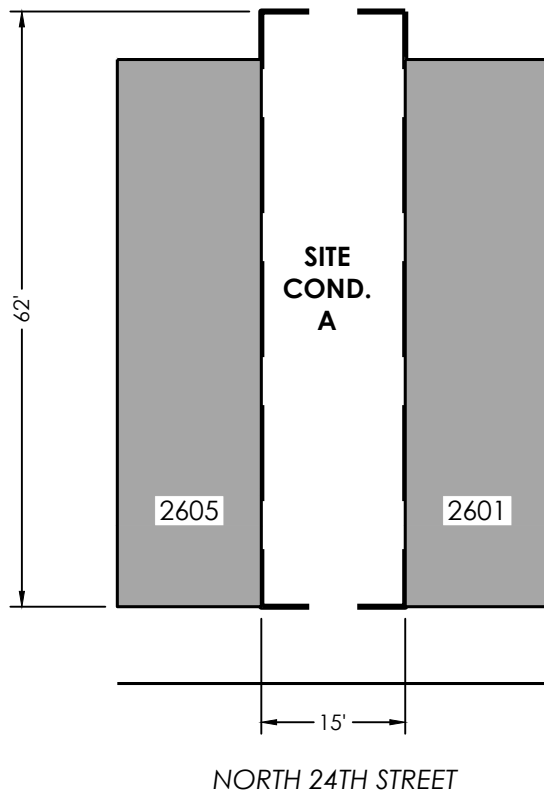
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Scale	1" = 20'
Group B	
VL11367NC_CLP	



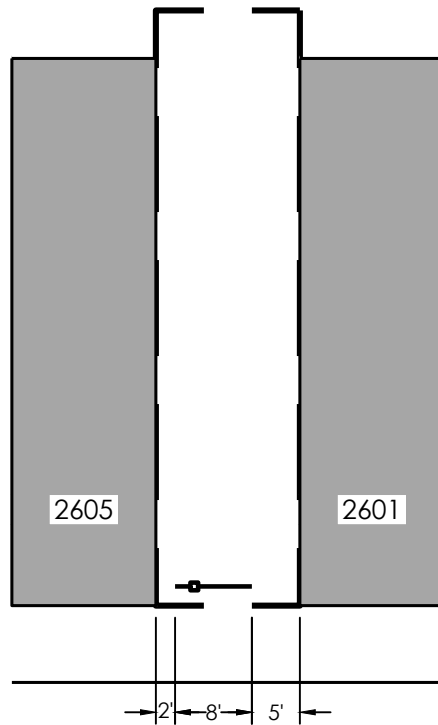
FENCE & TREE LAYOUT

2127-2133 WEST INDIANA AVENUE





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2603 NORTH 24TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11369NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



NORTH 24TH STREET

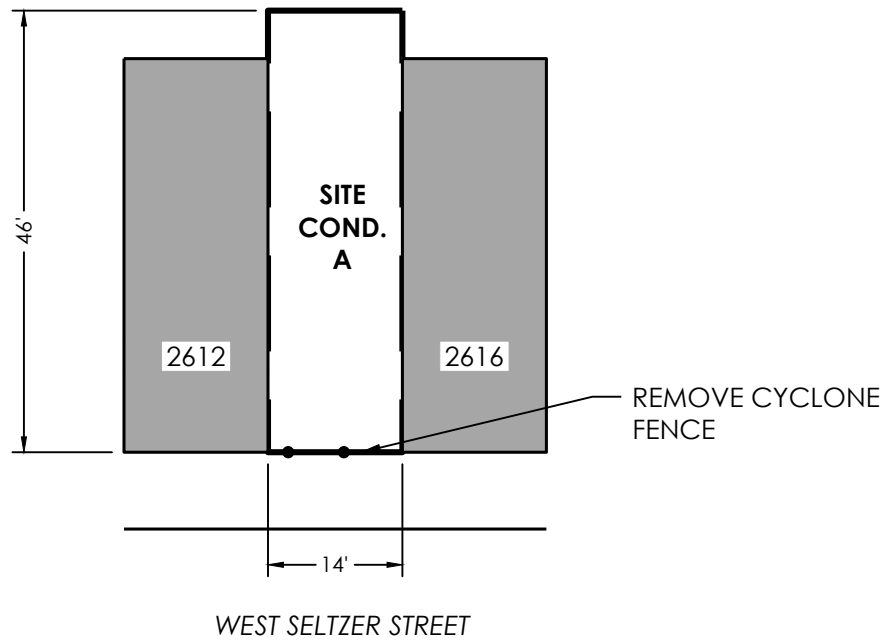
Initial Date	8/1/2024
Scale	1" = 20'
Group B	



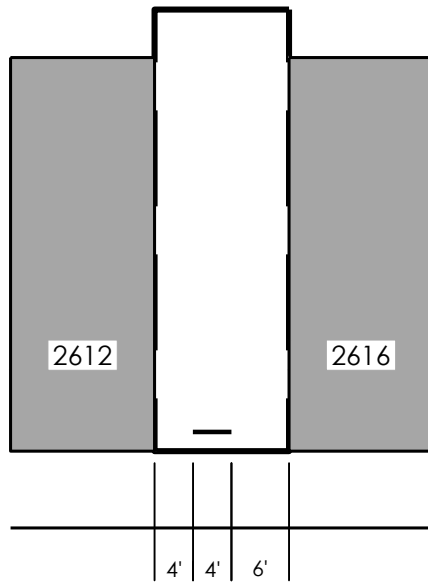
FENCE & TREE LAYOUT

2603 NORTH 24TH STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2614 WEST SELTZER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11371NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST SELTZER STREET

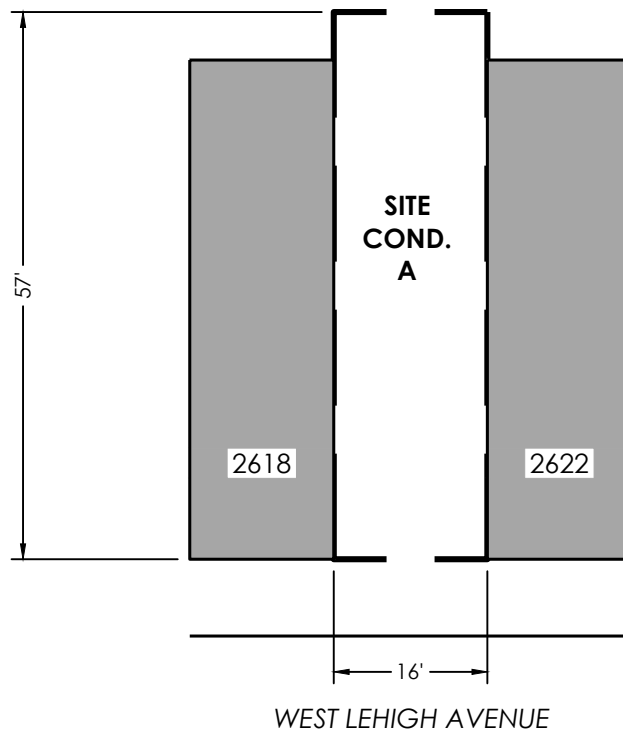
Initial Date	8/1/2024
Scale	1" = 20'
Group B	
VL11371NC_CLP	



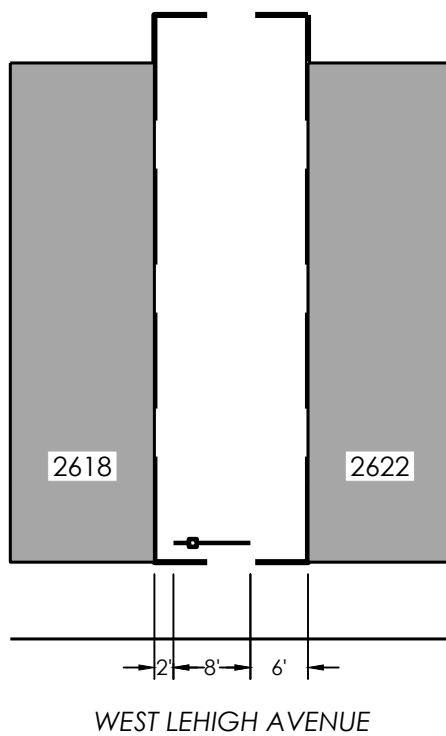
FENCE & TREE LAYOUT

2614 WEST SELTZER STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2620 WEST LEHIGH AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11372NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group B

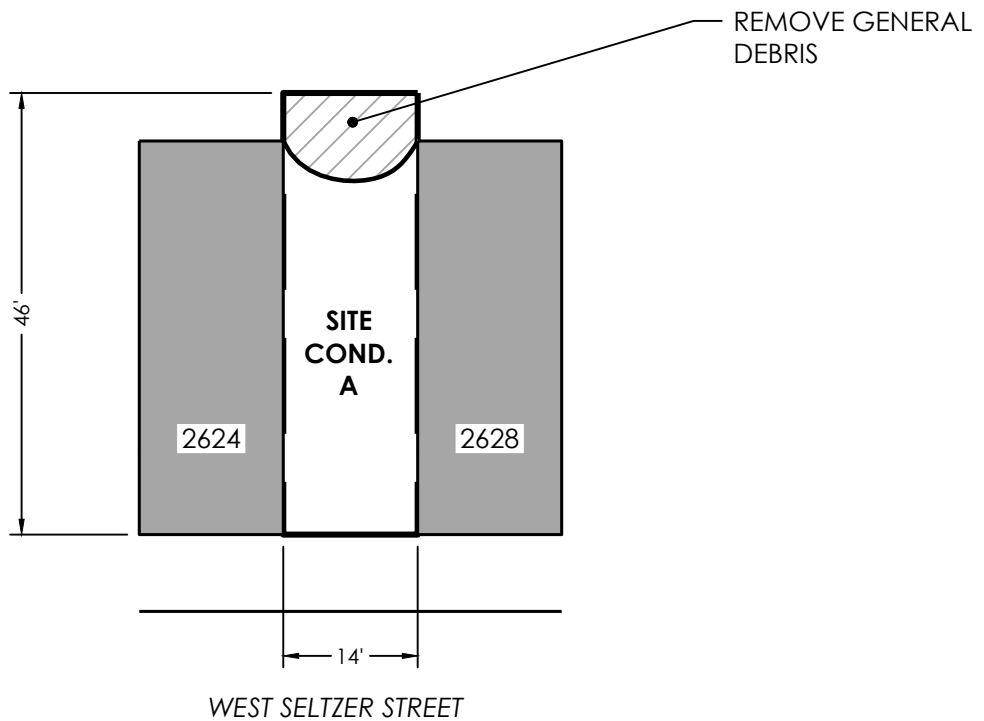
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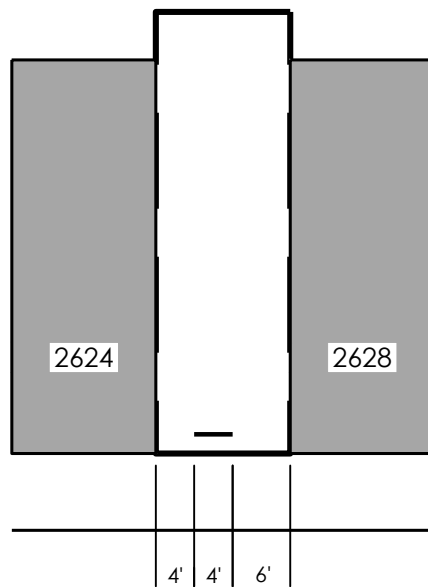
FENCE & TREE LAYOUT

2620 WEST LEHIGH AVENUE





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2626 WEST SELTZER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11373NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST SELTZER STREET

Initial Date
8/1/2024
Scale
1" = 20'
Group B

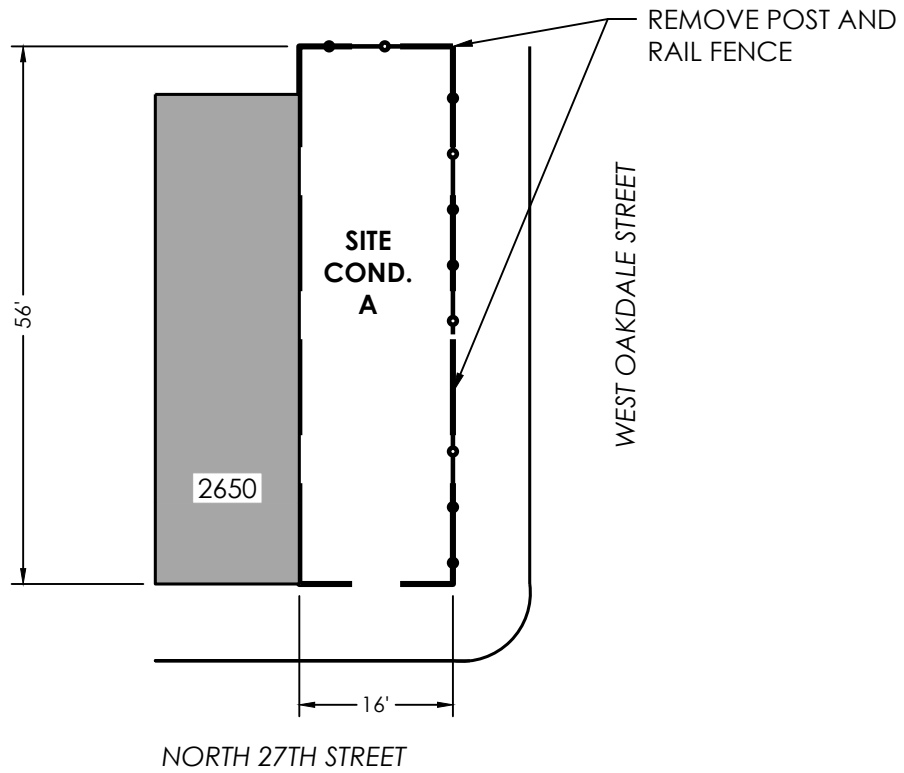


FENCE & TREE LAYOUT

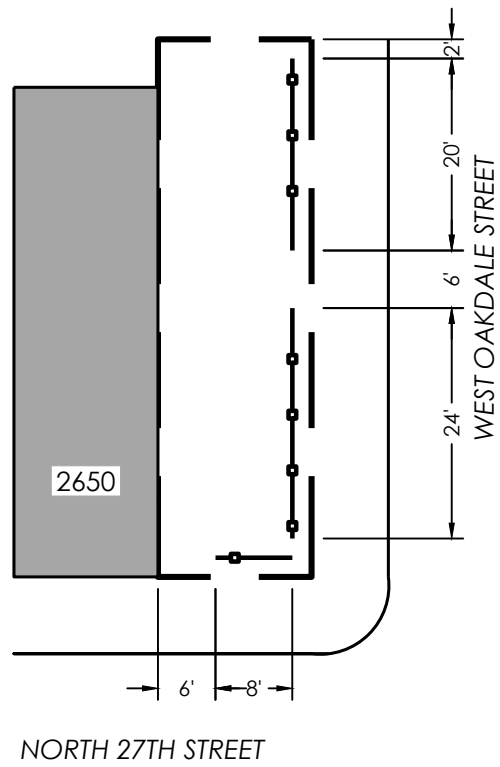
2626 WEST SELTZER STREET



GRADE SITE
TO SIDEWALK



Initial Date 8/1/2024		EXISTING CONDITIONS 2652 NORTH 27TH STREET	Project Of: 	Project Manager: 
Scale 1" = 20'				
Group B				
VL11376NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

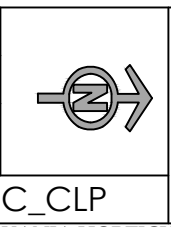


Initial Date
8/1/2024

Scale
1" = 20'

Group B

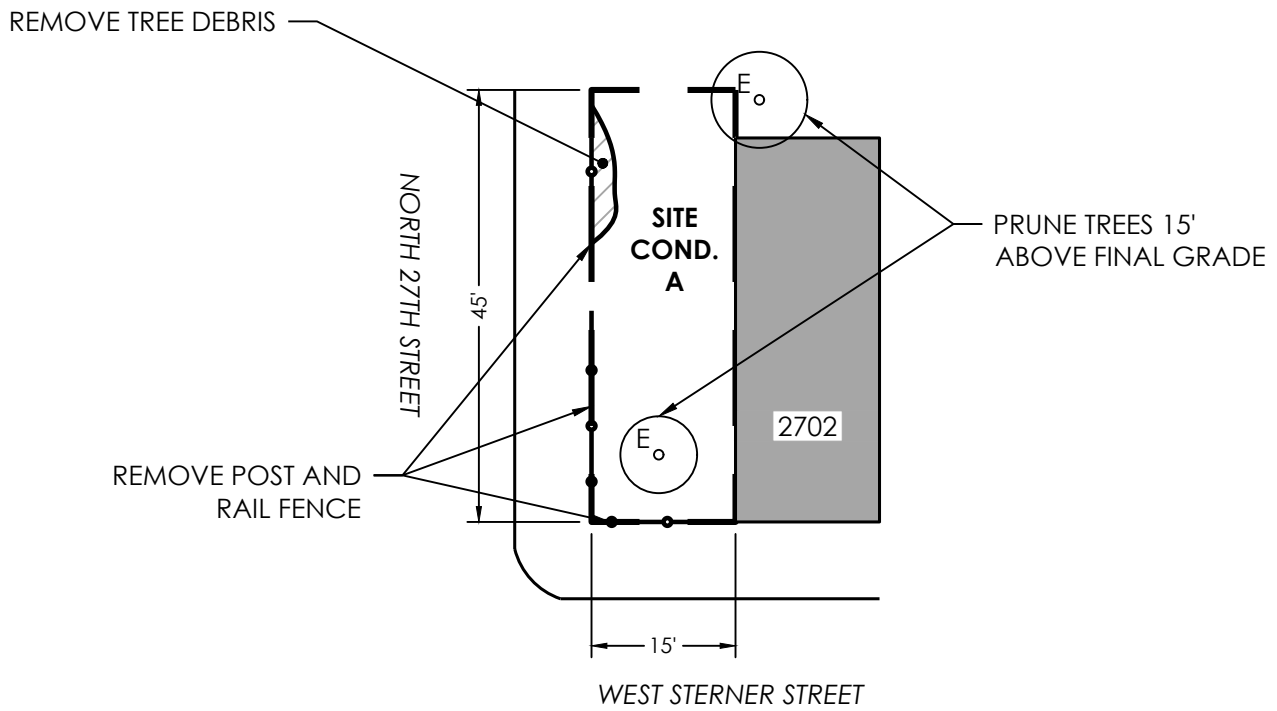
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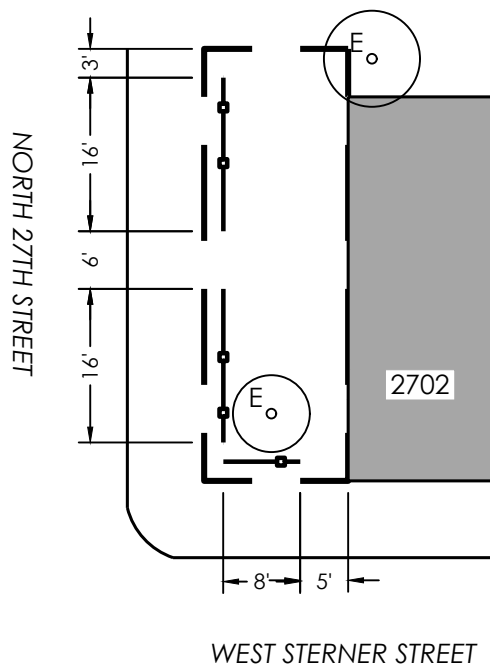
FENCE & TREE LAYOUT

2652 NORTH 27TH STREET

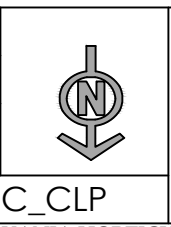




Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2700 WEST STURNER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11377NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

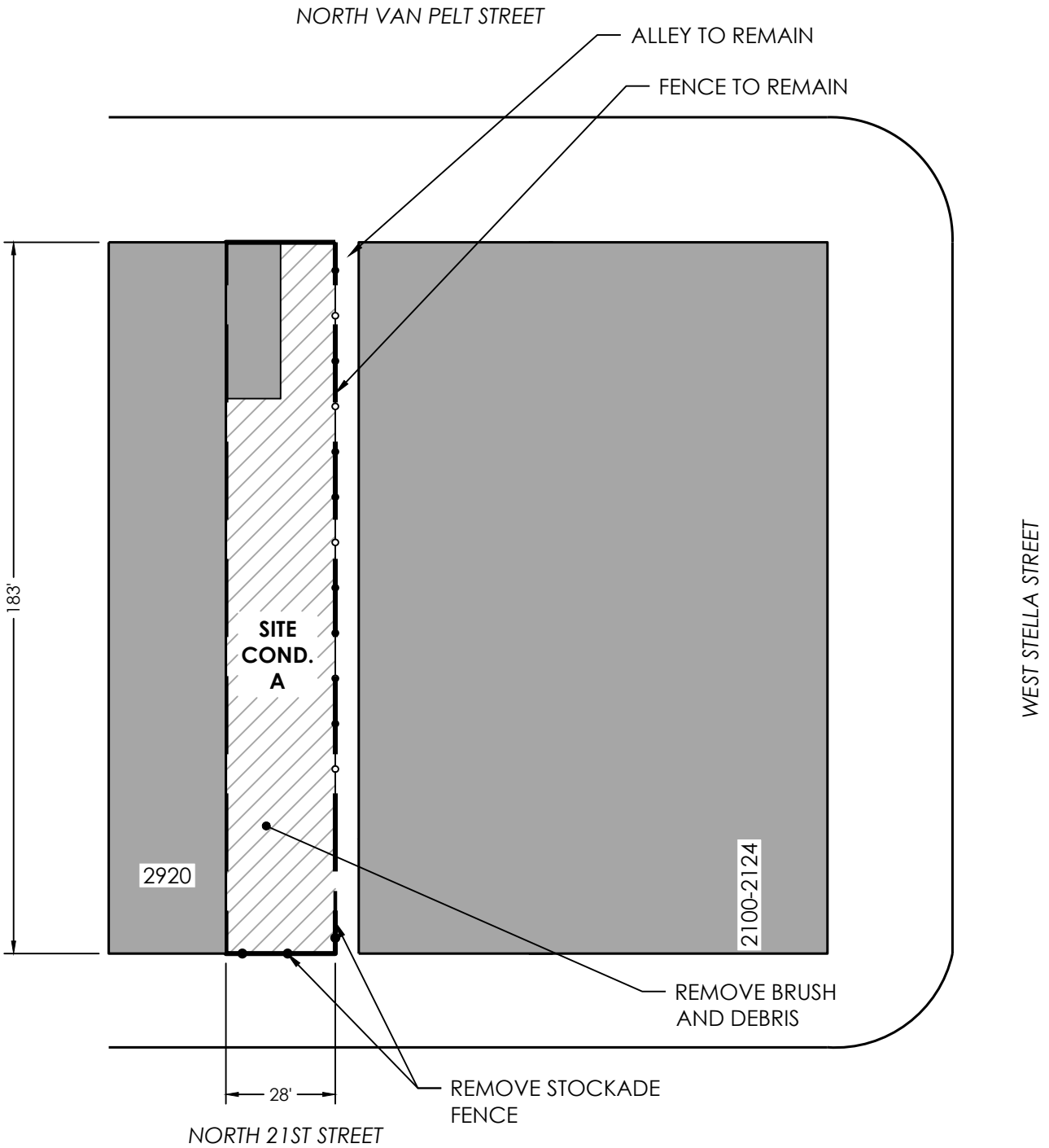


Initial Date	8/1/2024
Scale	1" = 20'
Group	Group B
Project ID	VL11377NC_CLP



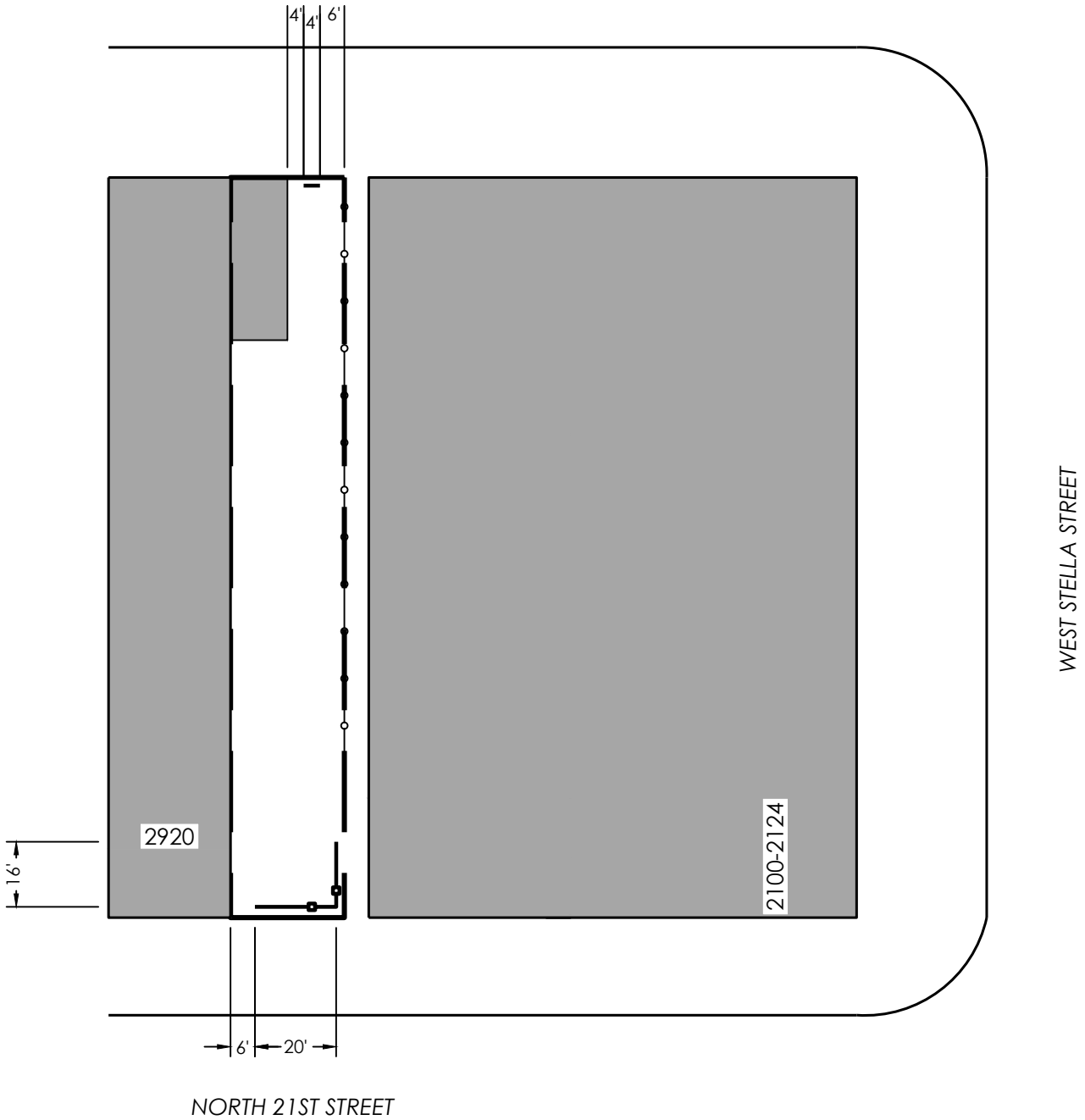
FENCE & TREE LAYOUT
 2700 WEST STERNER STREET



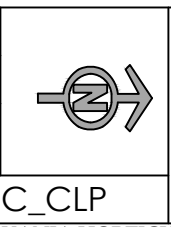


Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>2941 NORTH VAN PELT STREET; 2922-24 NORTH 21ST STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11380NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

NORTH VAN PELT STREET

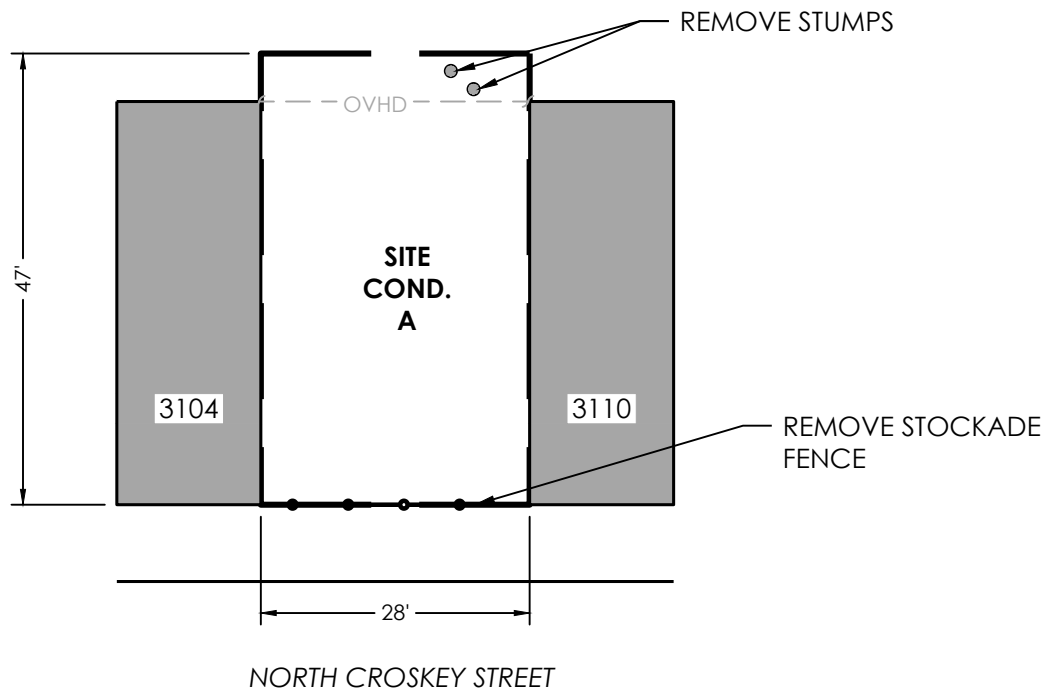


Initial Date	8/1/2024
Scale	1" = 20'
Group B	
VL11380NC_CLP	

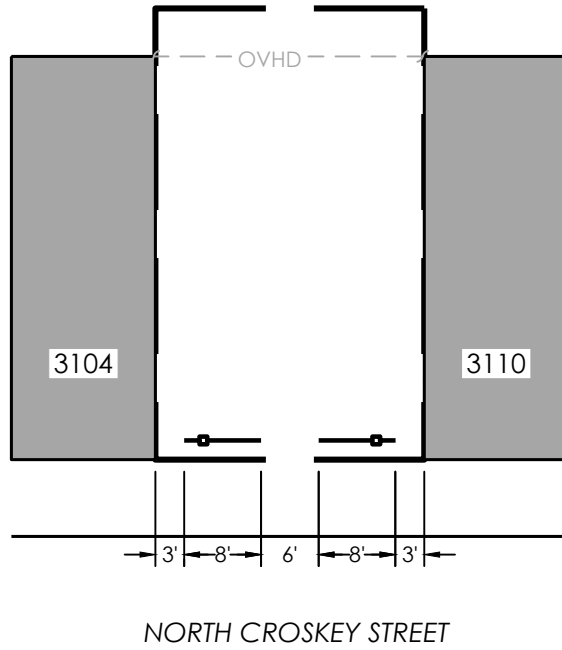


FENCE & TREE LAYOUT
2941 NORTH VAN PELT STREET; 2922-24 NORTH 21ST STREET





Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>3106-3108 NORTH CROSKEY STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11383NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group B

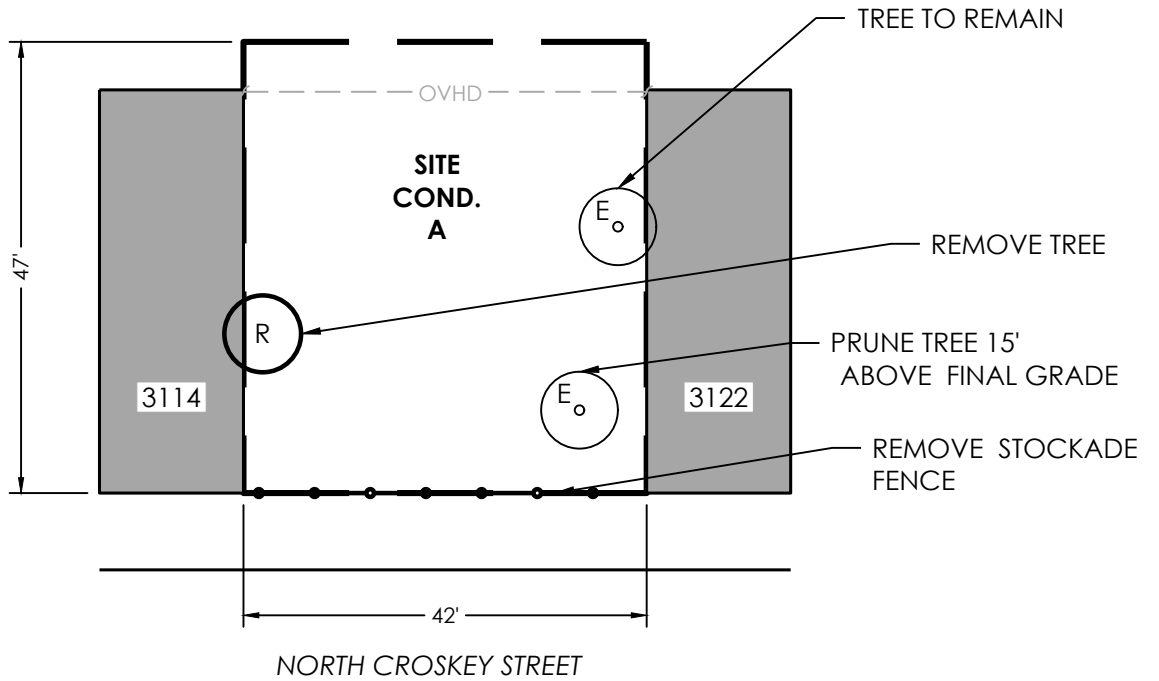
VL11383NC_CLP



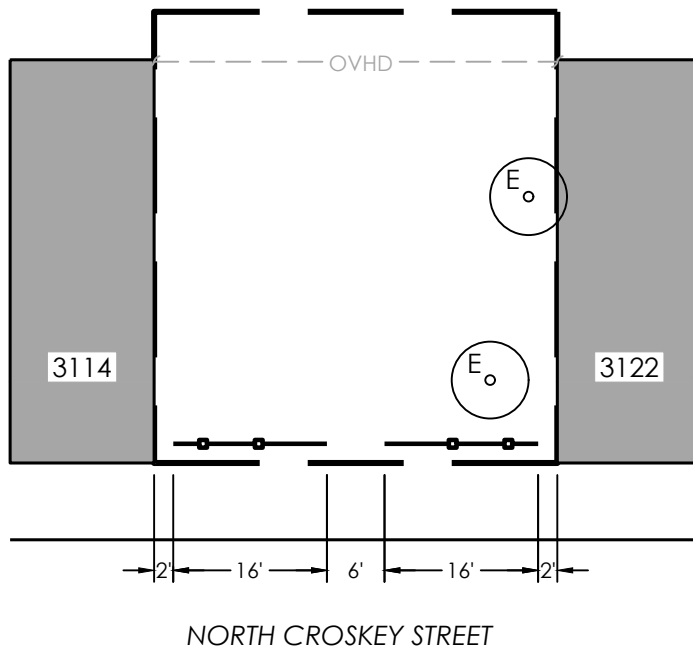
FENCE & TREE LAYOUT

3106-3108 NORTH CROSKY STREET





Initial Date 8/1/2024		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">3116-3120 NORTH CROSKEY STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL11385NC_CLP		<small>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</small>		



Initial Date
8/1/2024

Scale
1" = 20'

Group B

VL11385NC_CLP



FENCE & TREE LAYOUT

3116-3120 NORTH CROSKY STREET





THE PENNSYLVANIA HORTICULTURAL SOCIETY

PHILADELPHIA LANDCARE STABILIZATION
Fall 2024

Group C
Brewerytown

W Girard Ave, N 33rd St, Ridge Ave, N 25th St



*Project funded by the City of Philadelphia
Division of Housing and Community Development*



Group C Site List
Fall 2024
Brewerytown
Page 1 of 1

<u>VL#</u>	<u>Address Range</u>
VL11390BR_CLP	1212 PENNOCK ST
VL11392BR_CLP	1232 N 28TH ST
VL11393BR_CLP	1235 N DOVER ST
VL11395BR_CLP	1246 N DOVER ST
VL11396BR_CLP	1252 N DOVER ST
VL11397BR_CLP	1258 N DOVER ST
VL11399BR_CLP	1265 N DOVER ST
VL11400BR_CLP	1271 N DOVER ST
VL11401BR_CLP	1300 N 25TH ST
VL11402BR_CLP	1304 N DOVER ST
VL11404BR_CLP	1744-1748 N 27TH ST
VL11405BR_CLP	1800 N 28TH ST; 1801 N NEWKIRK ST
VL11408BR_CLP	2351 N COLLEGE AVE
VL11410BR_CLP	2406-2408 W MONTGOMERY AVE
VL11411BR_CLP	2441 CECIL B MOORE AVE
VL11412BR_CLP	2502 MASTER ST
VL11416BR_CLP	2710 W CABOT ST
VL11420BR_CLP	2928 MASTER ST; 1348 MYRTLEWOOD ST
VL11421BR_CLP	2947 W FLORA ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*







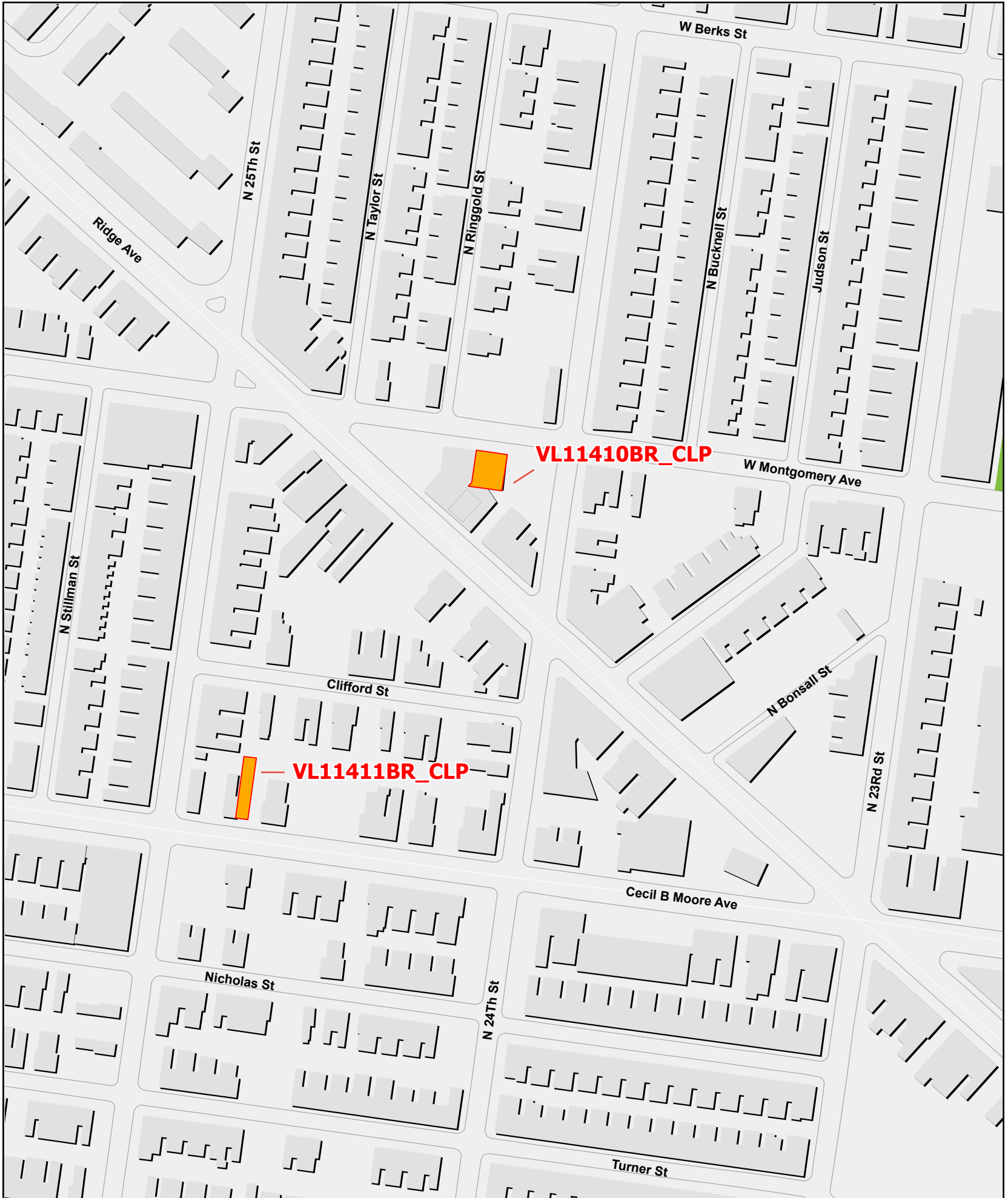
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group C:
Brewerytown - Fall 2024

-  Fall 2024 Parcels
-  Building





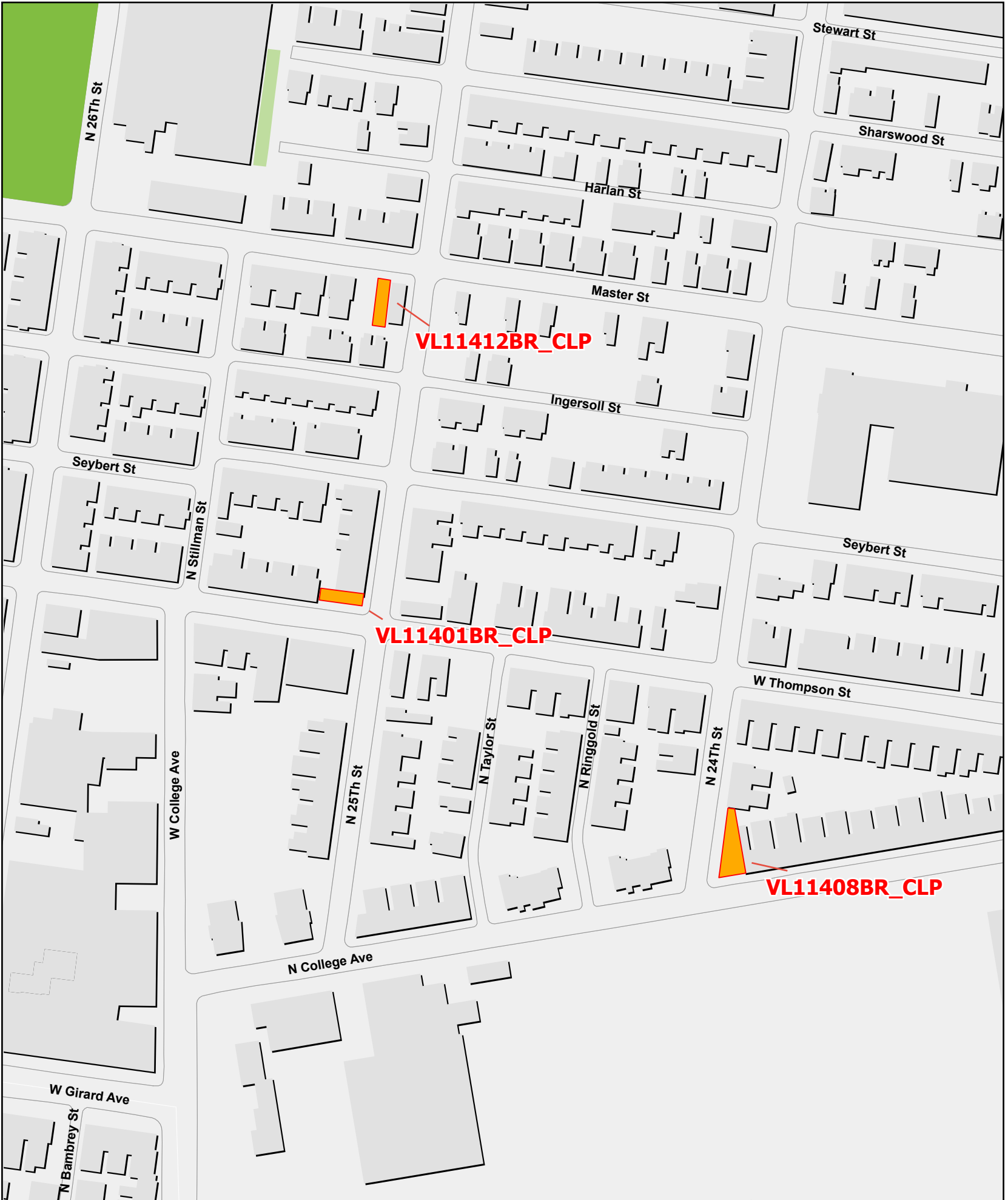
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City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group C:
Brewerytown - Fall 2024

- Fall 2024 Parcels
- Building





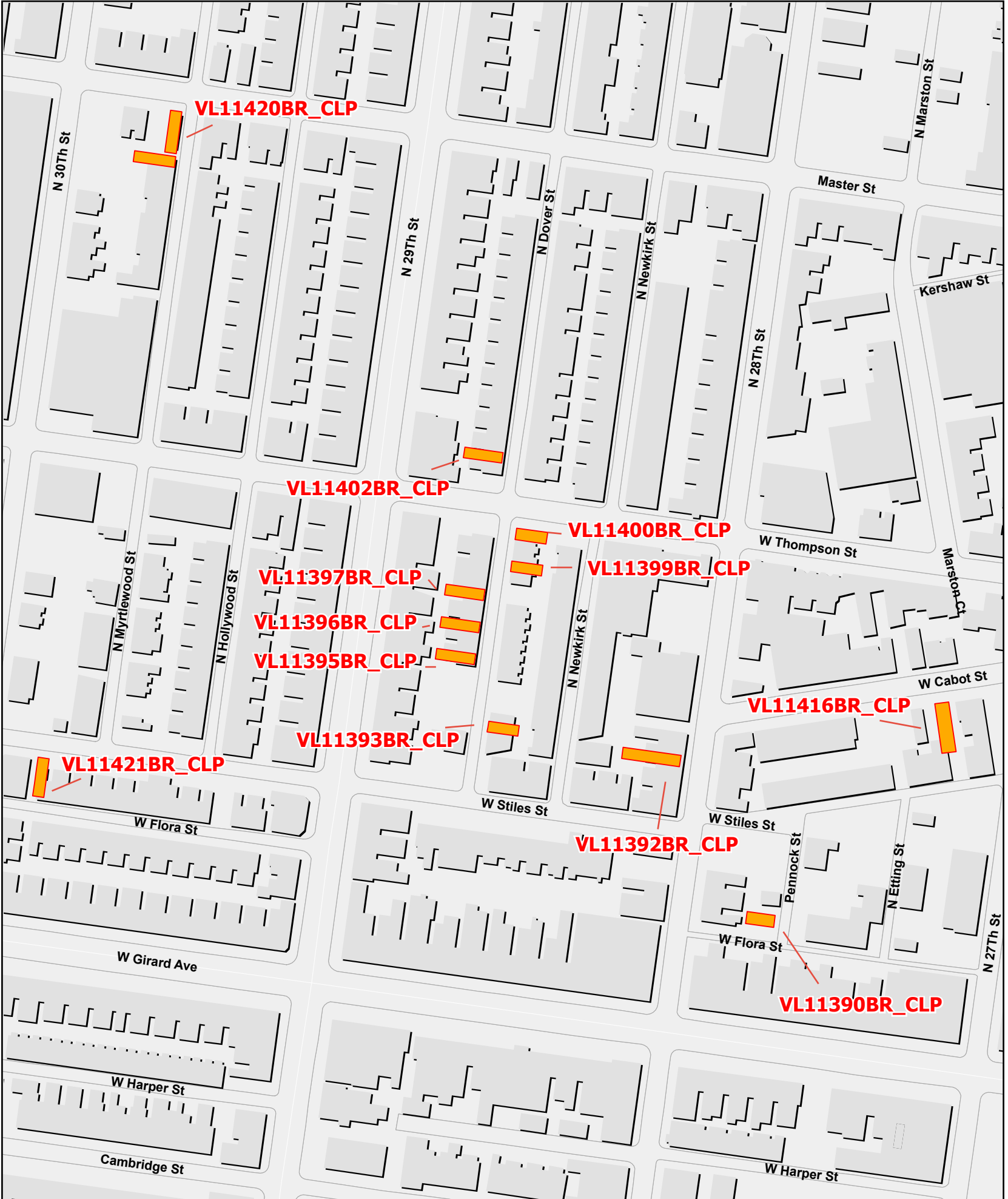
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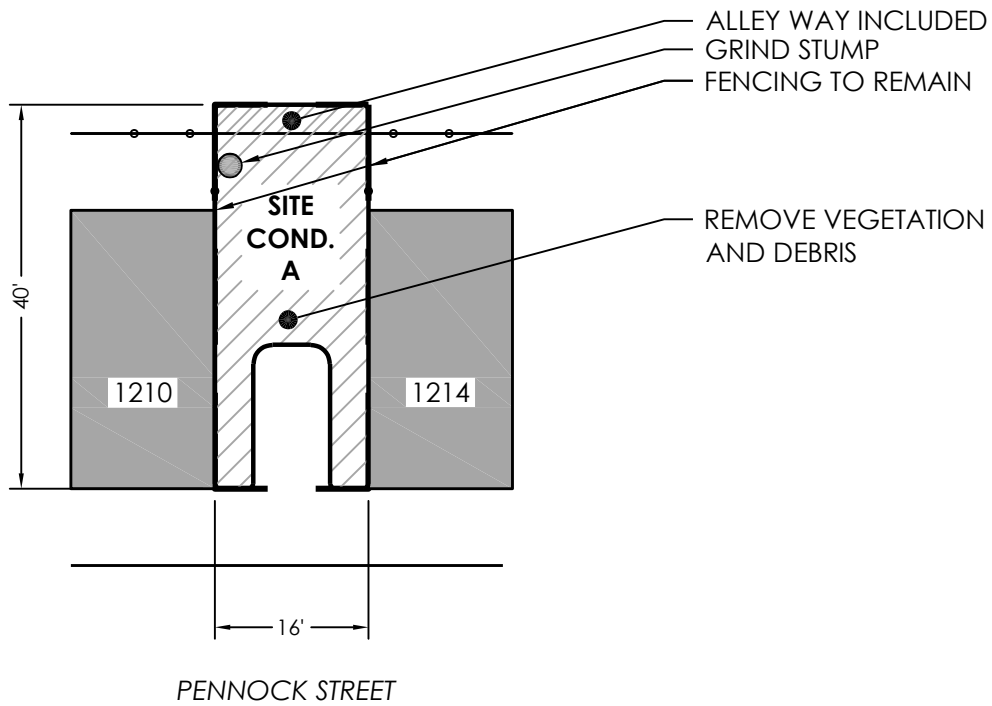


City of Philadelphia

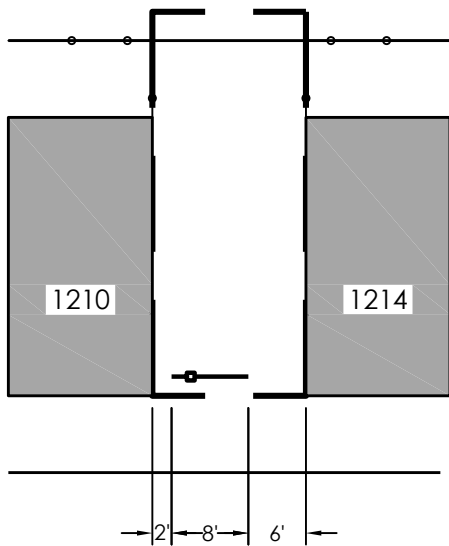
Philadelphia LandCare Sites
Proposed for Group C:
Brewerytown - Fall 2024

Fall 2024 Parcels
 Building





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1212 PENNOCK STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11390BR_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



PENNOCK STREET

Initial Date
8/15/2024
Scale
1" = 20'
Group C



FENCE & TREE LAYOUT

1212 PENNOCK STREET

VL11390BR_CLP

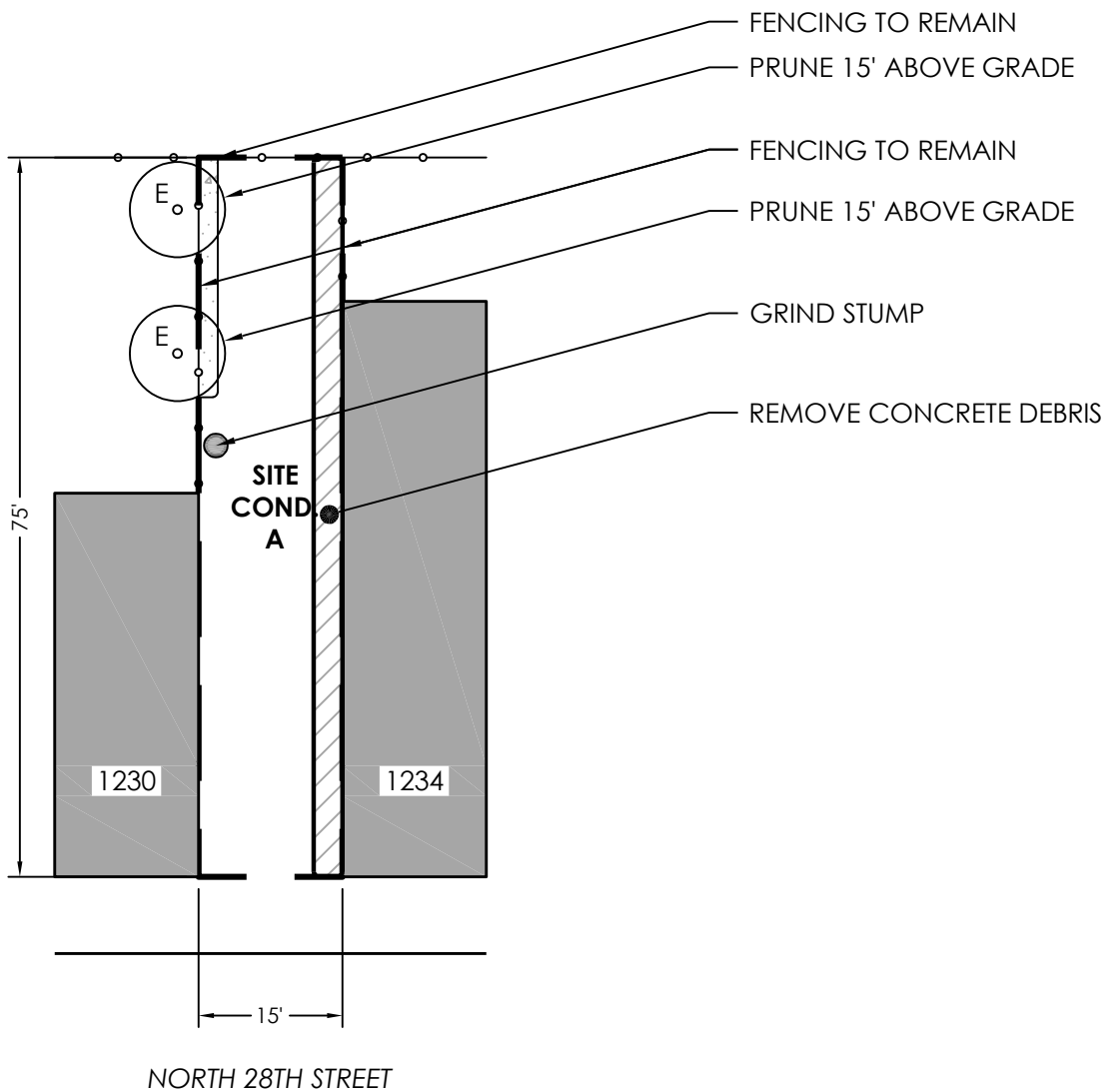
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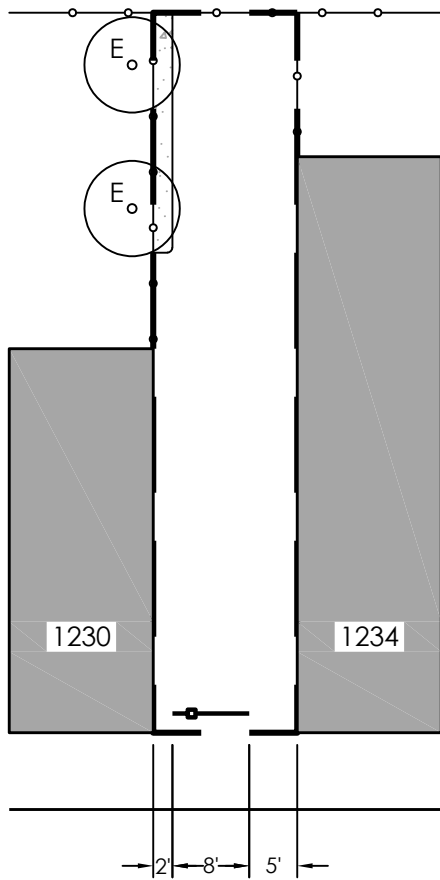
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1232 NORTH 28TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11392BR_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH 28TH STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group	Group C
Project ID	VL11392BR_CLP



FENCE & TREE LAYOUT

1232 NORTH 28TH STREET

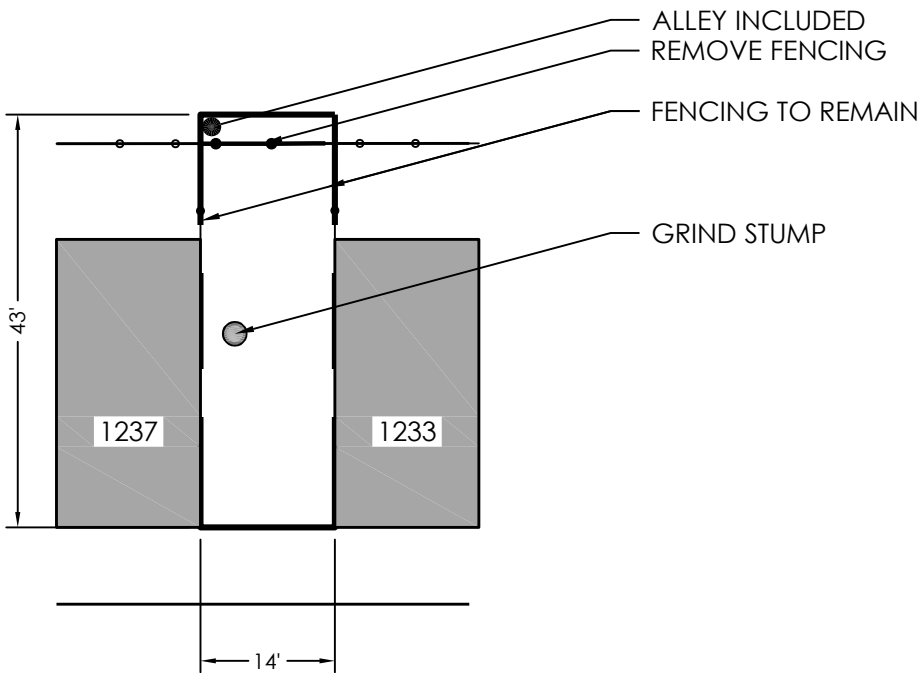
Project Of:



Project Manager:

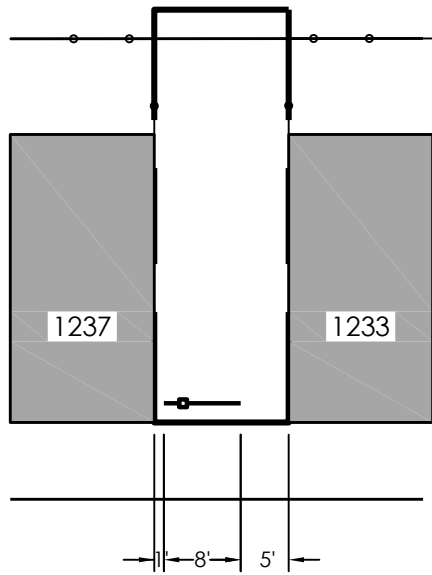


PHS



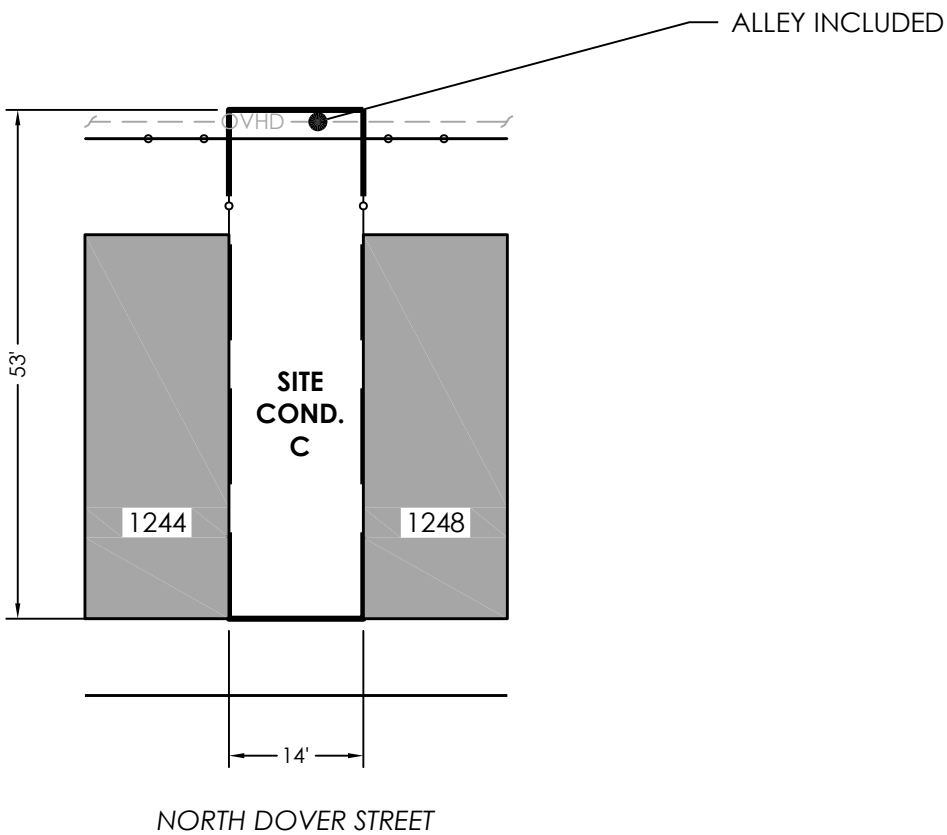
NORTH DOVER STREET

Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1235 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11393BR_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

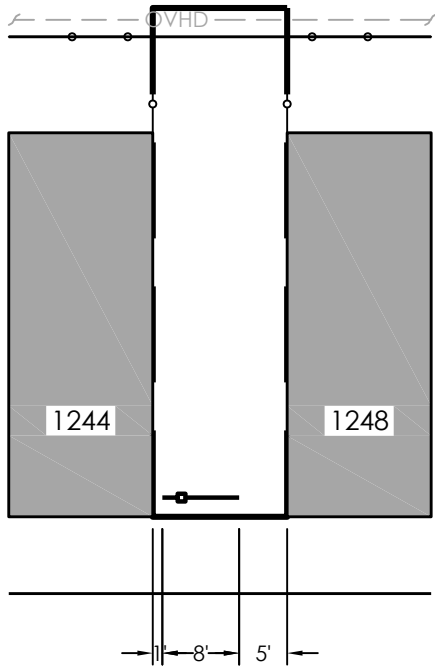


NORTH DOVER STREET

Initial Date 8/15/2024		<h2>FENCE & TREE LAYOUT</h2> <p>1235 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11393BR_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1246 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11395BR_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



NORTH DOVER STREET

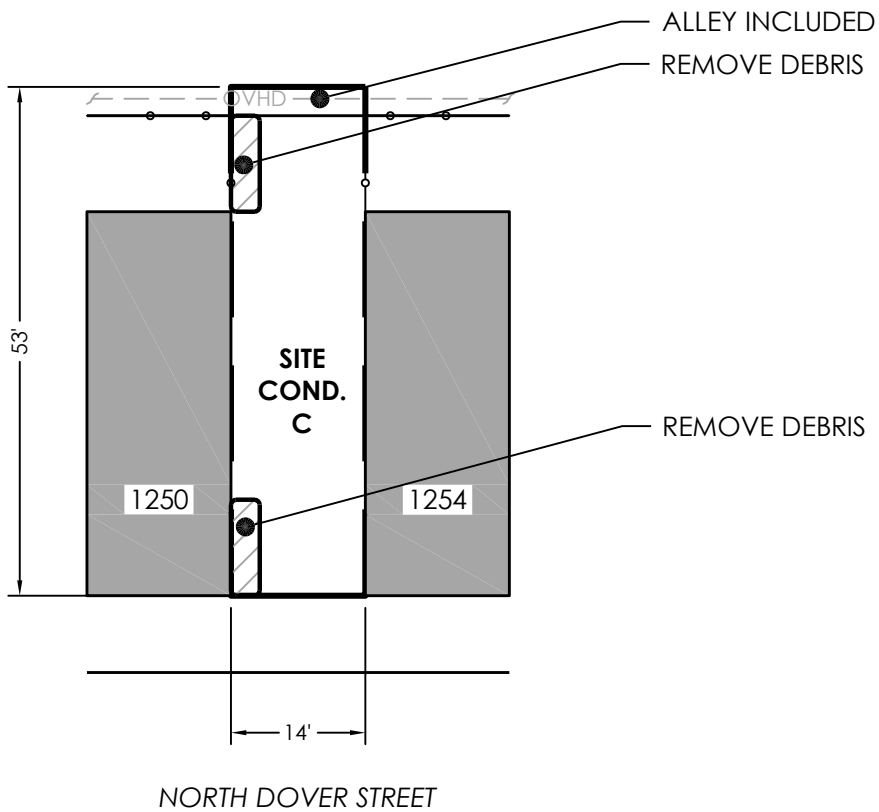
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group C
Project ID	VL11395BR_CLP



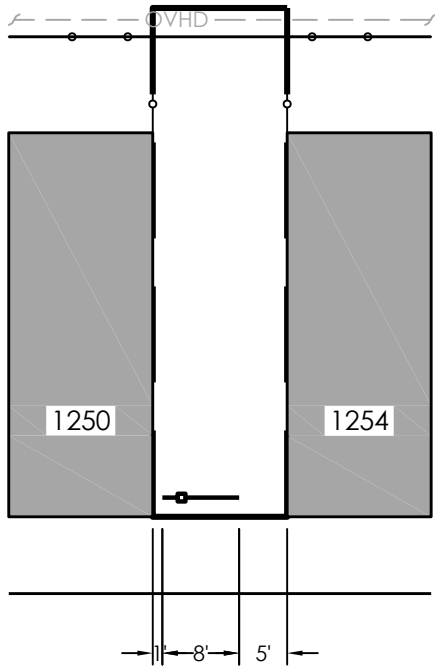
FENCE & TREE LAYOUT

1246 NORTH DOVER STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1252 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11396BR_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



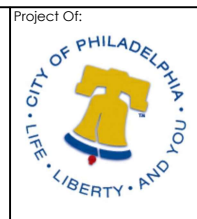
NORTH DOVER STREET

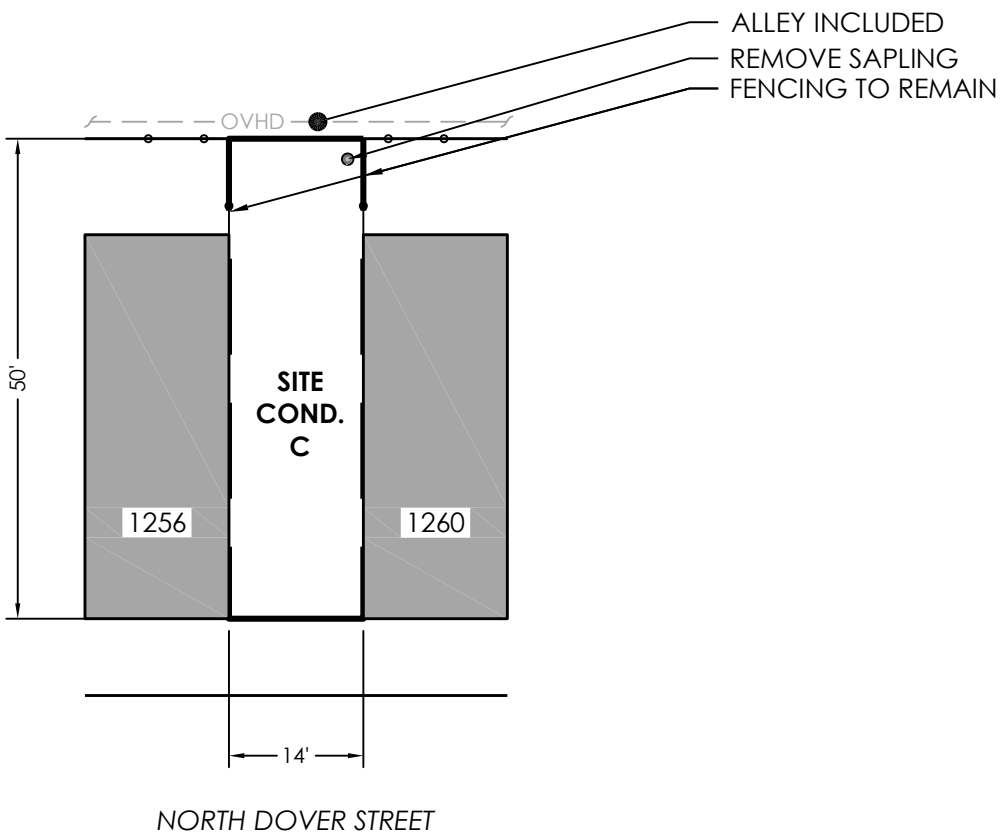
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Scale	1" = 20'
Group	Group C
Project ID	VL11396BR_CLP



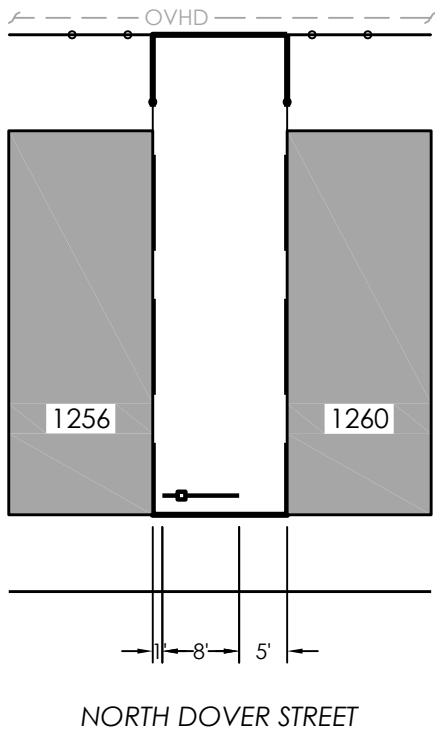
FENCE & TREE LAYOUT

1252 NORTH DOVER STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1258 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11397BR_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

Group C

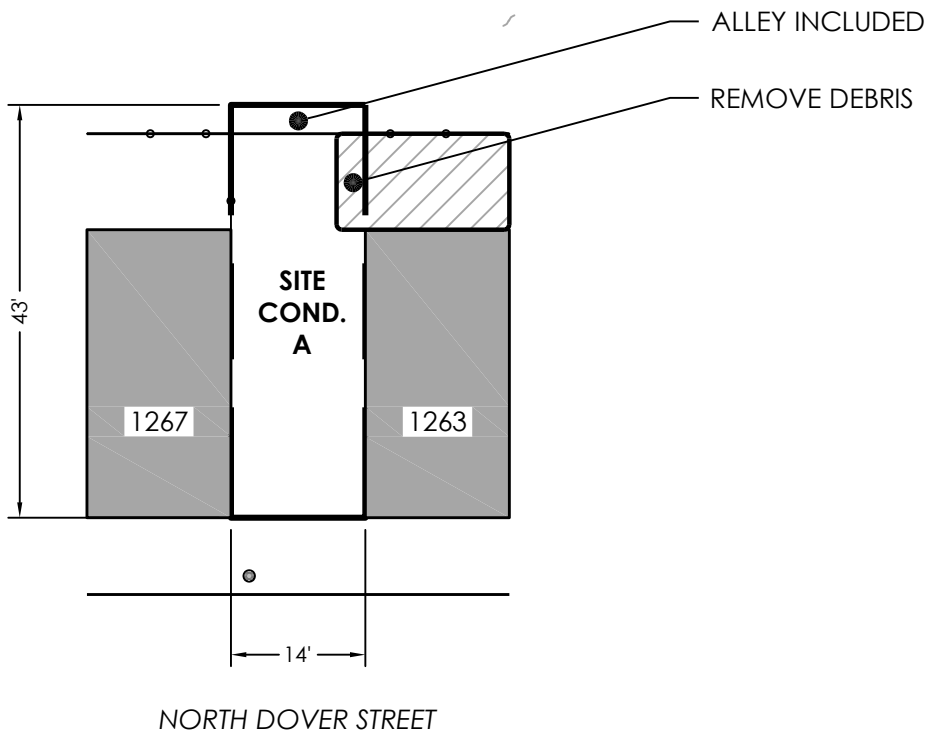
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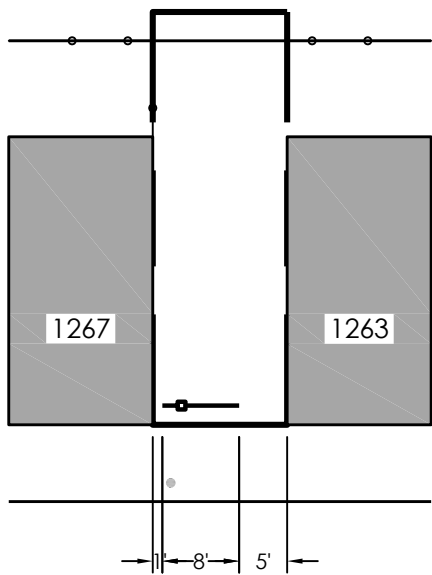
FENCE & TREE LAYOUT

1258 NORTH DOVER STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1265 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11399BR_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH DOVER STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group C	
VL11399BR_CLP	



FENCE & TREE LAYOUT

1265 NORTH DOVER STREET

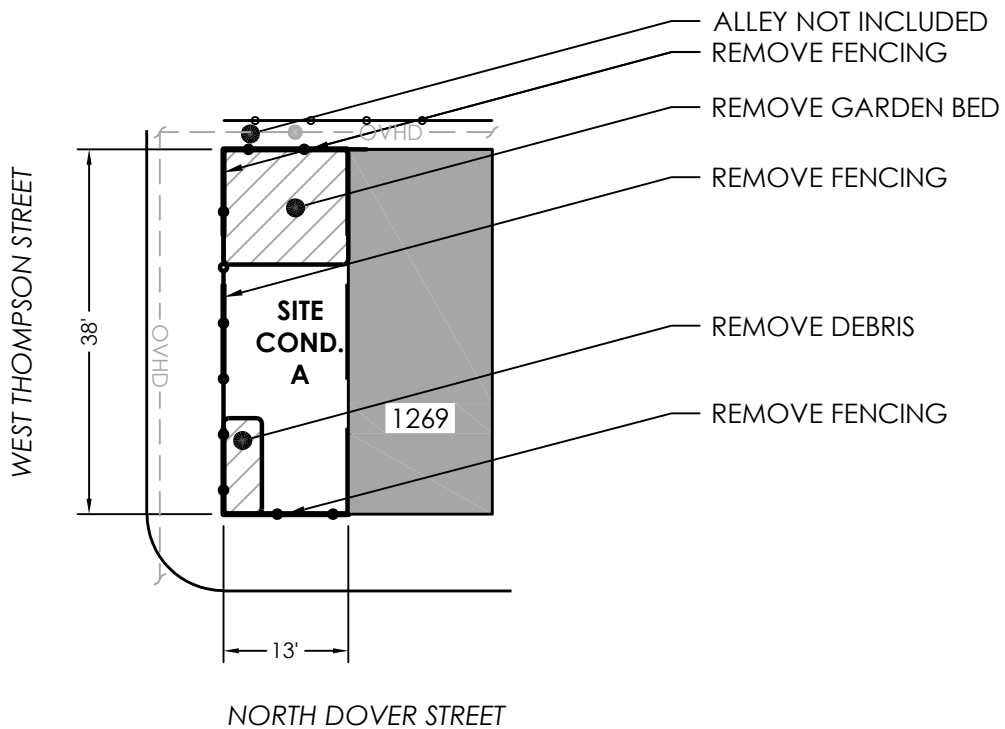
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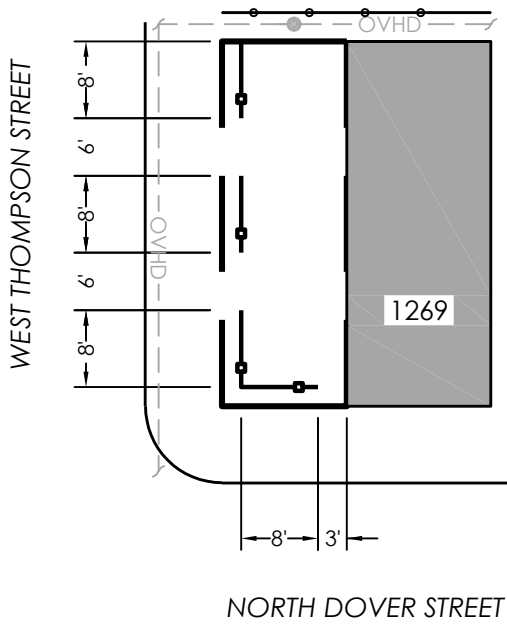
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1271 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11400BR_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

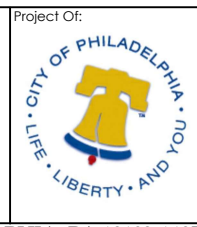


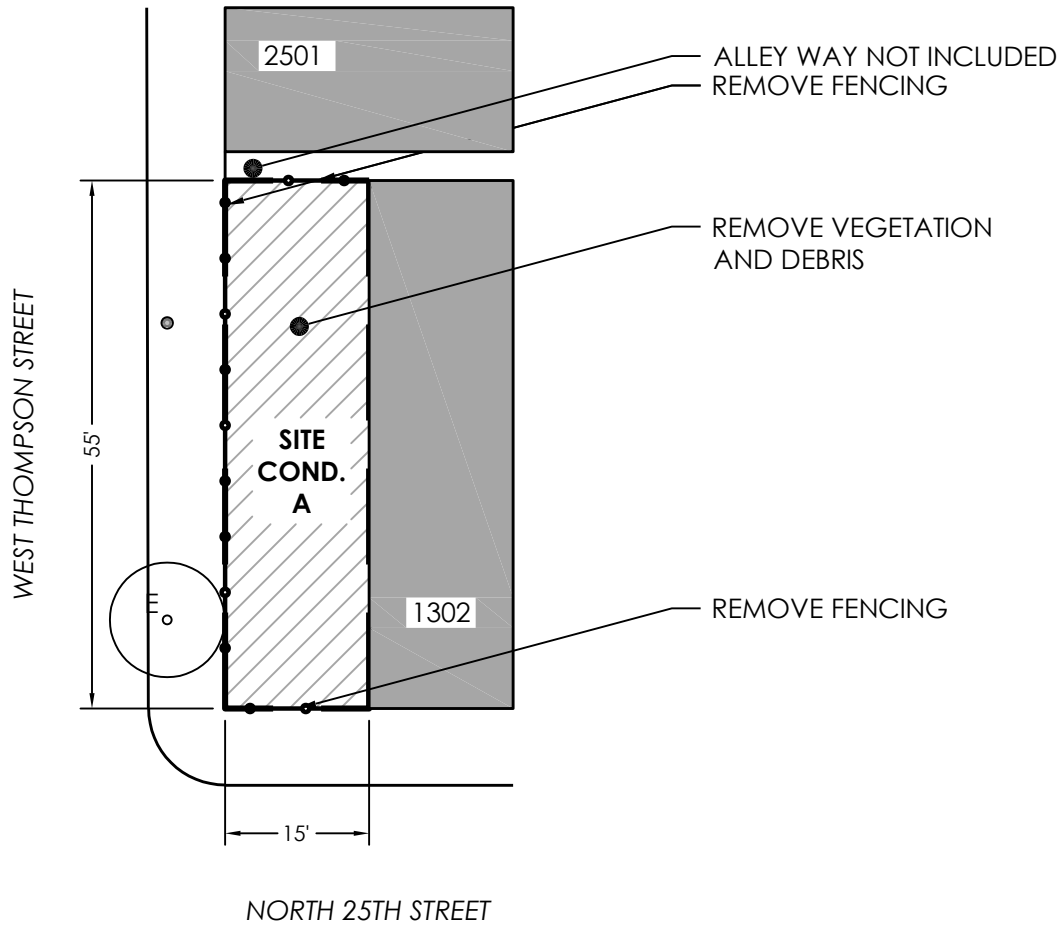
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group C
Project ID	VL11400BR_CLP



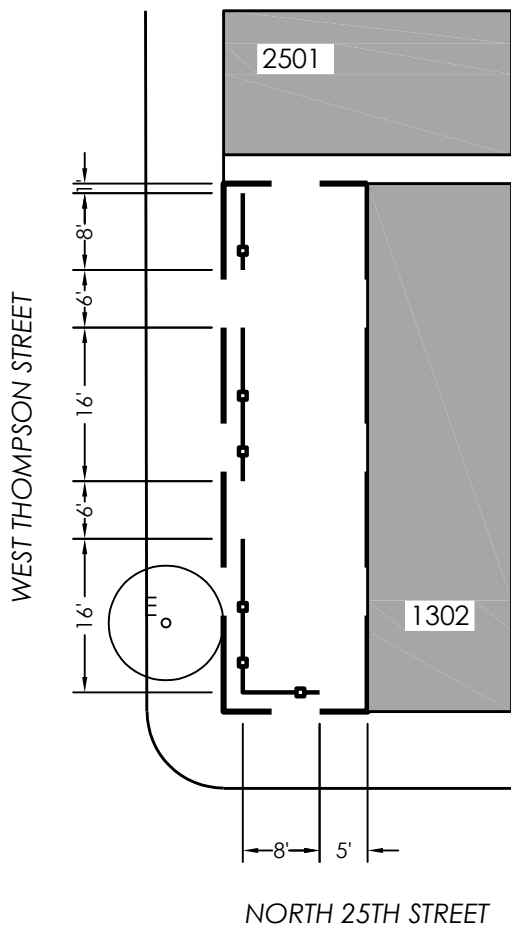
FENCE & TREE LAYOUT

1271 NORTH DOVER STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1300 NORTH 25TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11401BR_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

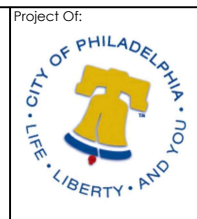
Group C

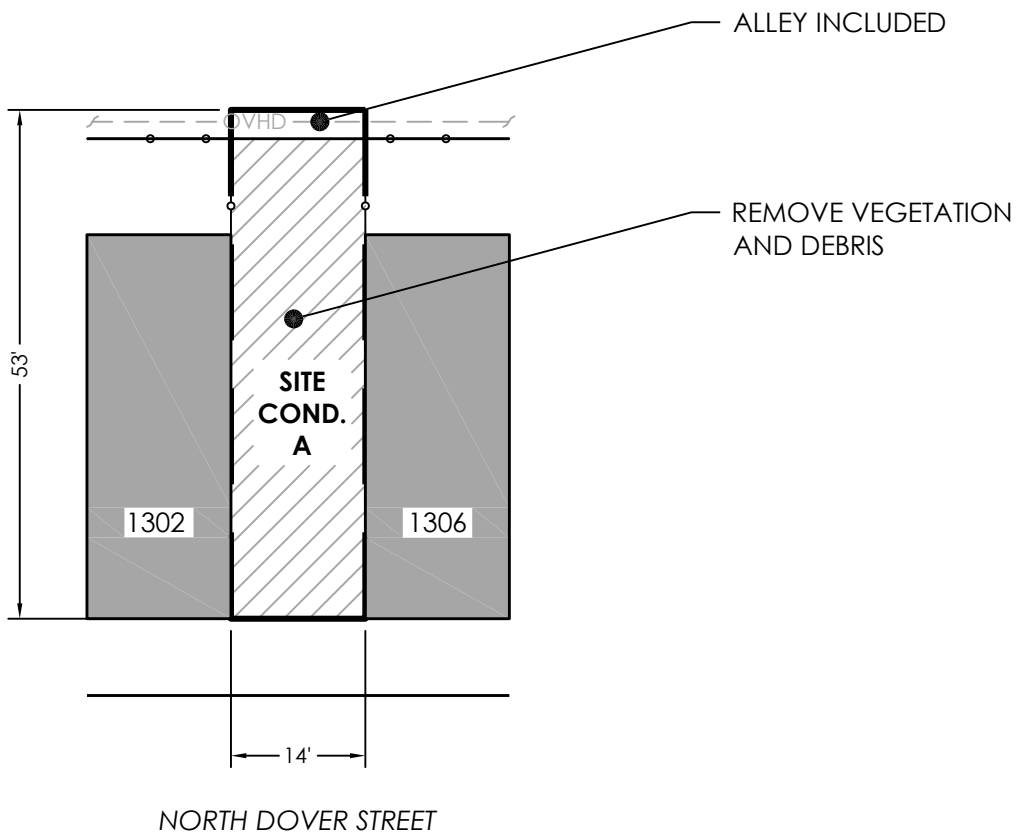
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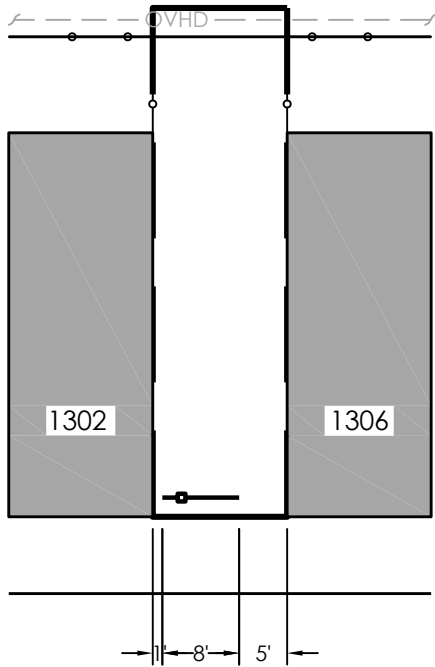
FENCE & TREE LAYOUT

1300 NORTH 25TH STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1304 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11402BR_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



NORTH DOVER STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group	Group C
Project ID	VL11402BR_CLP



FENCE & TREE LAYOUT

1304 NORTH DOVER STREET

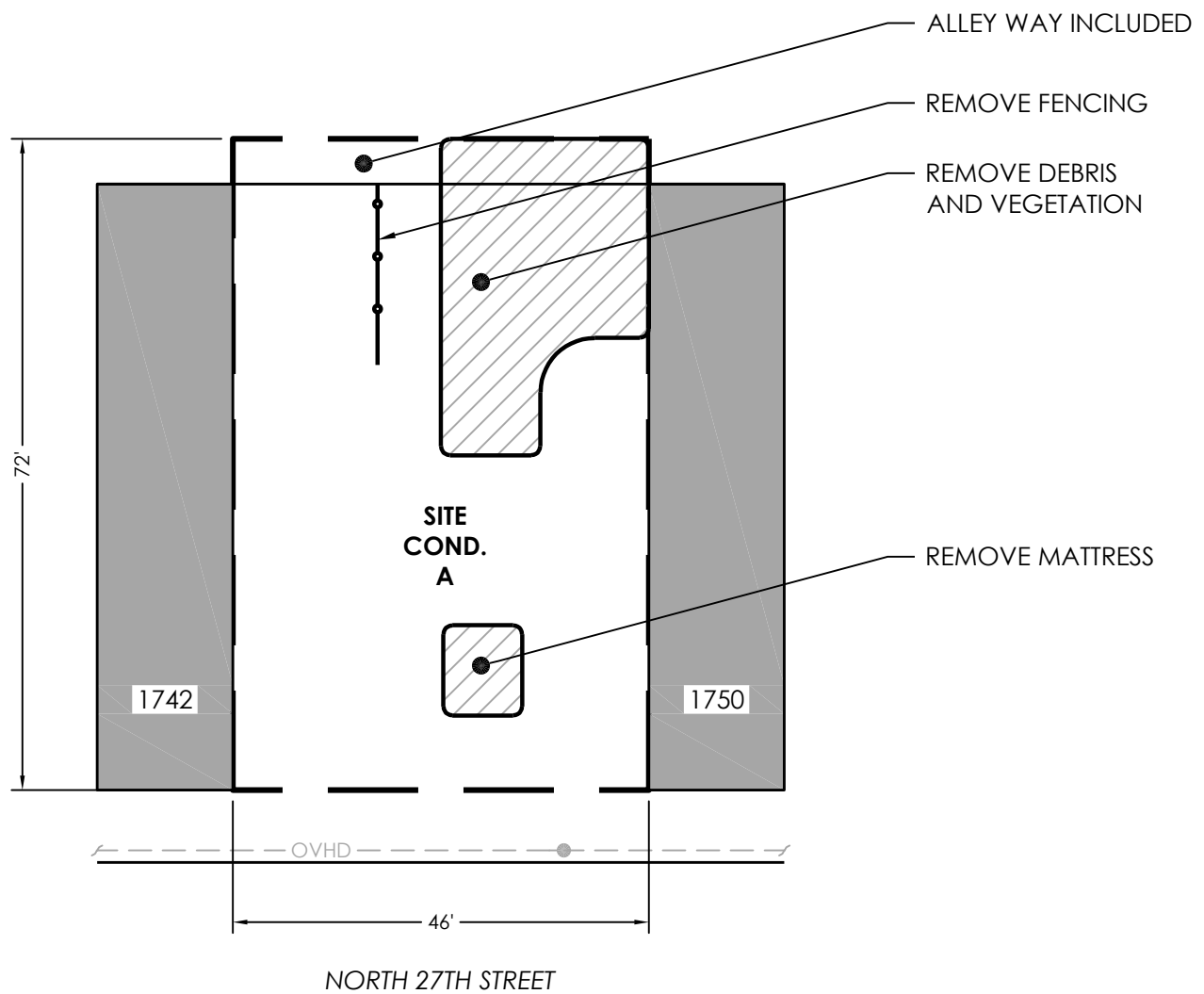
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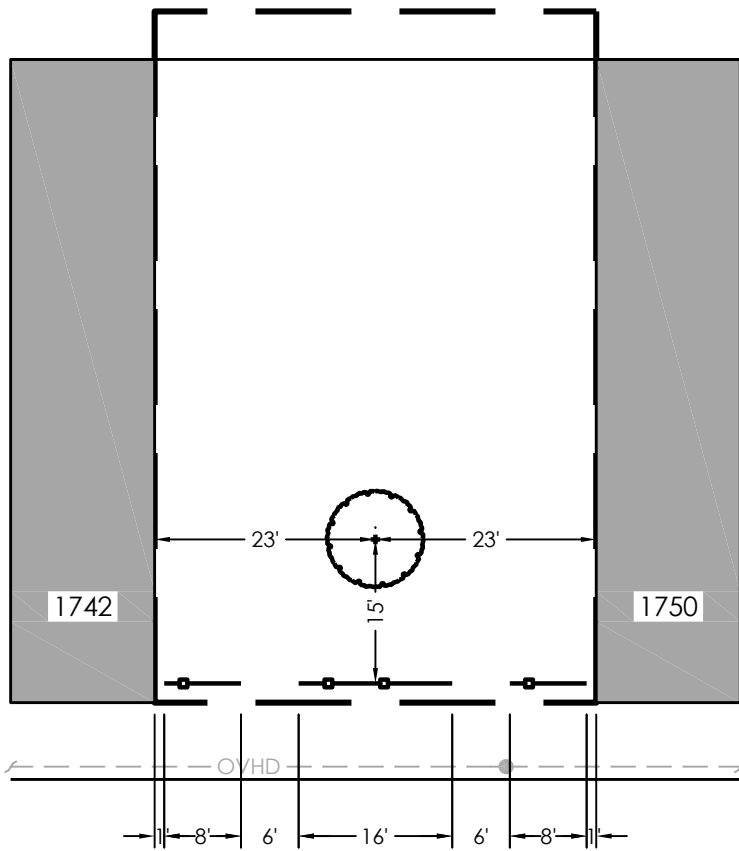
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1744-1748 NORTH 27TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11404BR_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



NORTH 27TH STREET

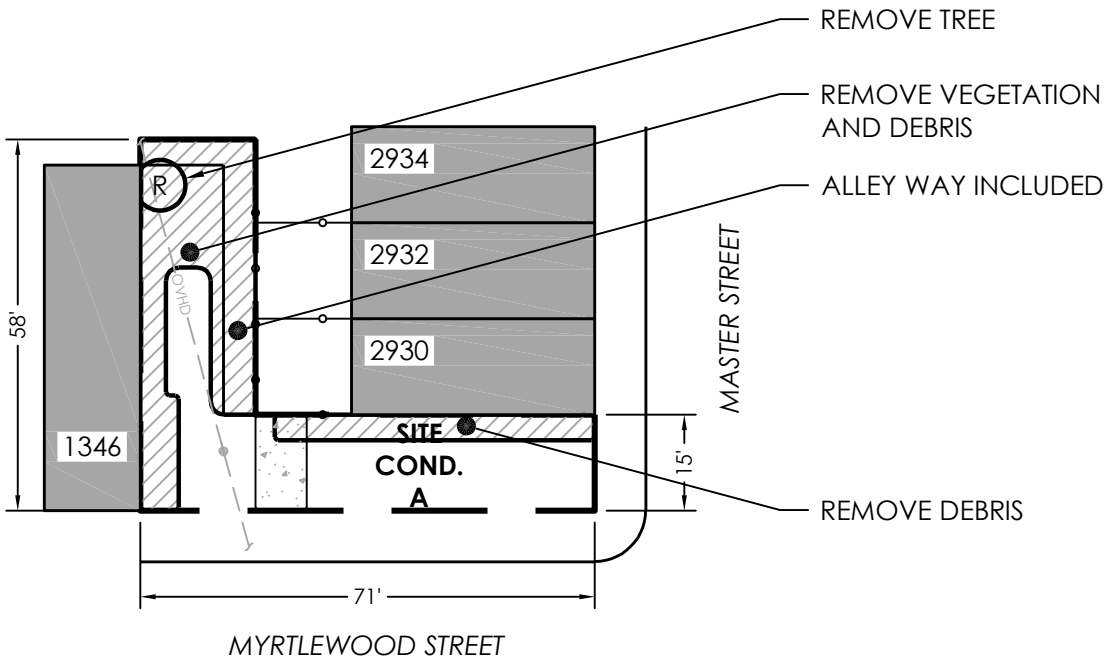
Initial Date
8/15/2024
Scale
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Group C
VL11404BR_CLP



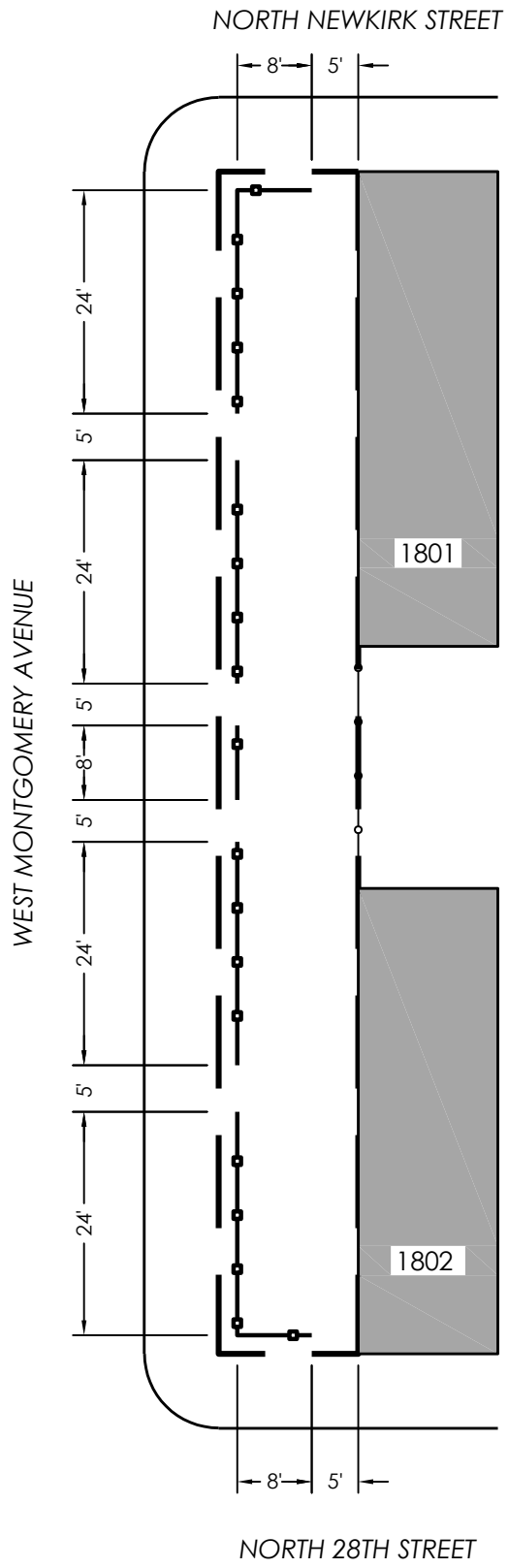
FENCE & TREE LAYOUT

1744-1748 NORTH 27TH STREET

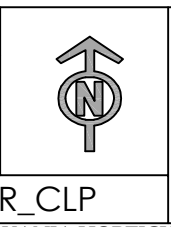




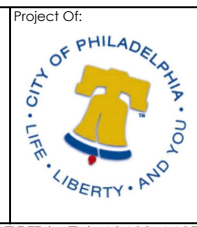
Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>2928 MASTER ST; 1348 MYRTLEWOOD ST</p>	Project Of:	Project Manager:
Scale 1" = 30'				
Group C				
VL11420BR_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		

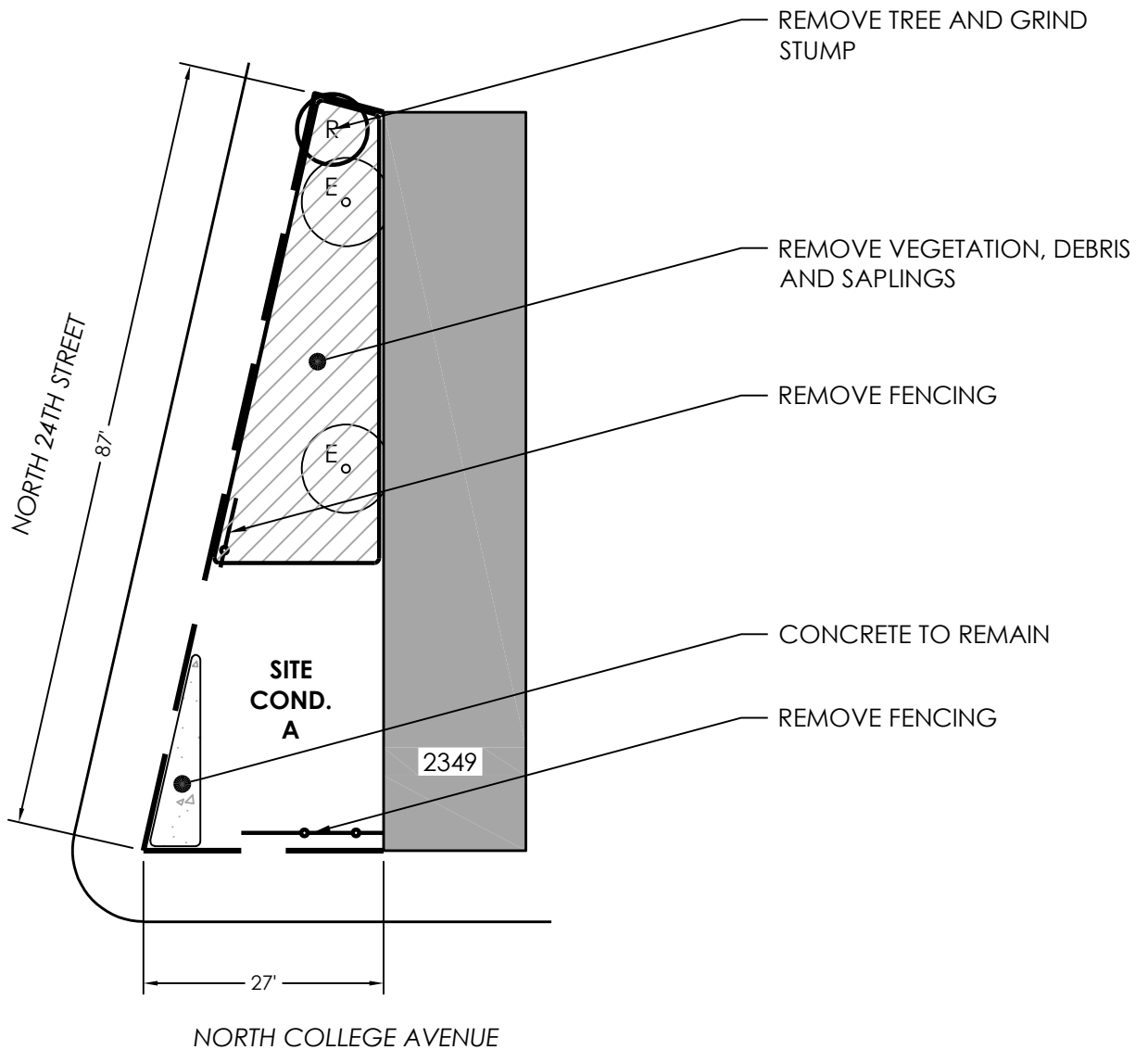


Initial Date	8/15/2024
Scale	1" = 20'
Group	Group C
Project ID	VL11405BR_CLP



FENCE & TREE LAYOUT
 1800 NORTH 28TH STREET; 1801 NORTH NEWKIRK STREET





Initial Date
8/15/2023

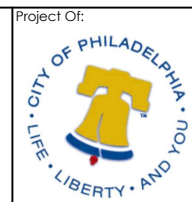
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Group C

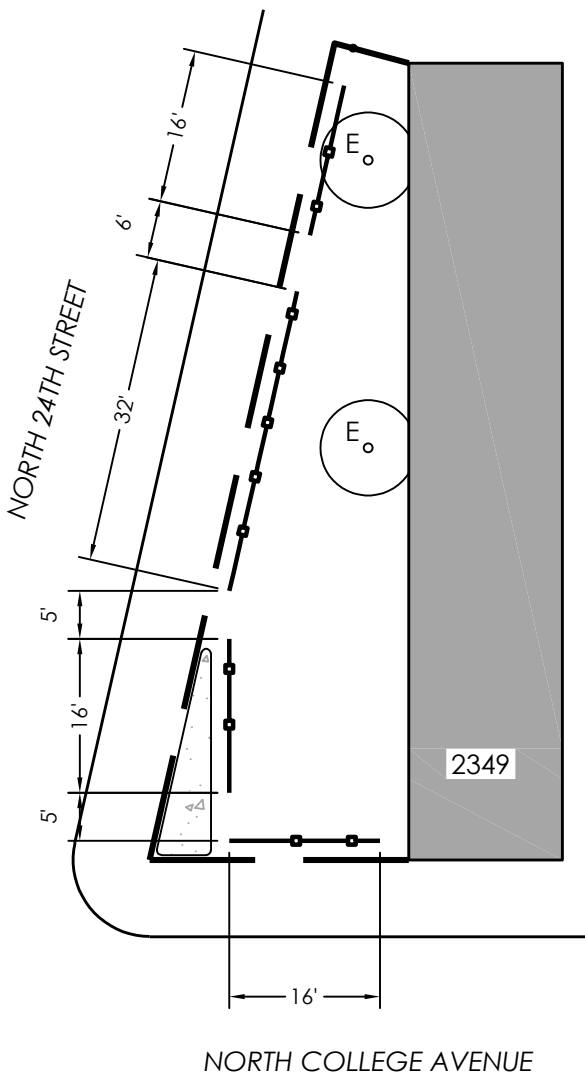


EXISTING CONDITIONS

2351 NORTH COLLEGE AVENUE



VL11408BR_CLP



Initial Date
8/15/2023

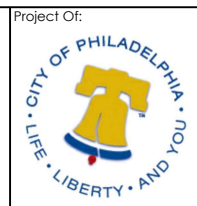
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Group C

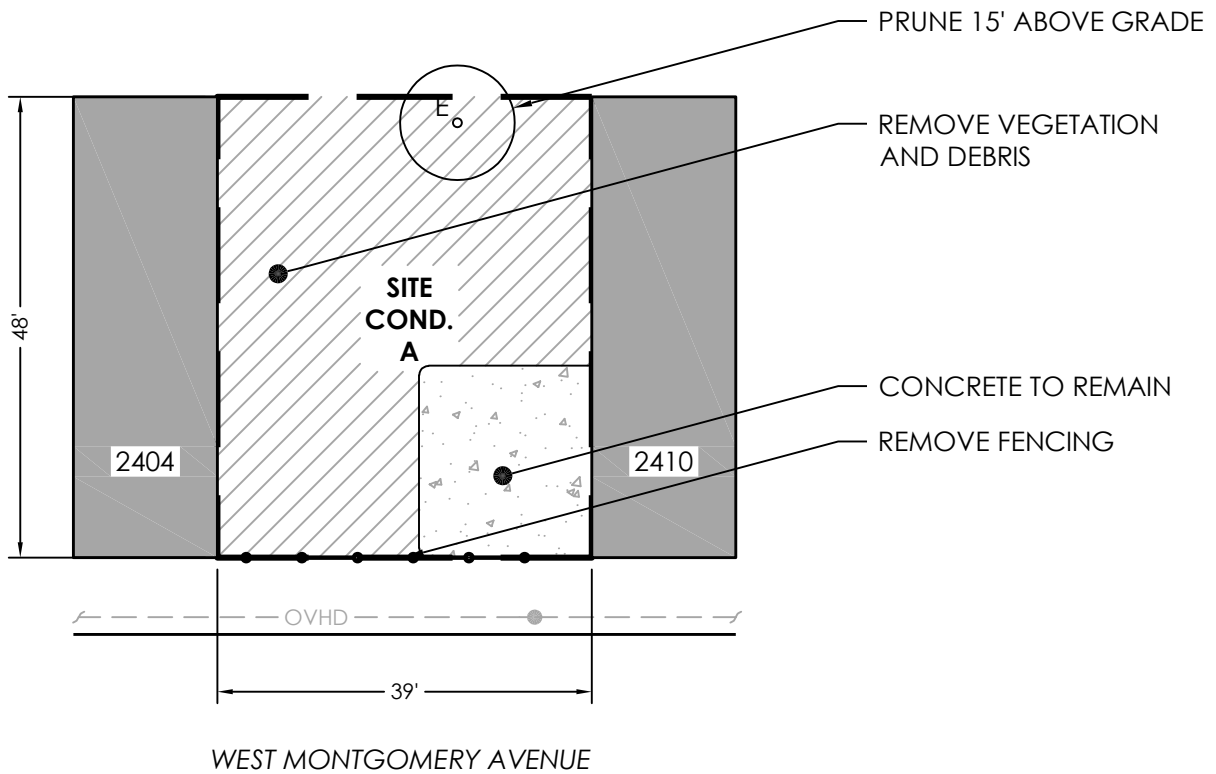


FENCE & TREE LAYOUT

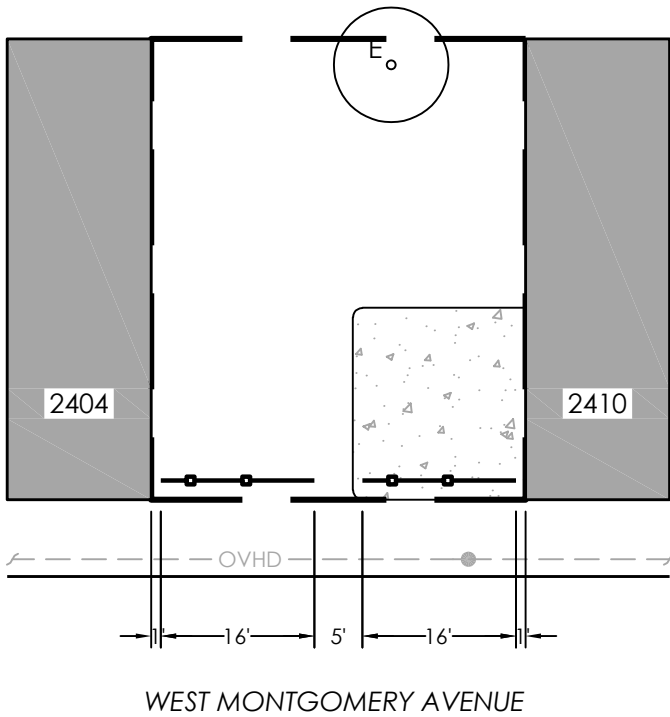
2351 NORTH COLLEGE AVENUE



VL11408BR_CLP



Initial Date 8/15/2024		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">2406-2408 WEST MONTGOMERY AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11410BR_CLP		<p style="text-align: center; font-size: small;">THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

Group C

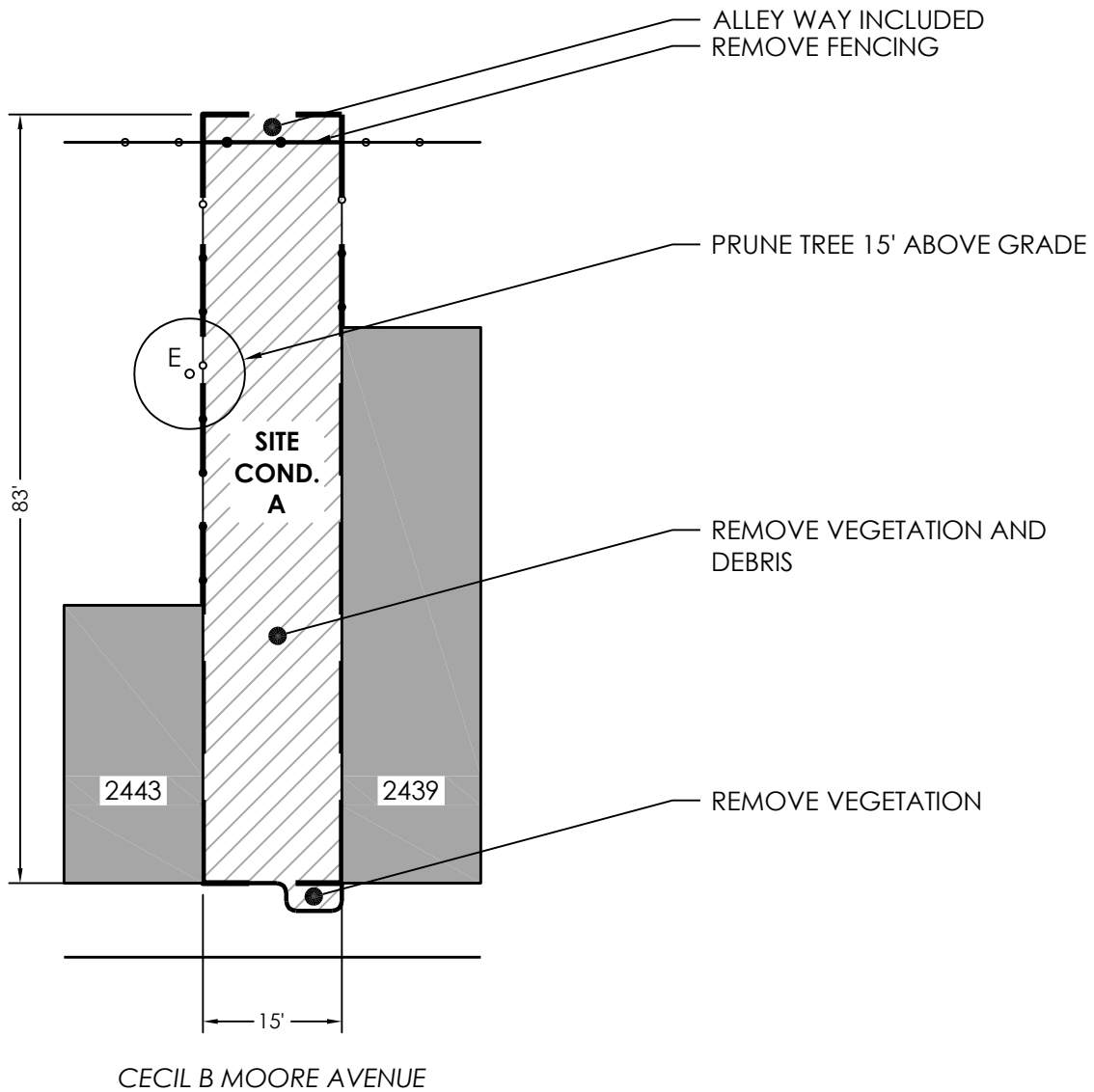
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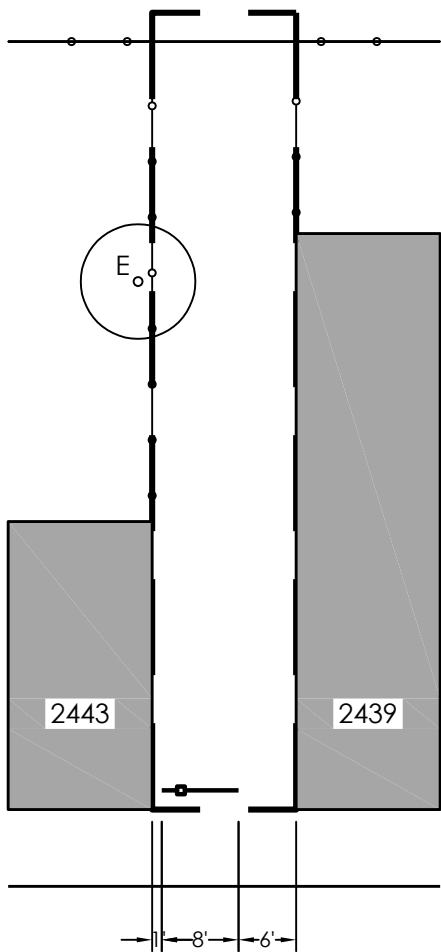
FENCE & TREE LAYOUT

2406-2408 WEST MONTGOMERY AVENUE





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>2441 CECIL B MOORE AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11411BR_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



CECIL B MOORE AVENUE

Initial Date	8/15/2024
Scale	1" = 20'
Group	Group C
Project ID	VL11411BR_CLP



FENCE & TREE LAYOUT

2441 CECIL B MOORE AVENUE

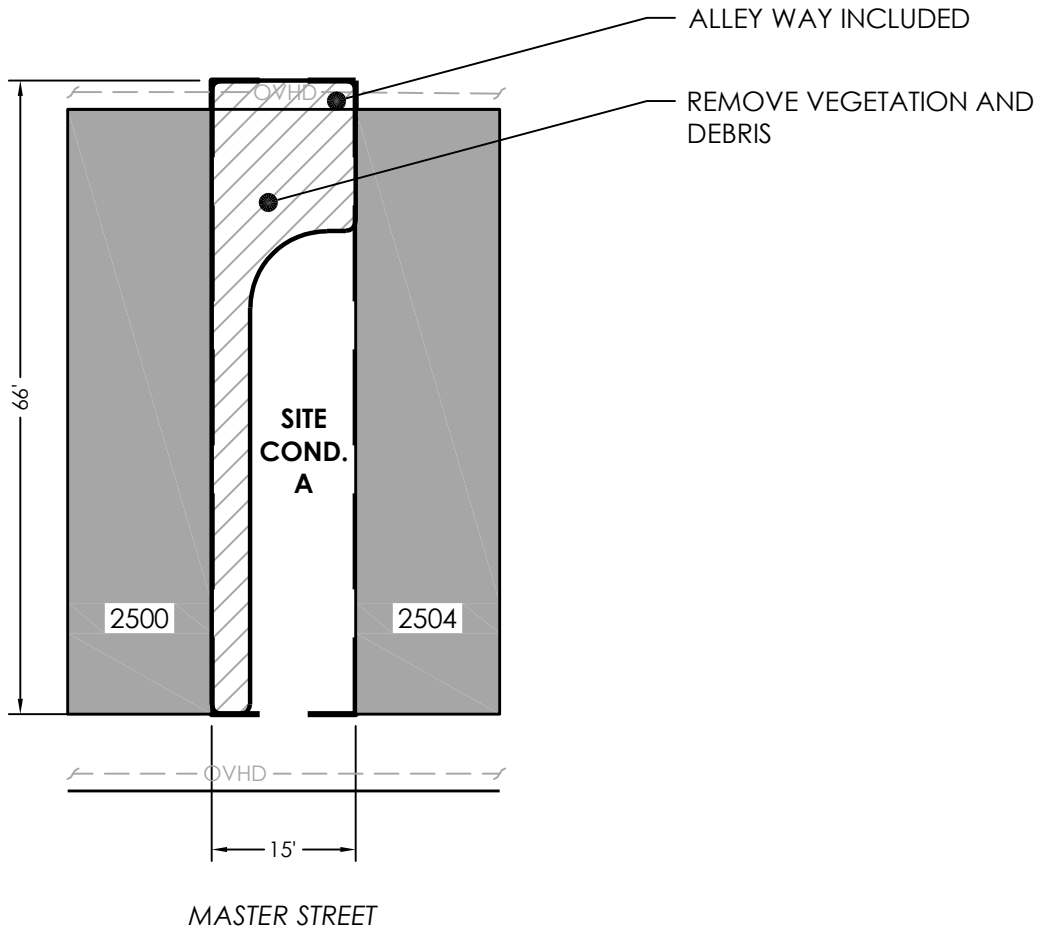
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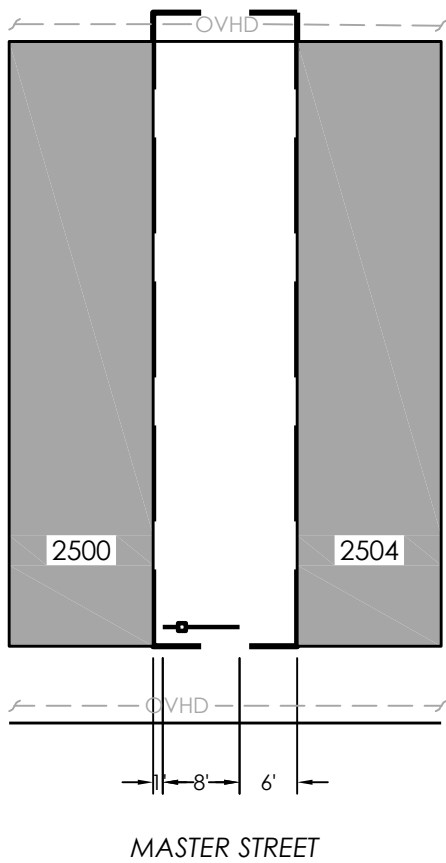
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>2502 MASTER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11412BR_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

Group C

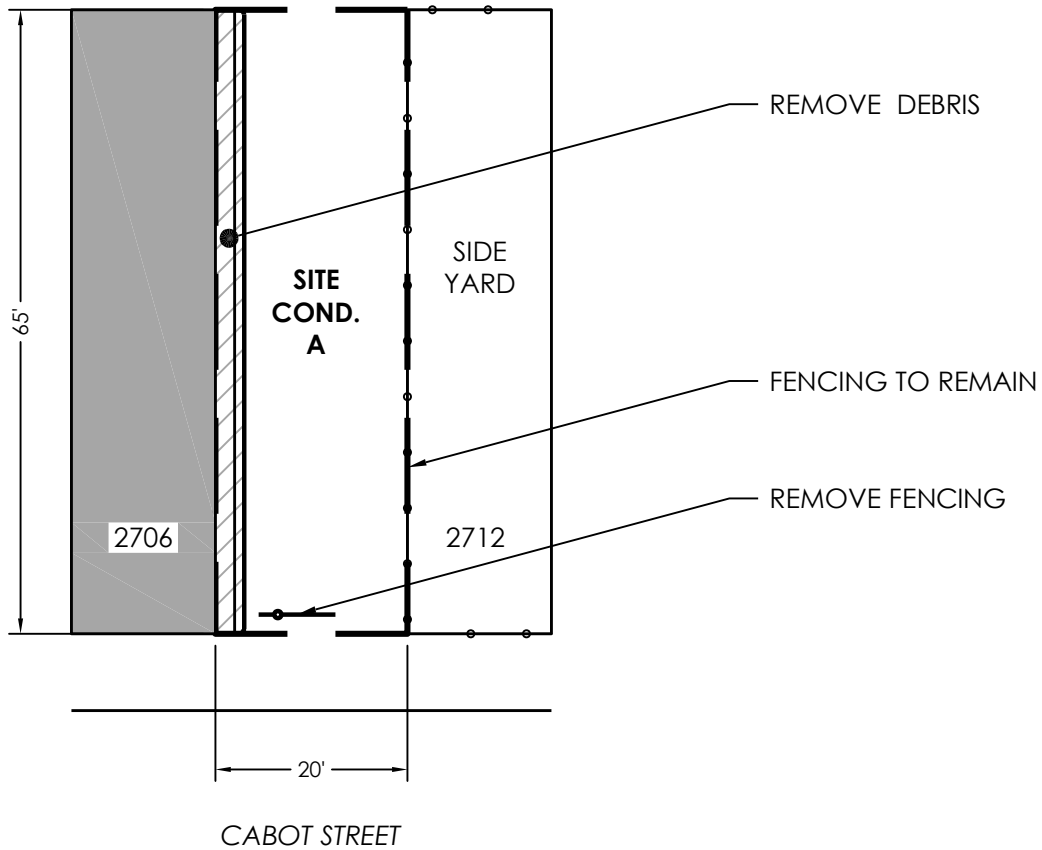
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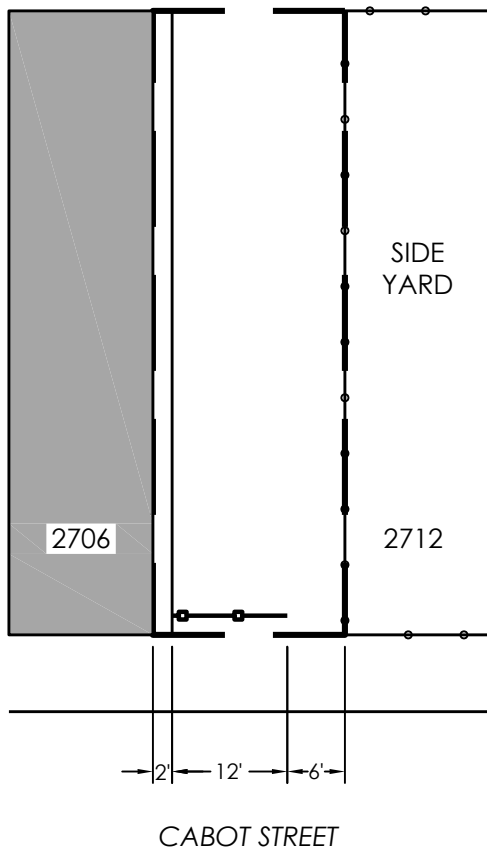
FENCE & TREE LAYOUT

2502 MASTER STREET





Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>2710 WEST CABOT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11416BR_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

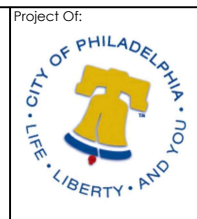
Group C

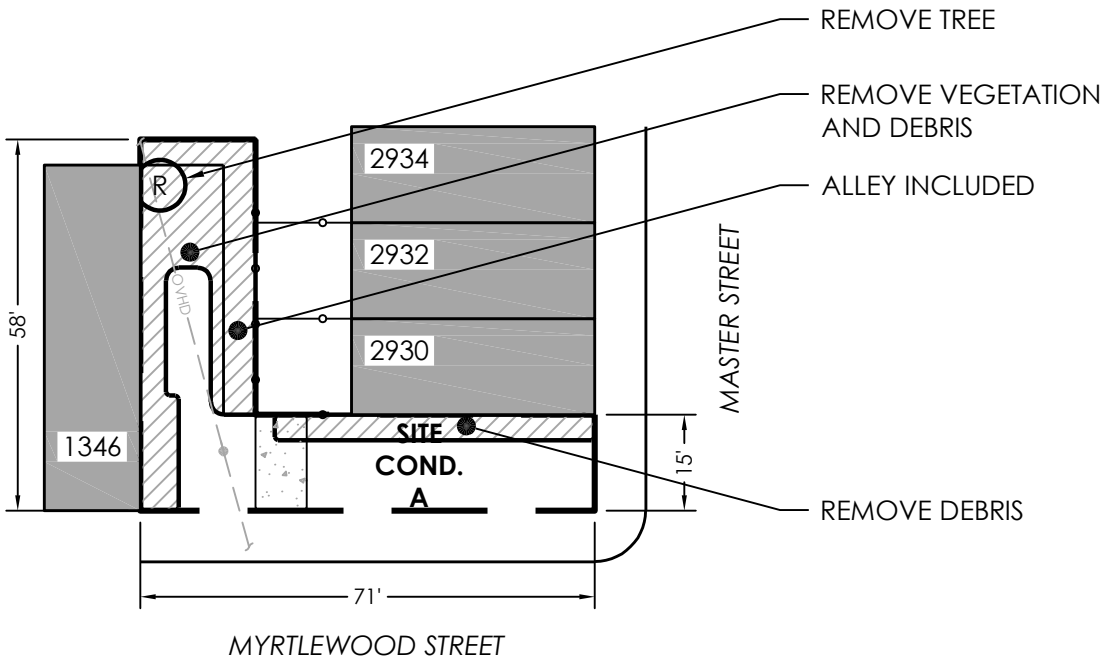
VL11416BR_CLP



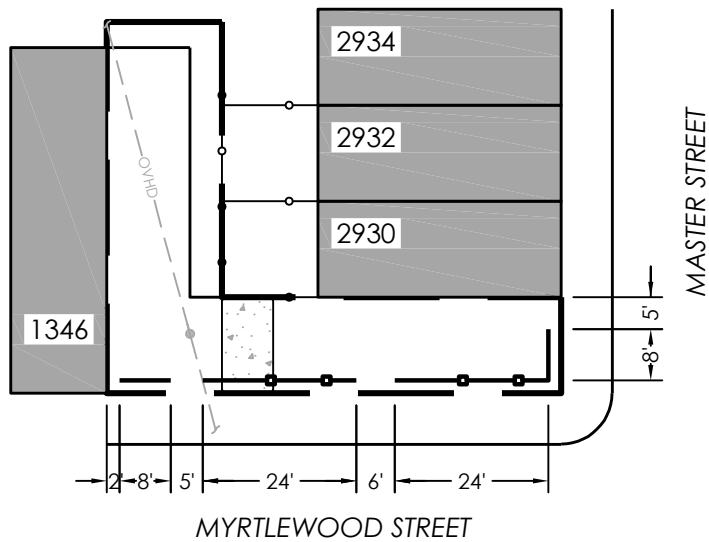
FENCE & TREE LAYOUT

2710 WEST CABOT STREET





Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>2928 MASTER ST; 1348 MYRTLEWOOD ST</p>	Project Of:	Project Manager:
Scale 1" = 30'				
Group C				
VL11420BR_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date
8/15/2024
Scale
1" = 30'
Group C

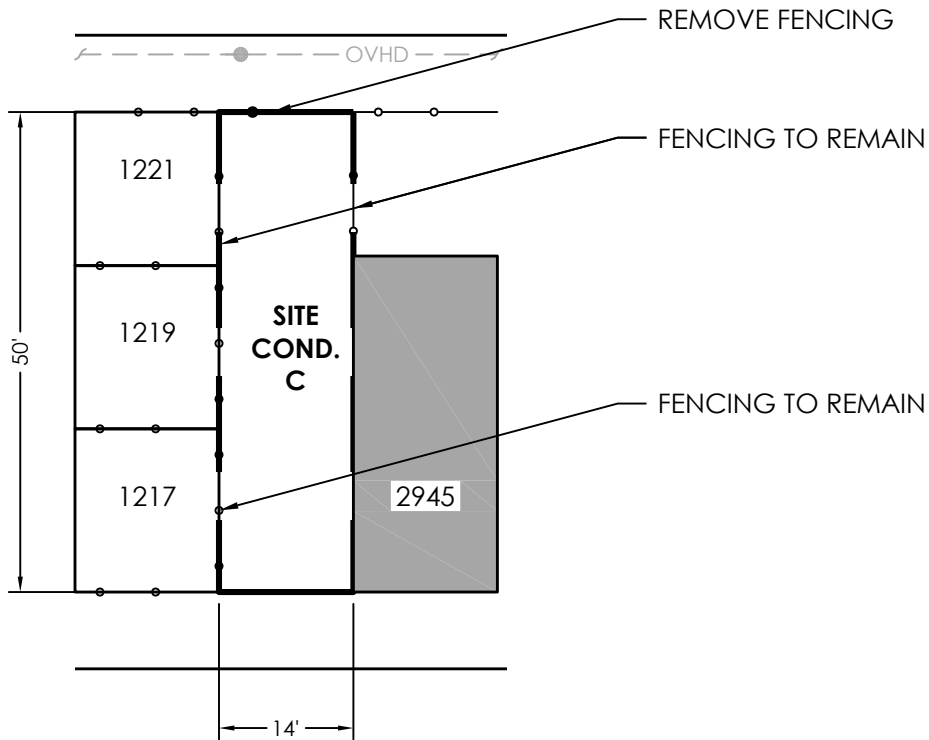


FENCE & TREE LAYOUT

2928 MASTER ST; 1348 MYRTLEWOOD ST

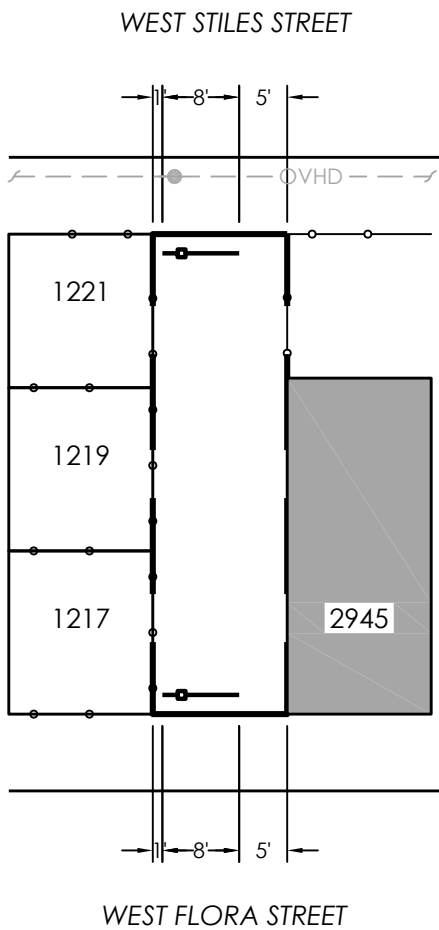


WEST STILES STREET



WEST FLORA STREET

Initial Date 8/15/2024		EXISTING CONDITIONS 2947 WEST FLORA STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11421BR_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date
8/15/2024

Scale
1" = 20'

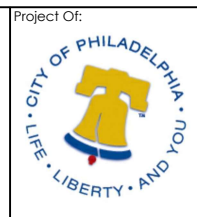
Group C

VL11421BR_CLP



FENCE & TREE LAYOUT

2947 WEST FLORA STREET





THE PENNSYLVANIA HORTICULTURAL SOCIETY

PHILADELPHIA LANDCARE STABILIZATION
Fall 2024

Group D
North Central

N 19th St, W Montgomery Av, N Park Ave, Harmer St



Project funded by the City of Philadelphia
Division of Housing and Community Development



Group D Site List
Fall 2024
North Central
Page 1 of 3

<u>VL#</u>	<u>Address Range</u>
VL11428NC_CLP	1319-1325 N 16TH ST; 1544-1546 INGERSOLL ST
VL11429NC_CLP	1322 N CARLISLE ST
VL11430NC_CLP	1402-06 JEFFERSON ST; 1438 N CARLISLE ST
VL11431NC_CLP	1403-05 N 15TH ST
VL11432NC_CLP	1441 PARRISH ST
VL11433NC_CLP	1502 WILLINGTON ST
VL11434NC_CLP	1508-1510 WILLINGTON ST
VL11435NC_CLP	1516 WILLINGTON ST
VL11436NC_CLP	1520 WILLINGTON ST
VL11437NC_CLP	1524 WILLINGTON ST
VL11439NC_CLP	1526 INGERSOLL ST
VL11440NC_CLP	1527 N 17TH ST
VL11441NC_CLP	1529-1531 N 16TH ST
VL11443NC_CLP	1533 N 17TH ST; 1628-1632 W OXFORD ST
VL11444NC_CLP	1601 WILLINGTON ST
VL11445NC_CLP	1601-1605 N 16TH ST; 1509-1513, 1517-1519, 1523 OXFORD ST; 1600-1608 N SYDENHAM ST
VL11446NC_CLP	1602 W MONTGOMERY AVE
VL11447NC_CLP	1606 W MONTGOMERY AVE



*Project funded by the City of Philadelphia
Division of Housing and Community Development*



VL11448NC_CLP

1608 WILLINGTON ST

Group D Site List
Fall 2024
North Central
Page 2 of 3

<u>VL#</u>	<u>Address Range</u>
VL11449NC_CLP	1609 N 17TH ST
VL11451NC_CLP	1620 WILLINGTON ST
VL11452NC_CLP	1619 W OXFORD ST; 1602 WILLINGTON ST
VL11453NC_CLP	1622 N 17TH ST
VL11454NC_CLP	1623-1627 N 17TH ST
VL11456NC_CLP	1701 W OXFORD ST
VL11458NC_CLP	1702 SEYBERT ST
VL11459NC_CLP	1704 WILLINGTON ST
VL11460NC_CLP	1705 W OXFORD ST
VL11461NC_CLP	1707 WILLINGTON ST
VL11463NC_CLP	1715 SEYBERT ST
VL11464NC_CLP	1718 SEYBERT ST
VL11465NC_CLP	1721-1725 INGERSOLL ST
VL11466NC_CLP	1723 N GRATZ ST
VL11467NC_CLP	1726 N GRATZ ST
VL11468NC_CLP	1730 N GRATZ ST
VL11469NC_CLP	1742 N GRATZ ST
VL11472NC_CLP	1755 SEYBERT ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*



VL11474NC_CLP

1804-1806 INGERSOLL ST

Group D Site List
Fall 2024
North Central
Page 3 of 3

<u>VL#</u>	<u>Address Range</u>
VL11449NC_CLP	1609 N 17TH ST
VL11451NC_CLP	1620 WILLINGTON ST
VL11476NC_CLP	1809 W CABOT ST
VL11477NC_CLP	1814-1818 W MONTGOMERY AVE; 1747 N GRATZ ST
VL11478NC_CLP	1816 SEYBERT ST
VL11480NC_CLP	1824 INGERSOLL ST
VL11481NC_CLP	1829 INGERSOLL ST
VL11482NC_CLP	1837 INGERSOLL ST
VL11483NC_CLP	1840-1842 N 18TH ST
VL11484NC_CLP	1901 NICHOLAS ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*





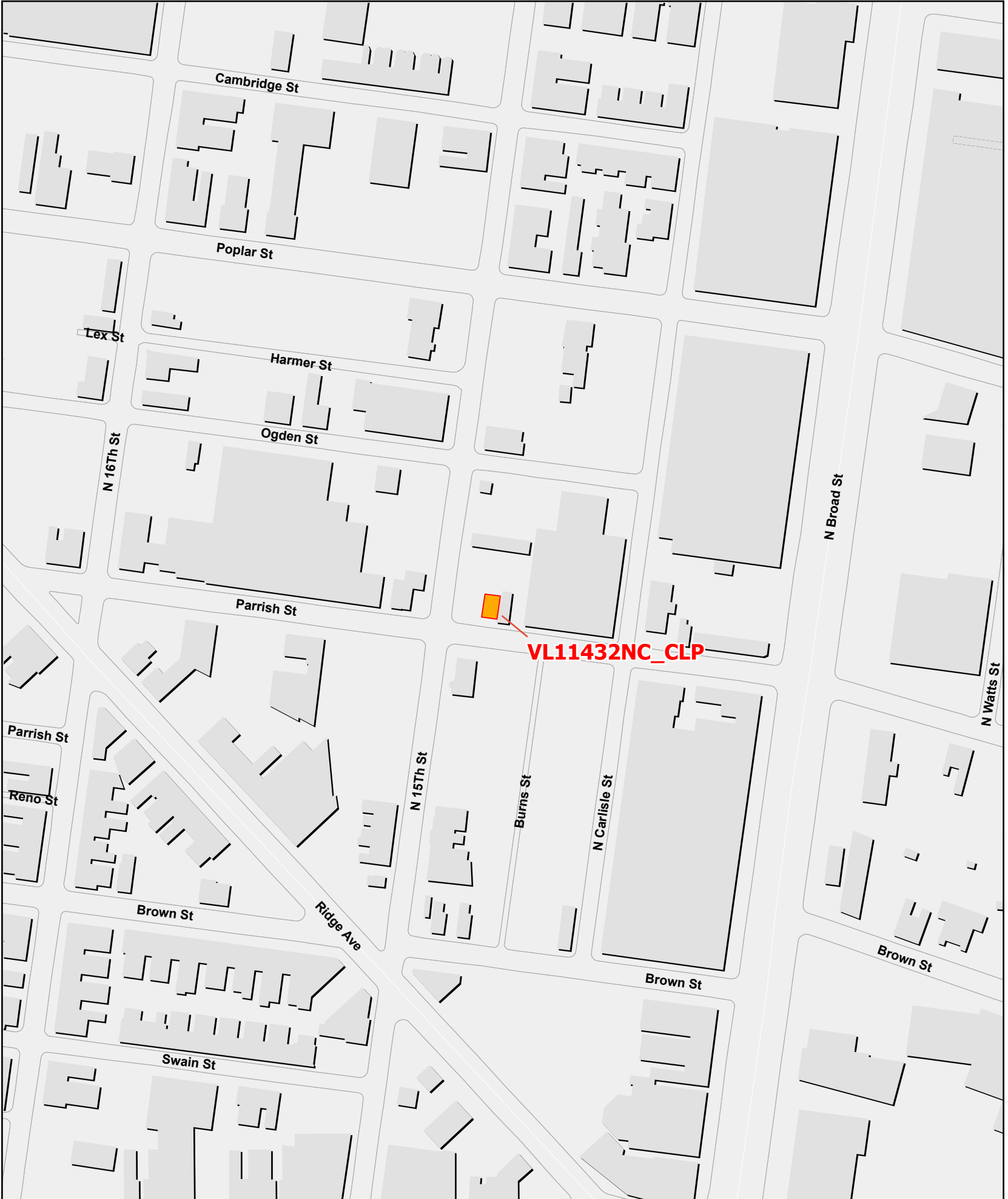
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group D: North
Central - Fall 2024

-  Fall 2024 Parcels
-  Building







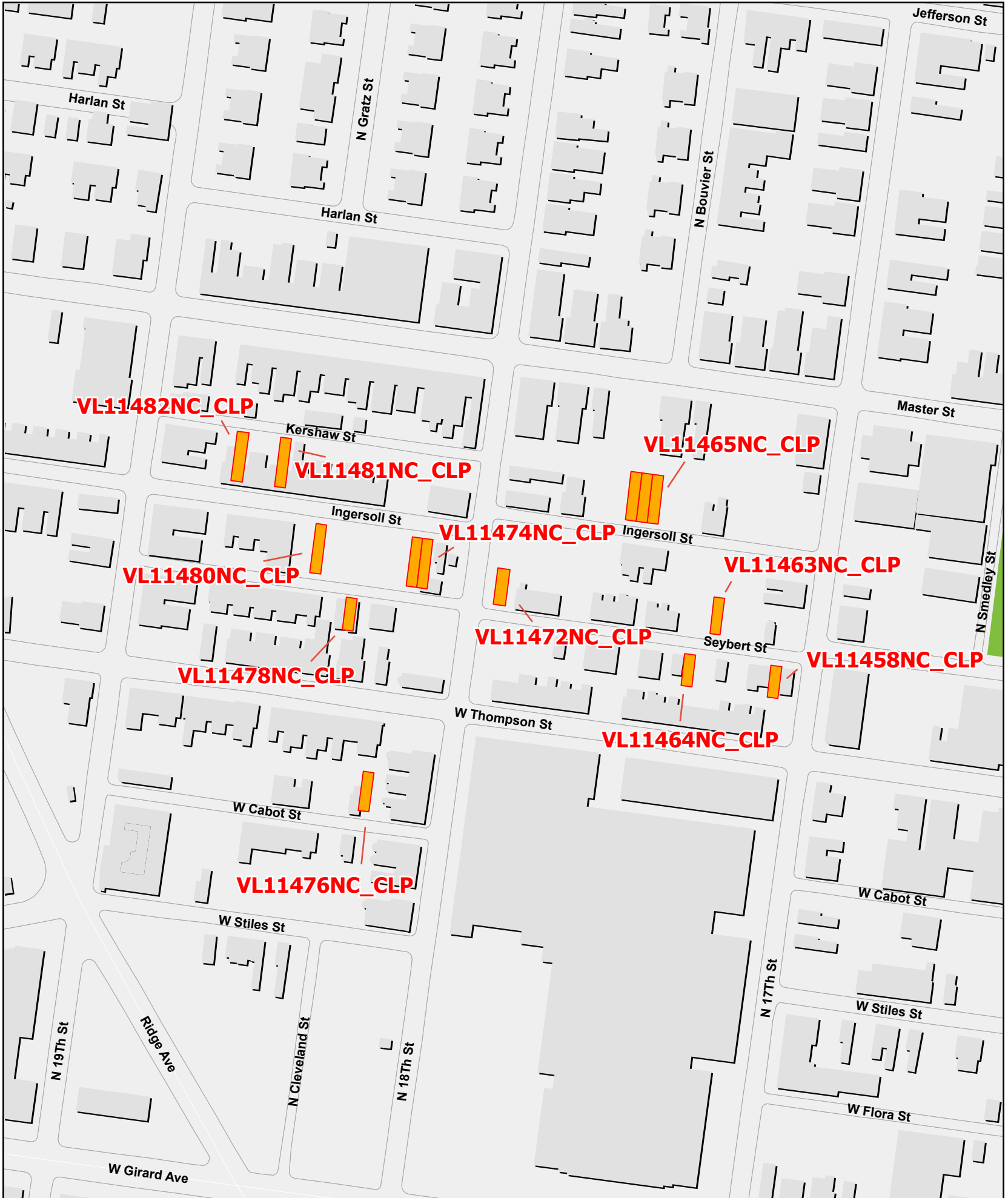
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group D:
North Central - Fall 2024

-  Fall 2024 Parcels
-  Building







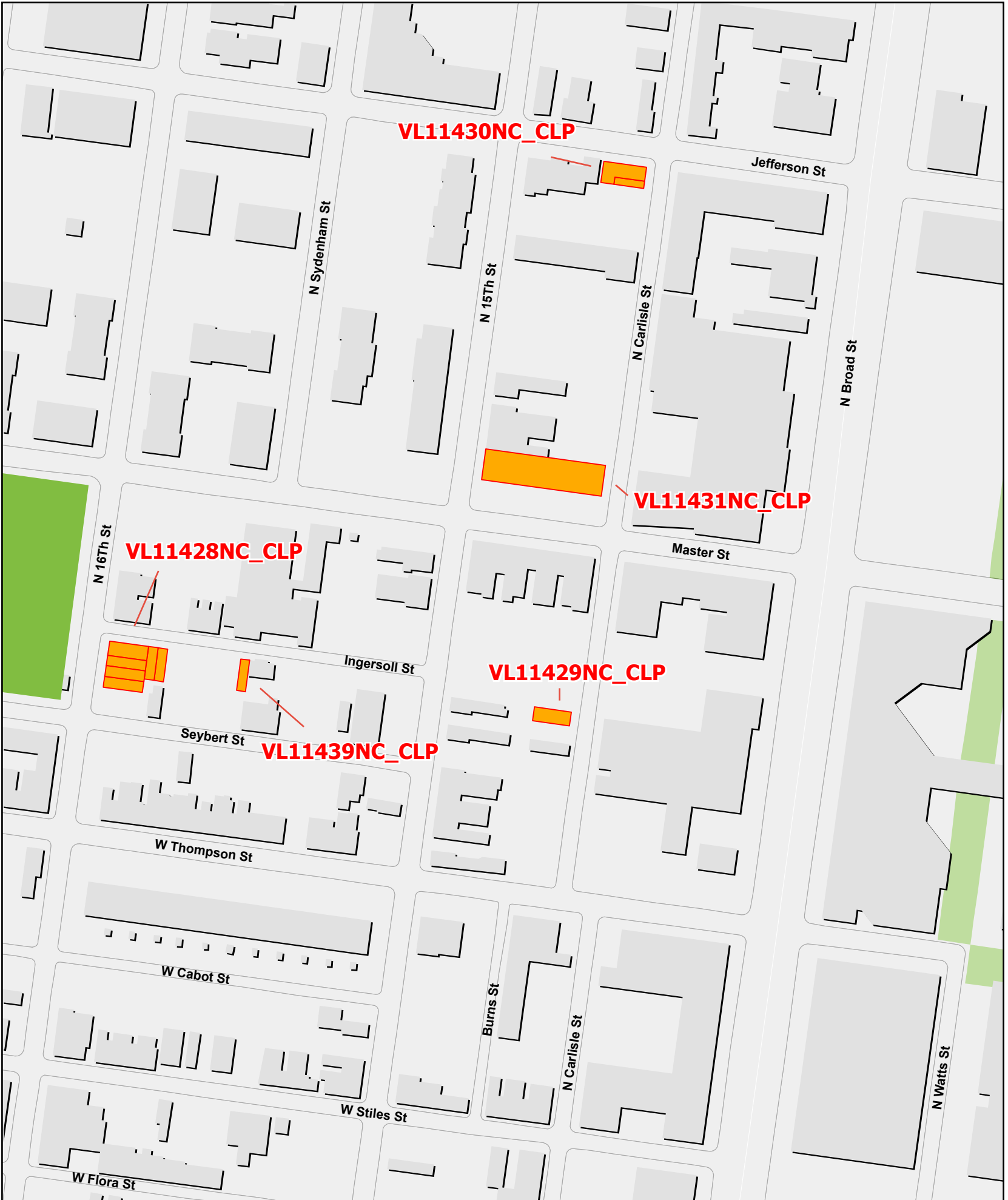
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group D:
North Central - Fall 2024

 Fall 2024 Parcels
 Building







PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group D:
North Central - Fall 2024

 Fall 2024 Parcels
 Building



Map D4

1 inch = 150 feet







PHS

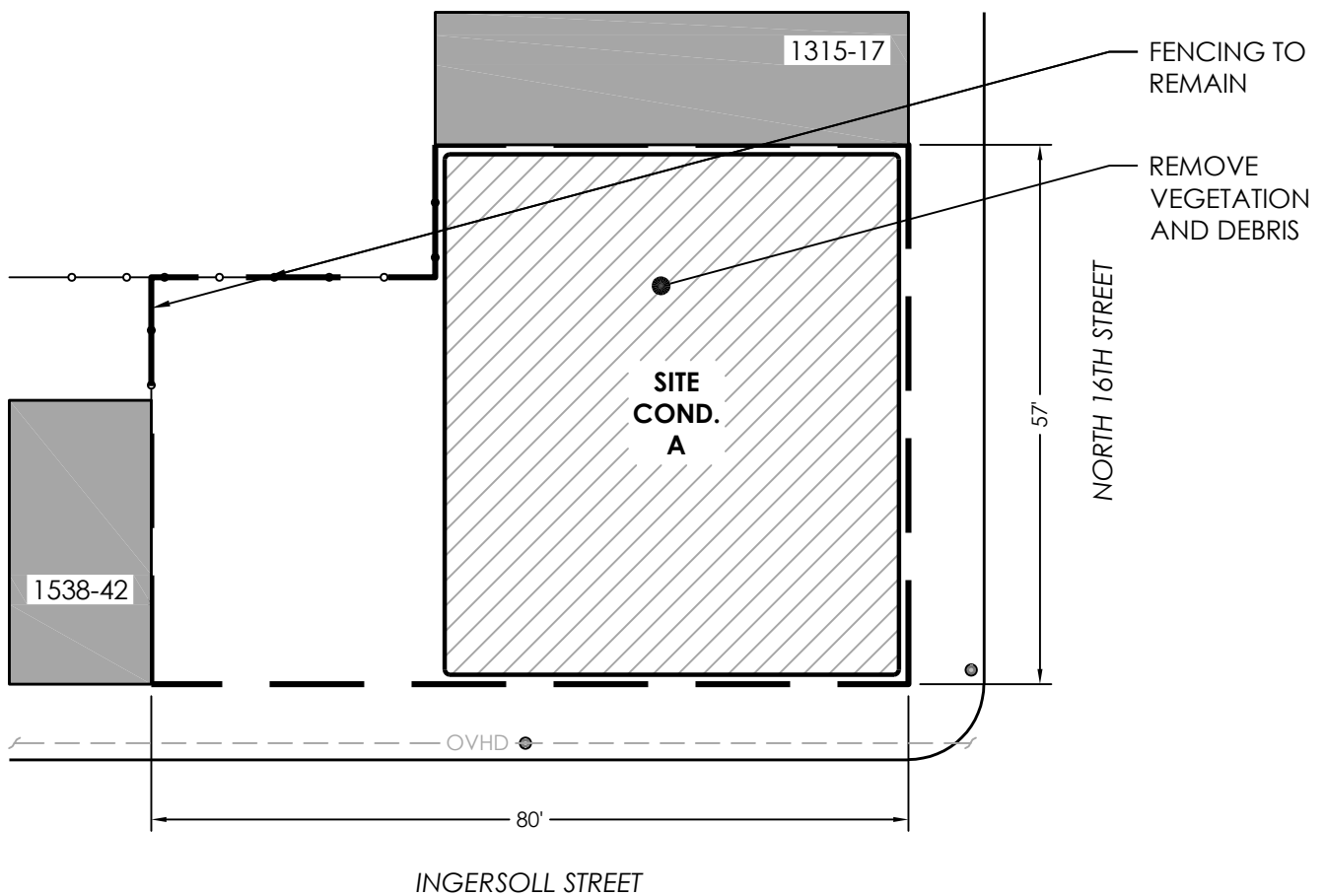


City of Philadelphia

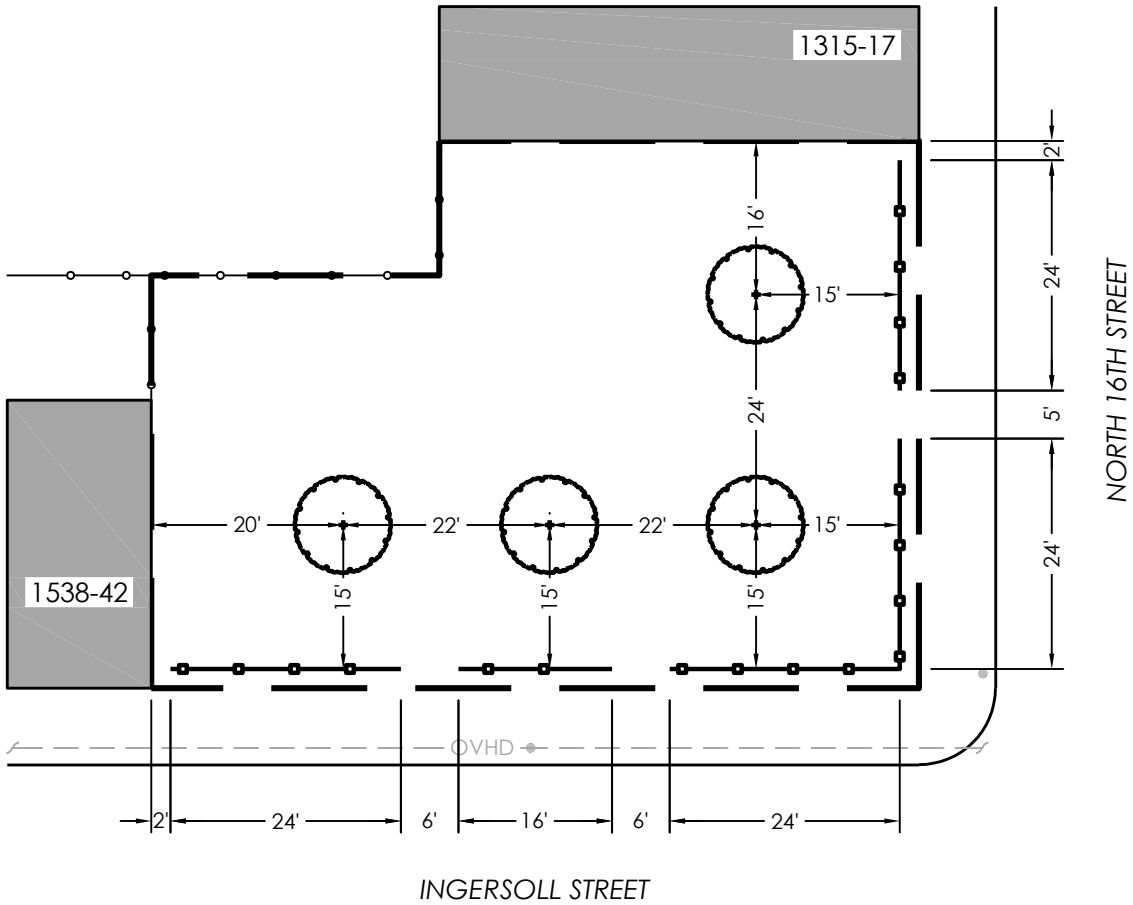
Philadelphia LandCare Sites
Proposed for Group D:
North Central - Fall 2024

 Fall 2024 Parcels
 Building





Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>1319-1325 NORTH 16TH STREET; 1544-1546 INGERSOLL STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11428NC_CLP	THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800			

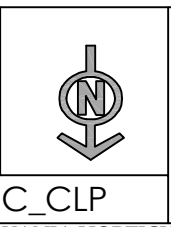


Initial Date
8/15/2024

Scale
1" = 20'

Group D

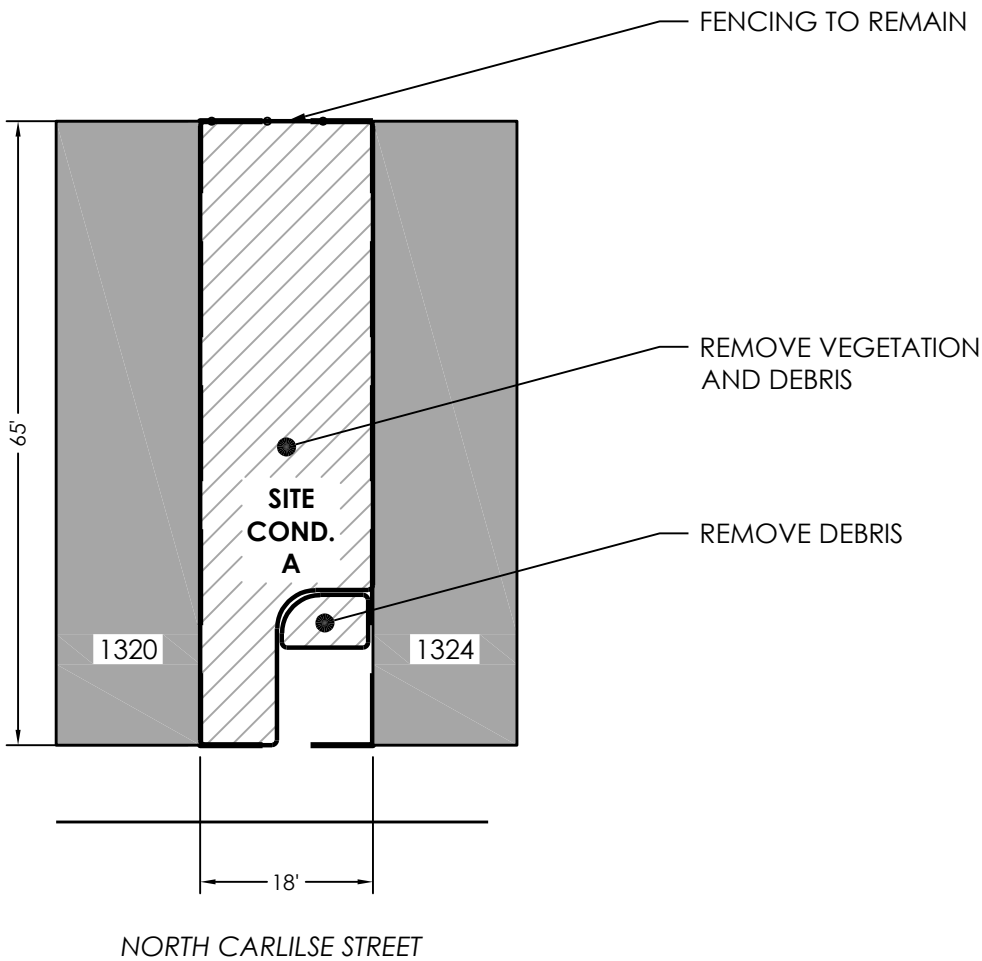
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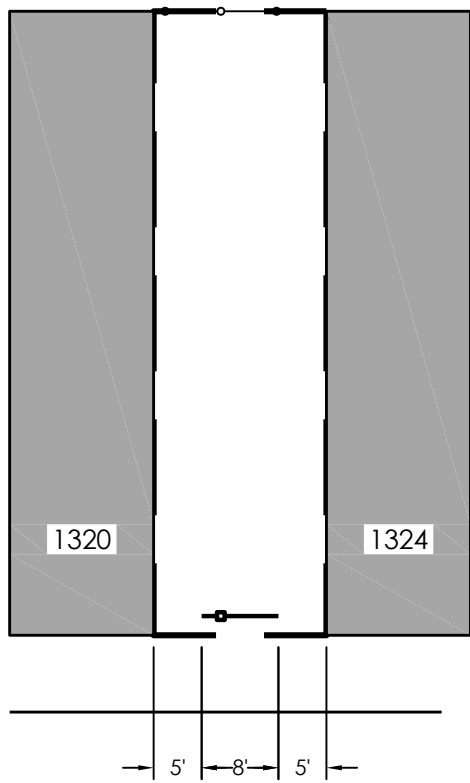
FENCE & TREE LAYOUT

1319-1325 NORTH 16TH STREET; 1544-1546
INGERSOLL STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1322 NORTH CARLISLE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11429NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



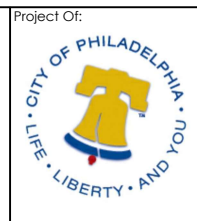
NORTH CARLILSE STREET

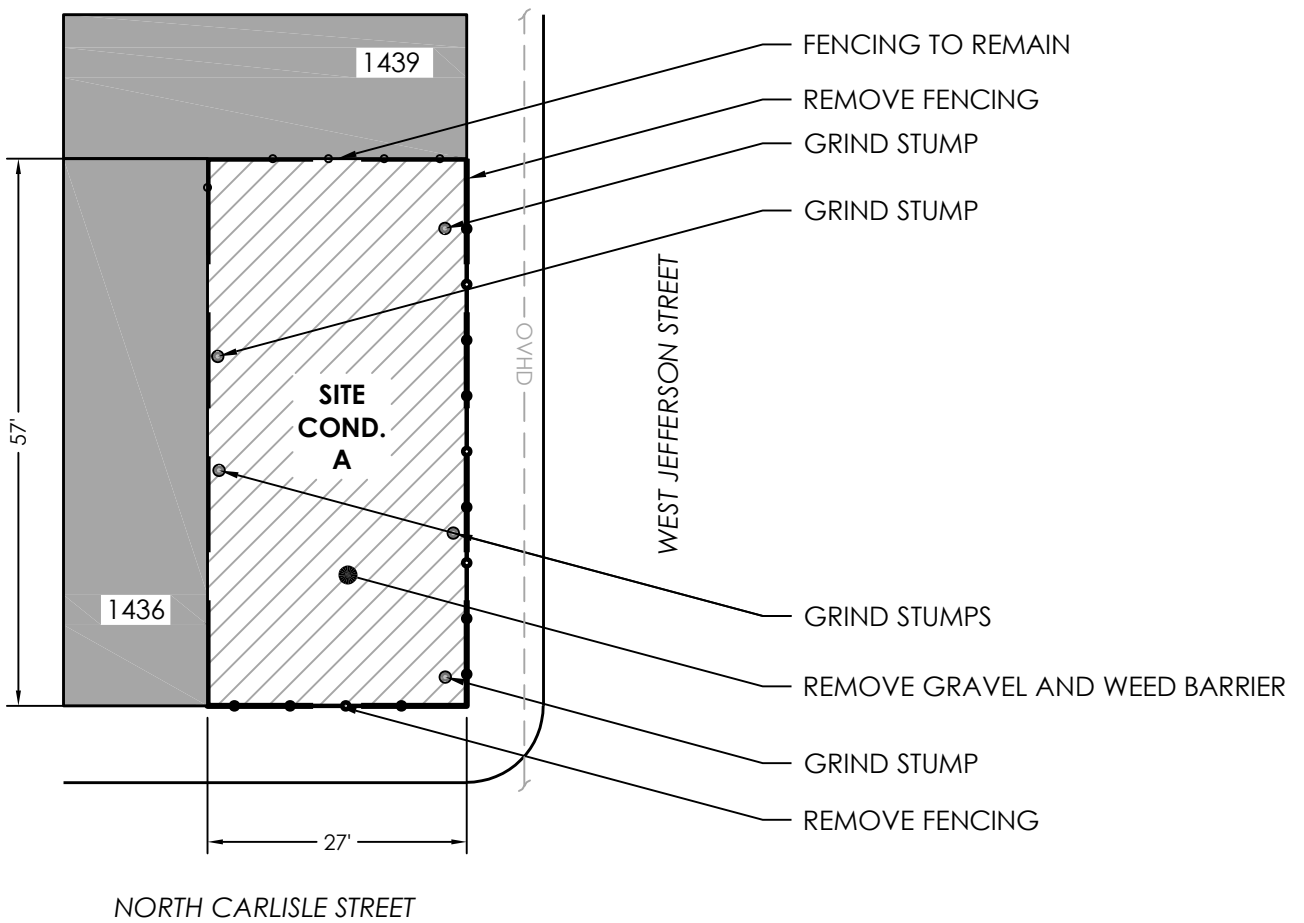
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11429NC_CLP



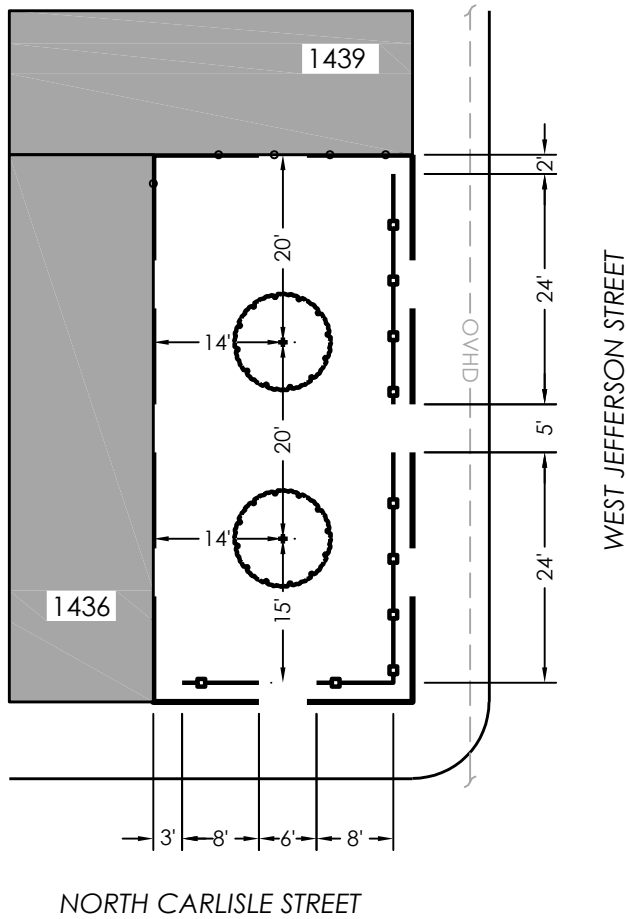
FENCE & TREE LAYOUT

1322 NORTH CARLILSE STREET





Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>1402-06 JEFFERSON STREET; 1438 N CARLISLE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11430NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

Group D

VL11430NC_CLP

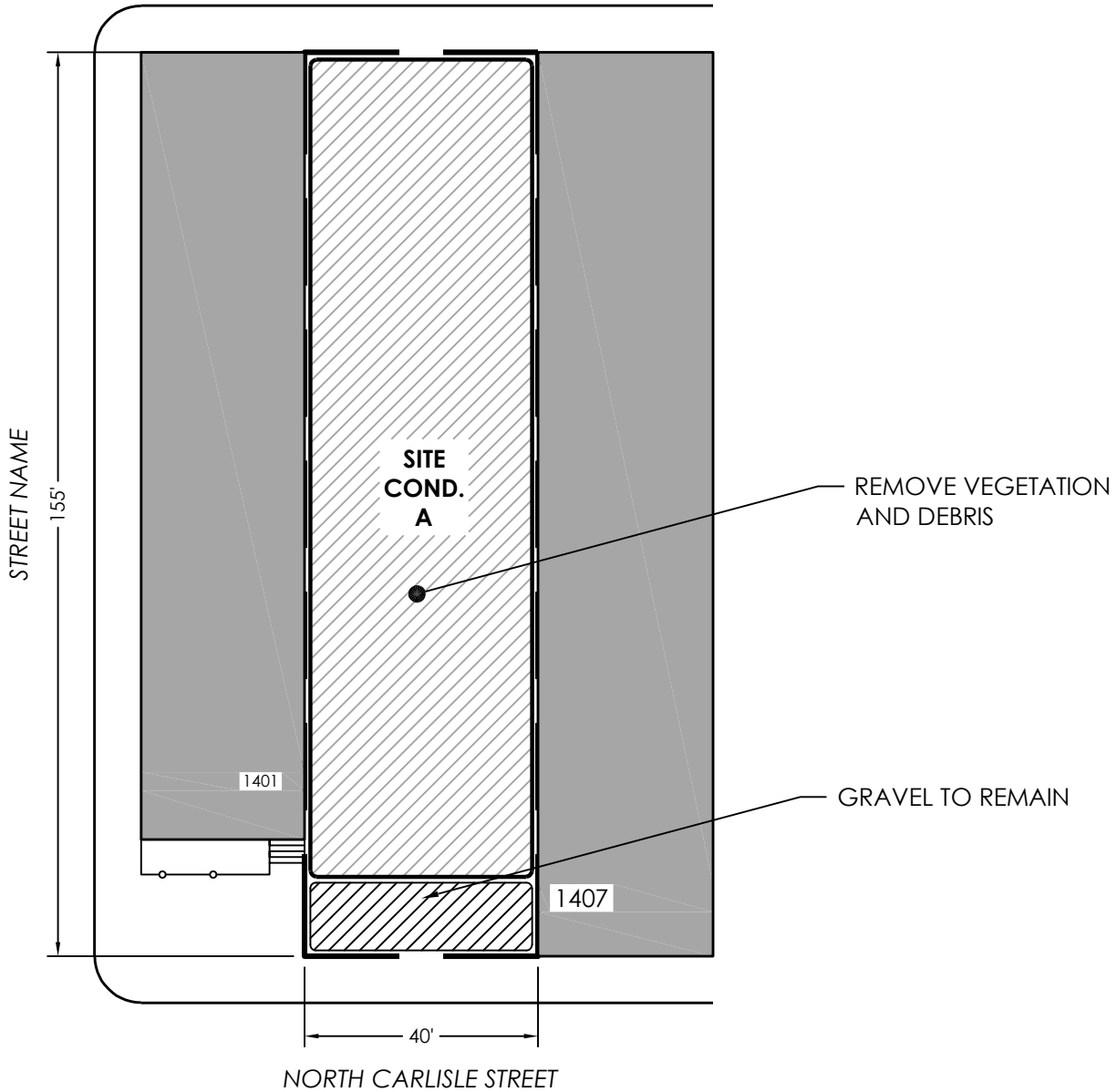


FENCE & TREE LAYOUT

1402-06 JEFFERSON STREET; 1438 N CARLISLE STREET

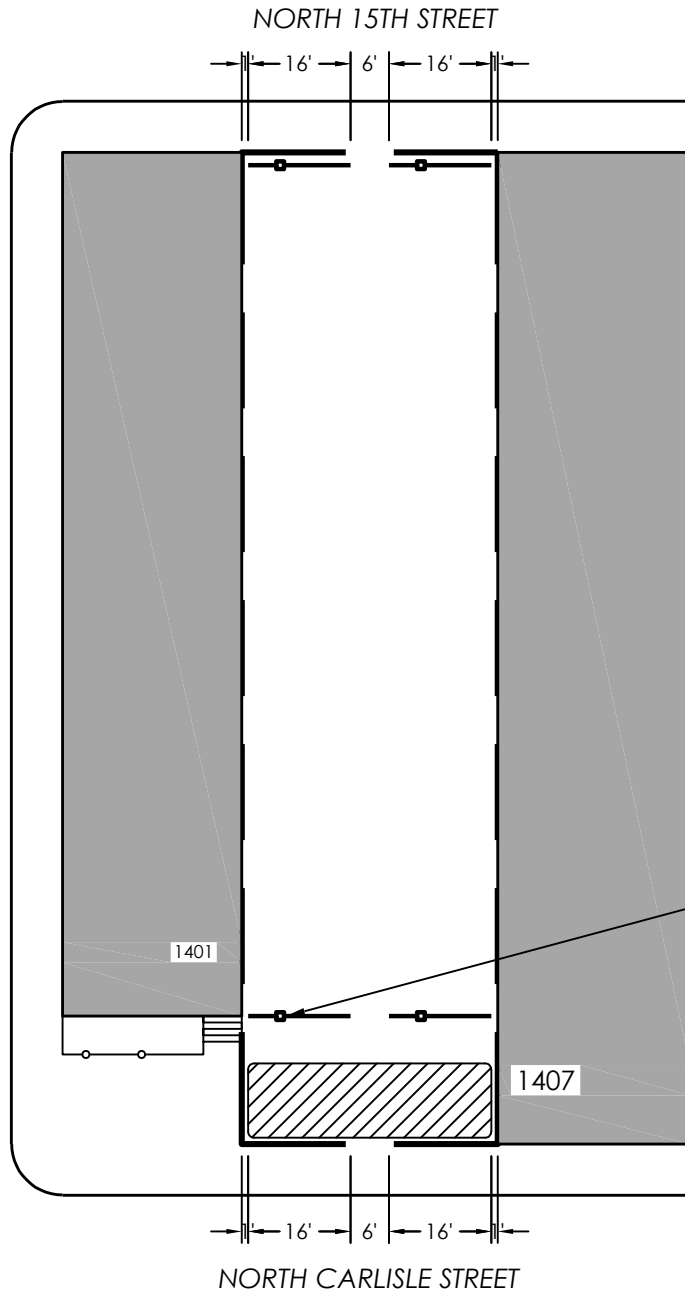


NORTH 15TH STREET



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1403-05 NORTH 15TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 30'				
Group D				
VL11431NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

STREET NAME



BEGIN FENCING AT
EDGE OF 1401 N 15TH ST

Initial Date
8/15/2024
Scale
1" = 30'
Group D



FENCE & TREE LAYOUT

1403-05 NORTH 15TH STREET

Project Of:

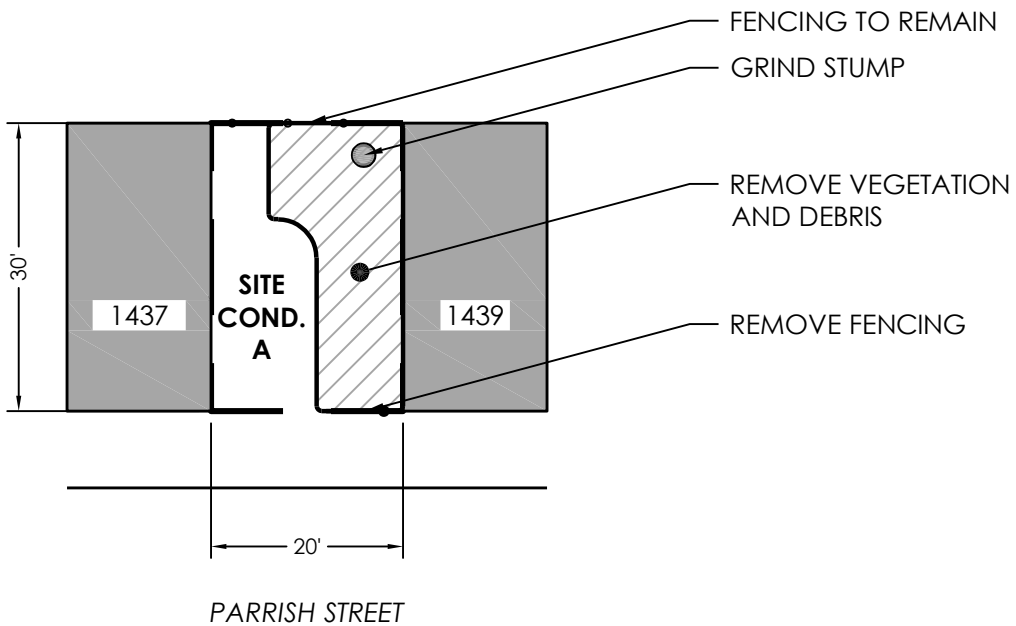


Project Manager:

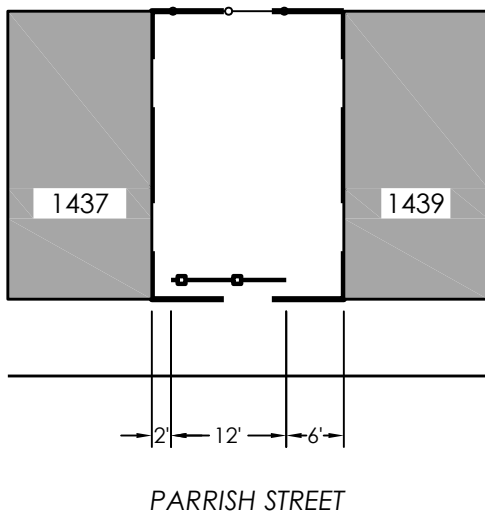


PHS

VL11431NC_CLP



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1441 PARRISH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11432NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

Group D

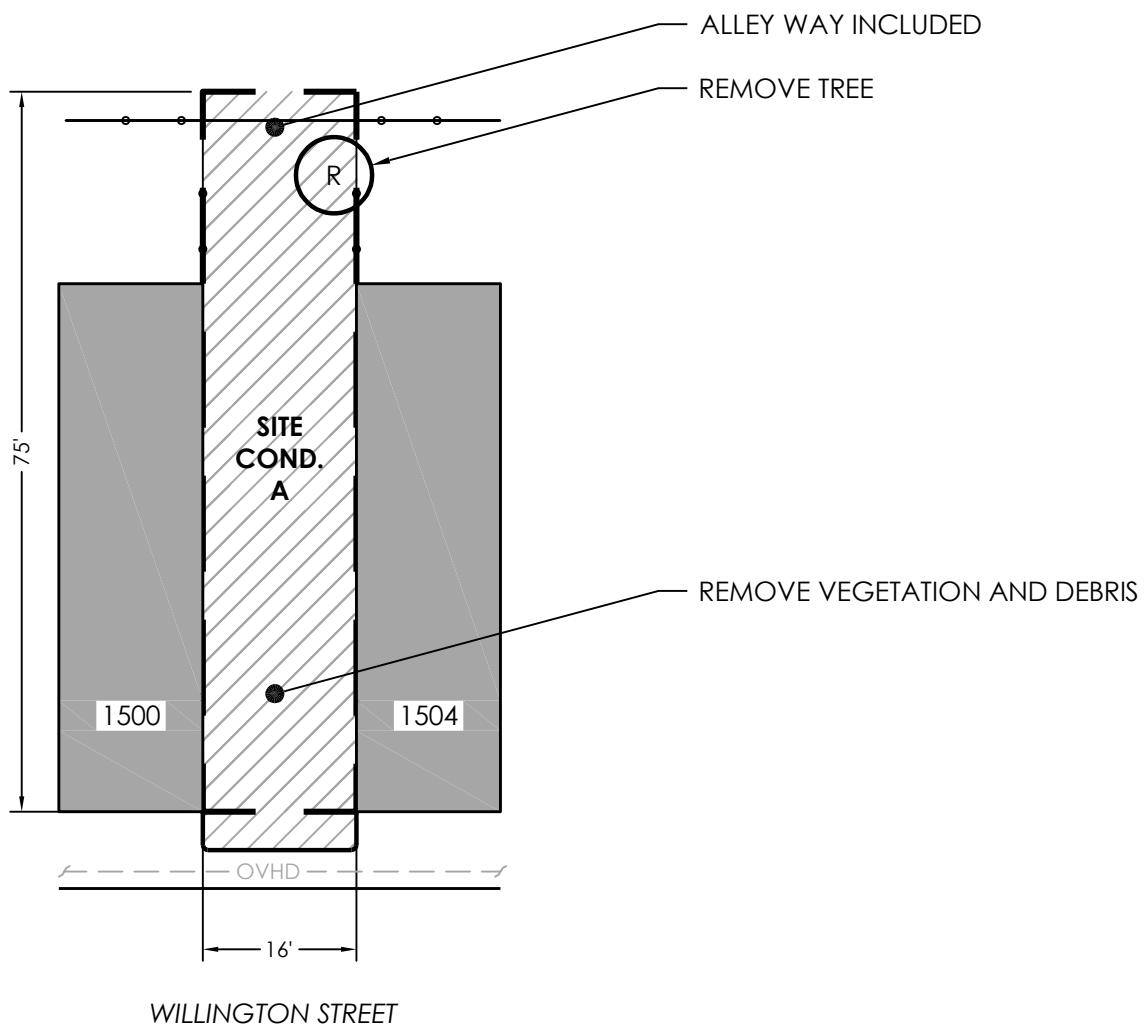
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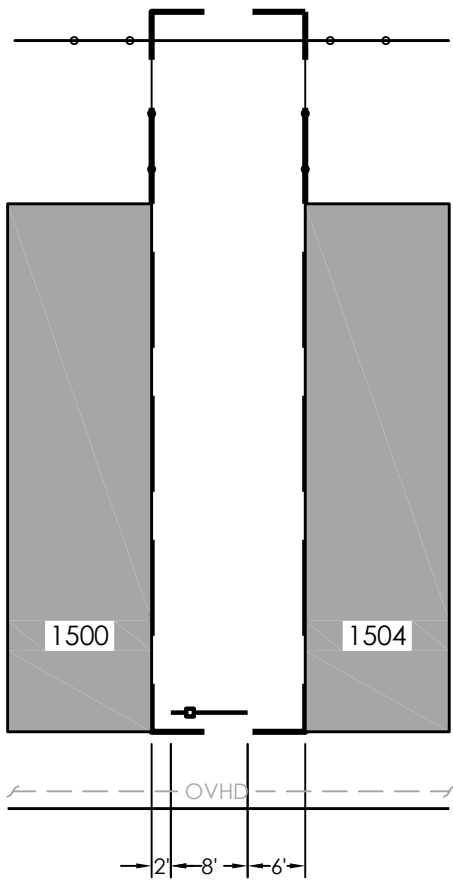
FENCE & TREE LAYOUT

1441 PARRISH STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1502 WILLINGTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11433NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



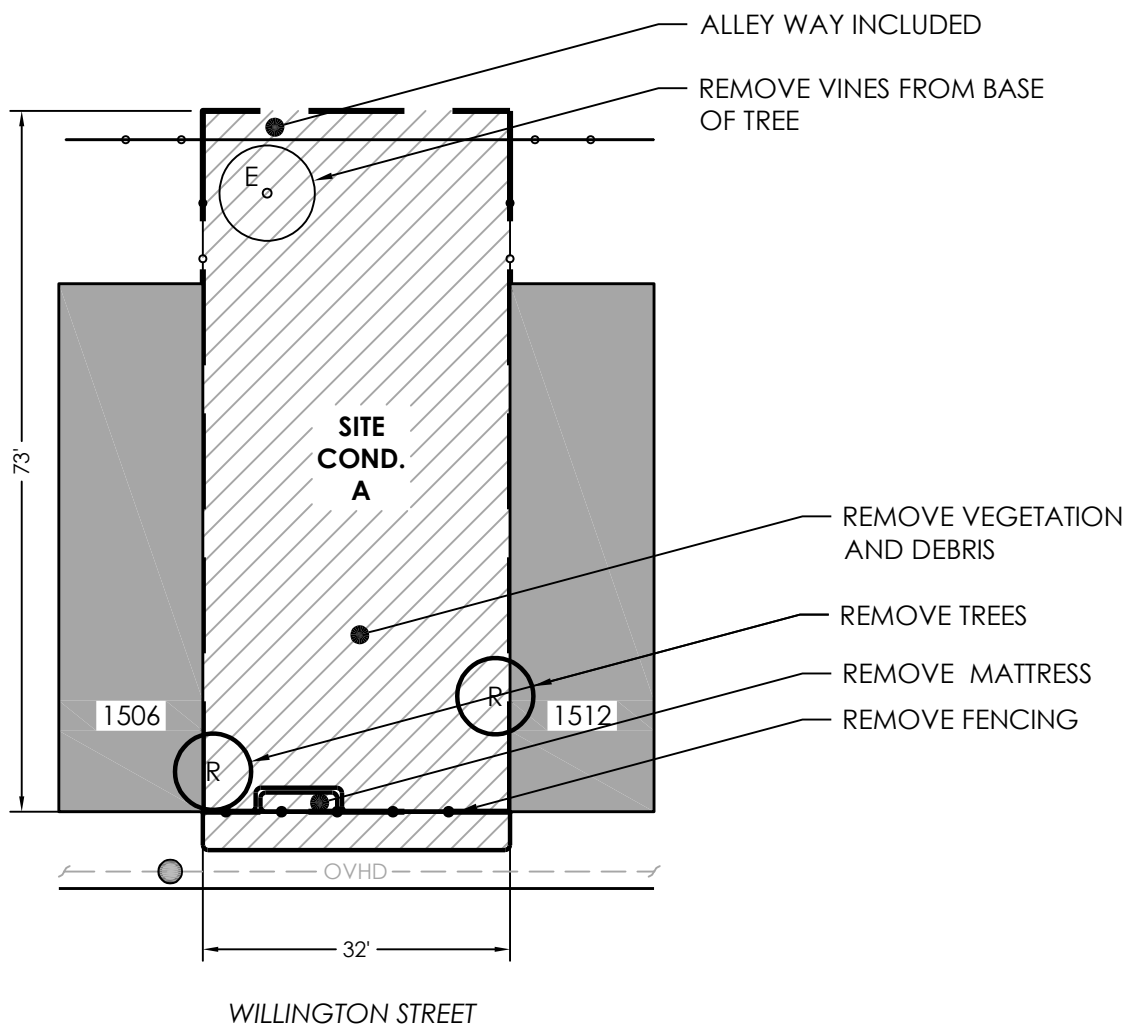
WILLINGTON STREET

Initial Date
8/15/2024
Scale
1" = 20'
Group D

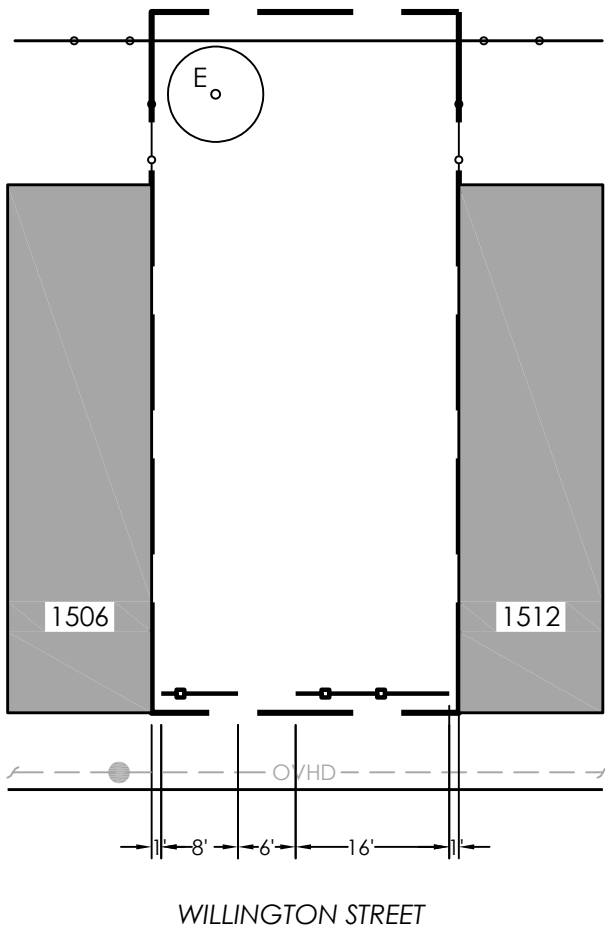


FENCE & TREE LAYOUT
1502 WILLINGTON STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1508-1510 WILLINGTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11434NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

Group D

VL11434NC_CLP



FENCE & TREE LAYOUT

1508-1510 WILLINGTON STREET

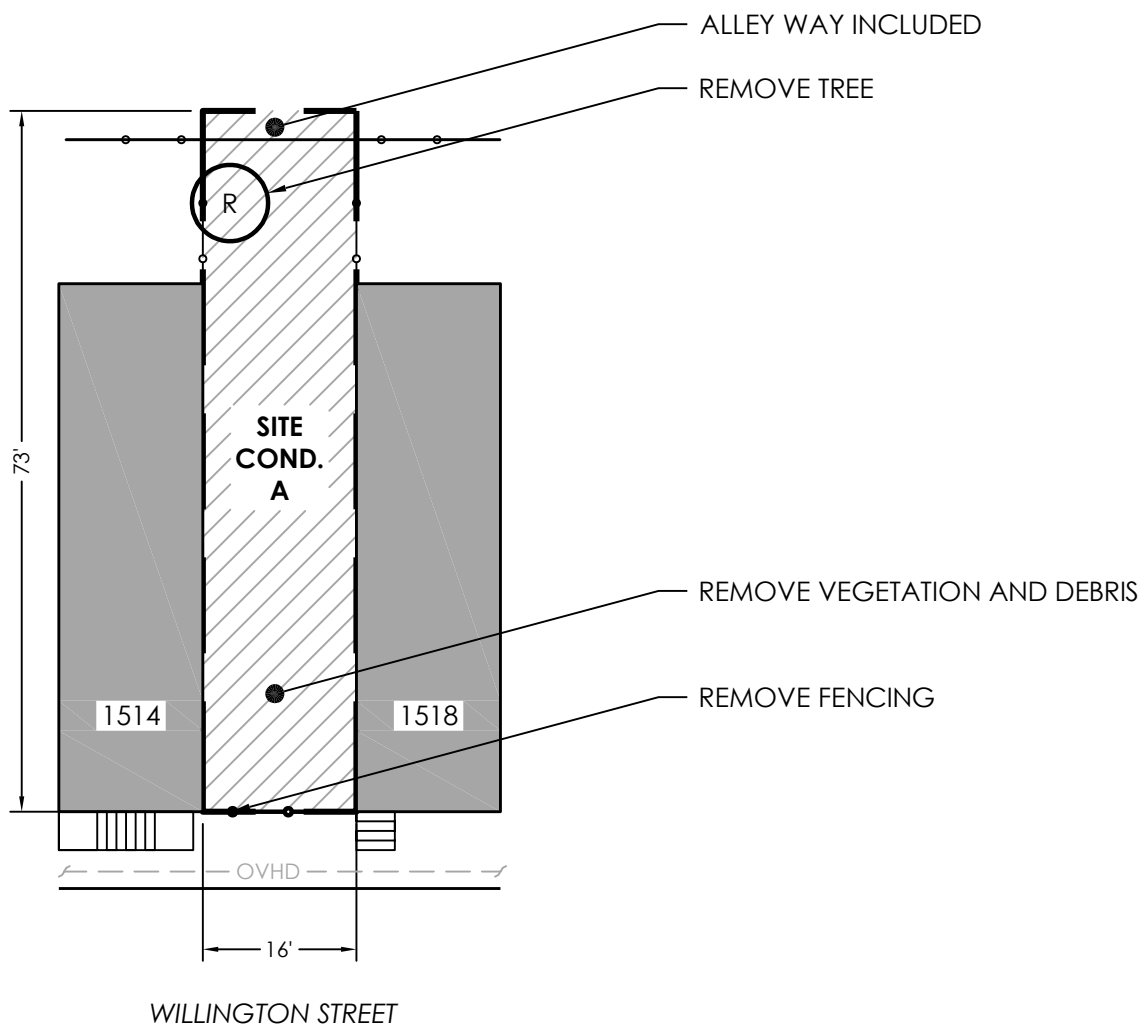
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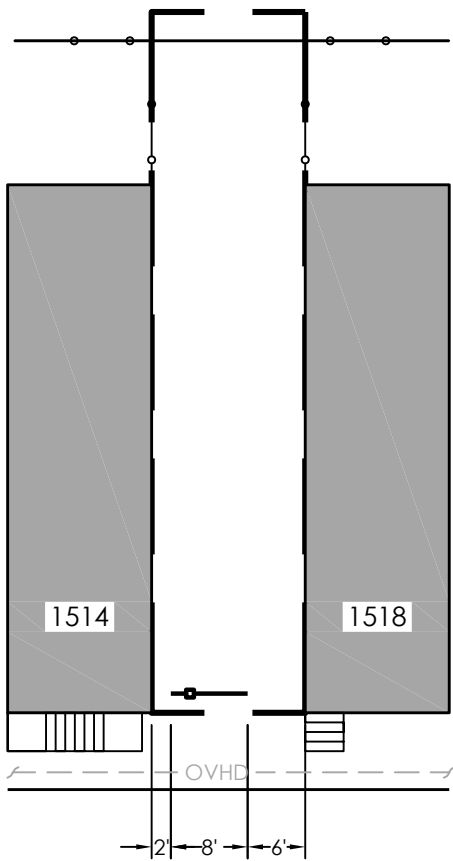
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1516 WILLINGTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11435NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WILLINGTON STREET

Initial Date
8/15/2024

Scale
1" = 20'

Group D

VL11435NC_CLP



FENCE & TREE LAYOUT

1516 WILLINGTON STREET

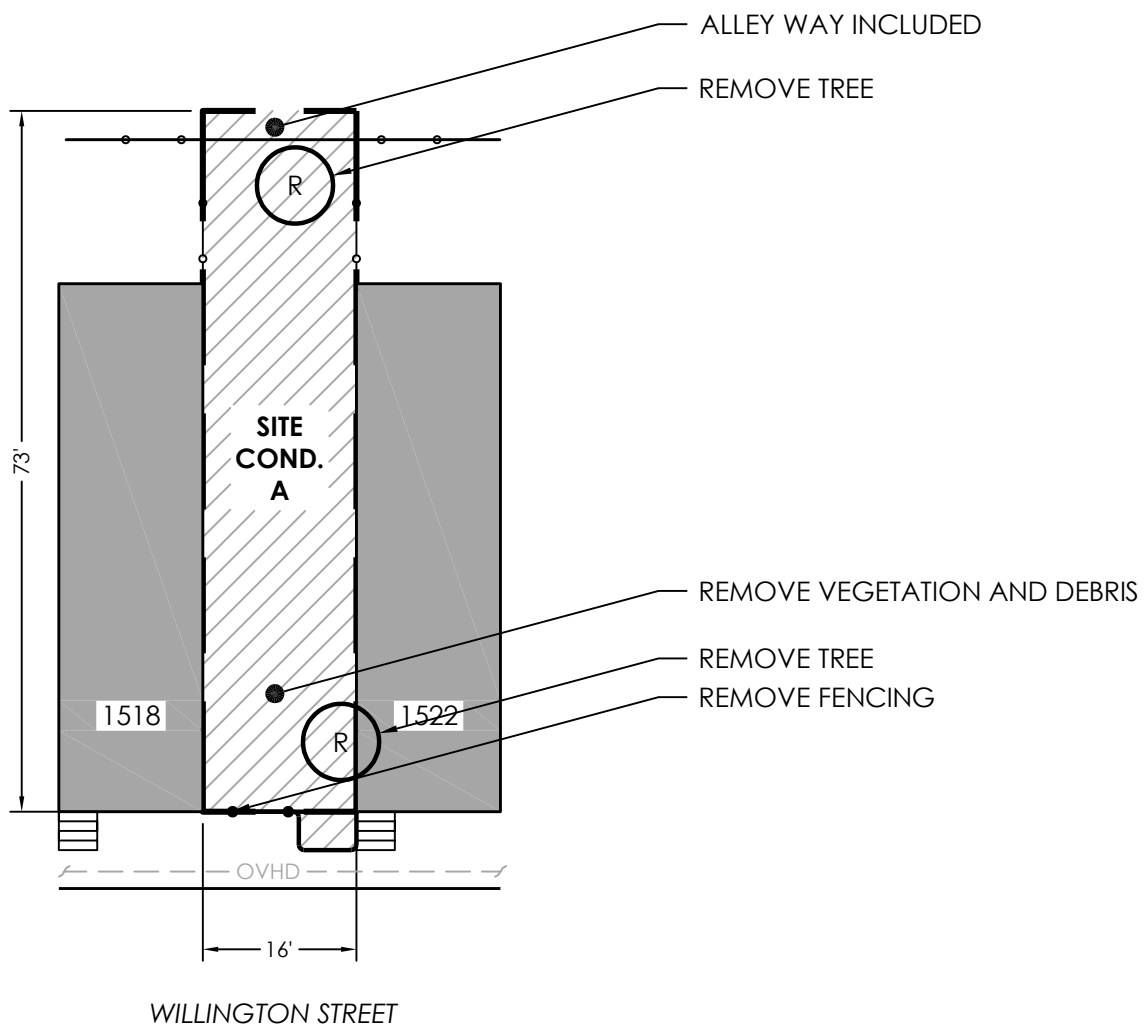
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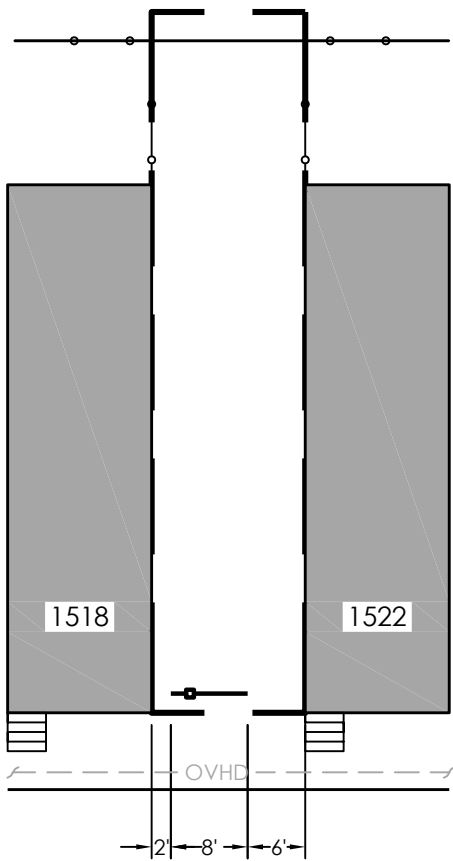
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1520 WILLINGTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11436NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WILLINGTON STREET

Initial Date
8/15/2024

Scale
1" = 20'

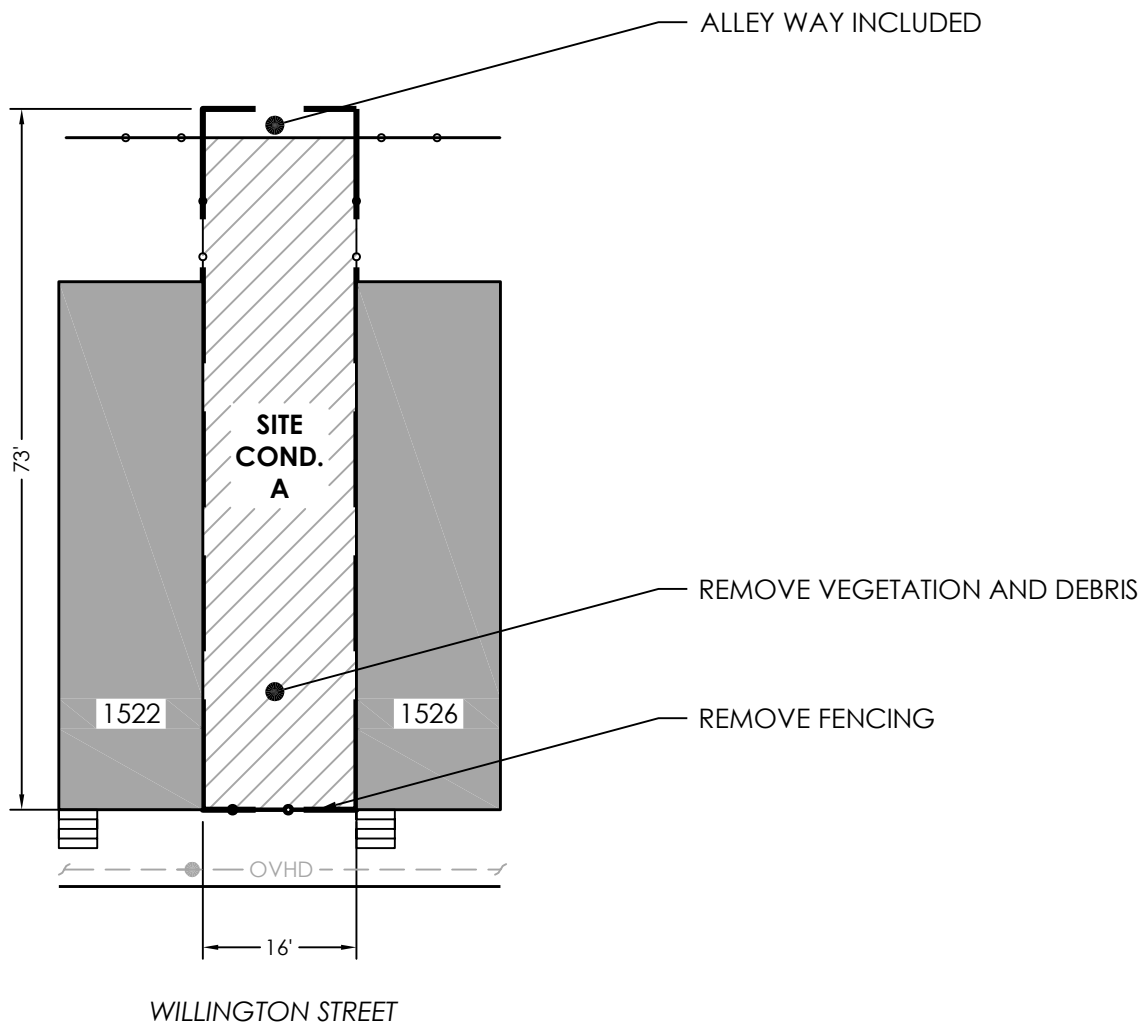
Group D



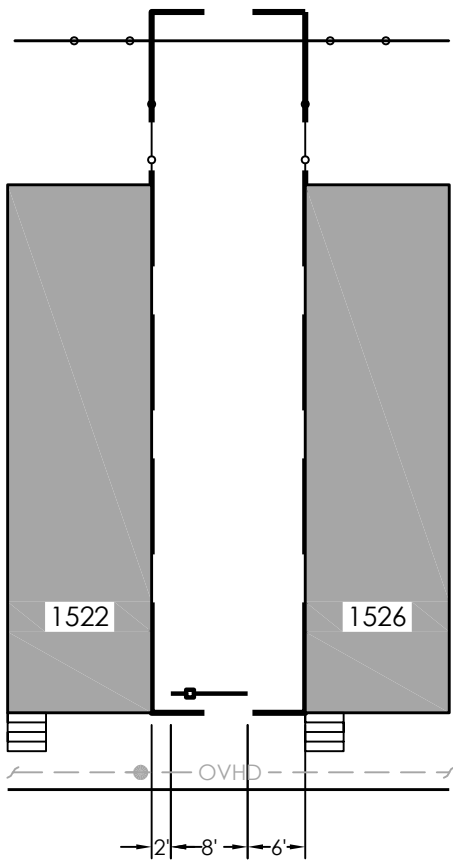
FENCE & TREE LAYOUT

1520 WILLINGTON STREET





Initial Date 8/15/2024		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">1524 WILLINGTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11437NC_CLP		<small>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</small>		



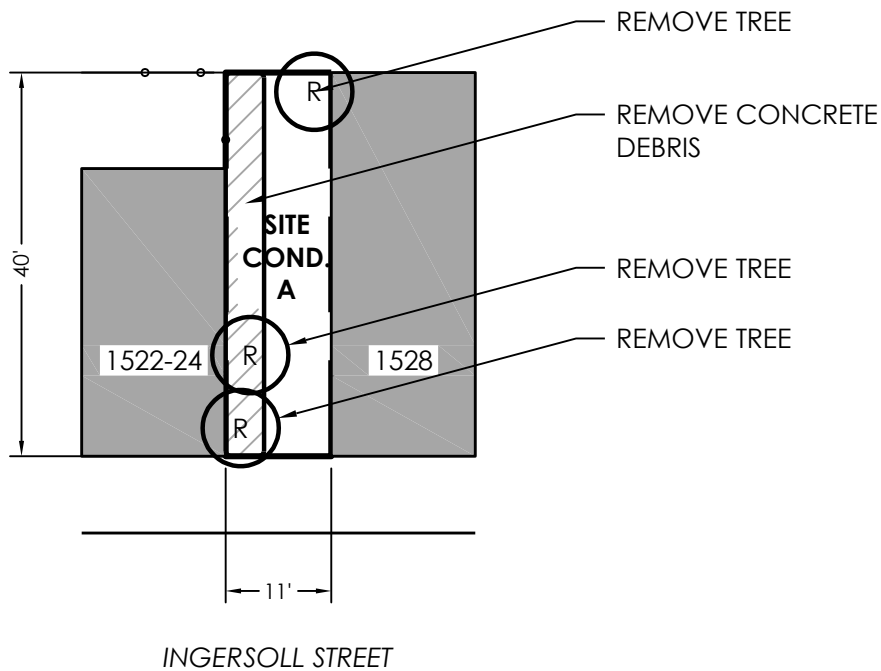
WILLINGTON STREET

Initial Date
8/15/2024
Scale
1" = 20'
Group D

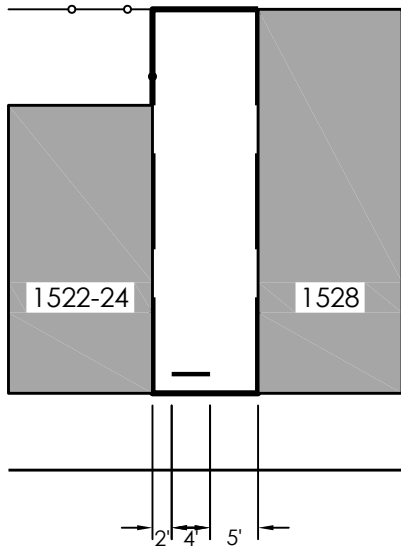


FENCE & TREE LAYOUT
1524 WILLINGTON STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1526 INGERSOLL STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11439NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



INGERSOLL STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group D	
VL11439NC_CLP	



FENCE & TREE LAYOUT

1526 INGERSOLL STREET

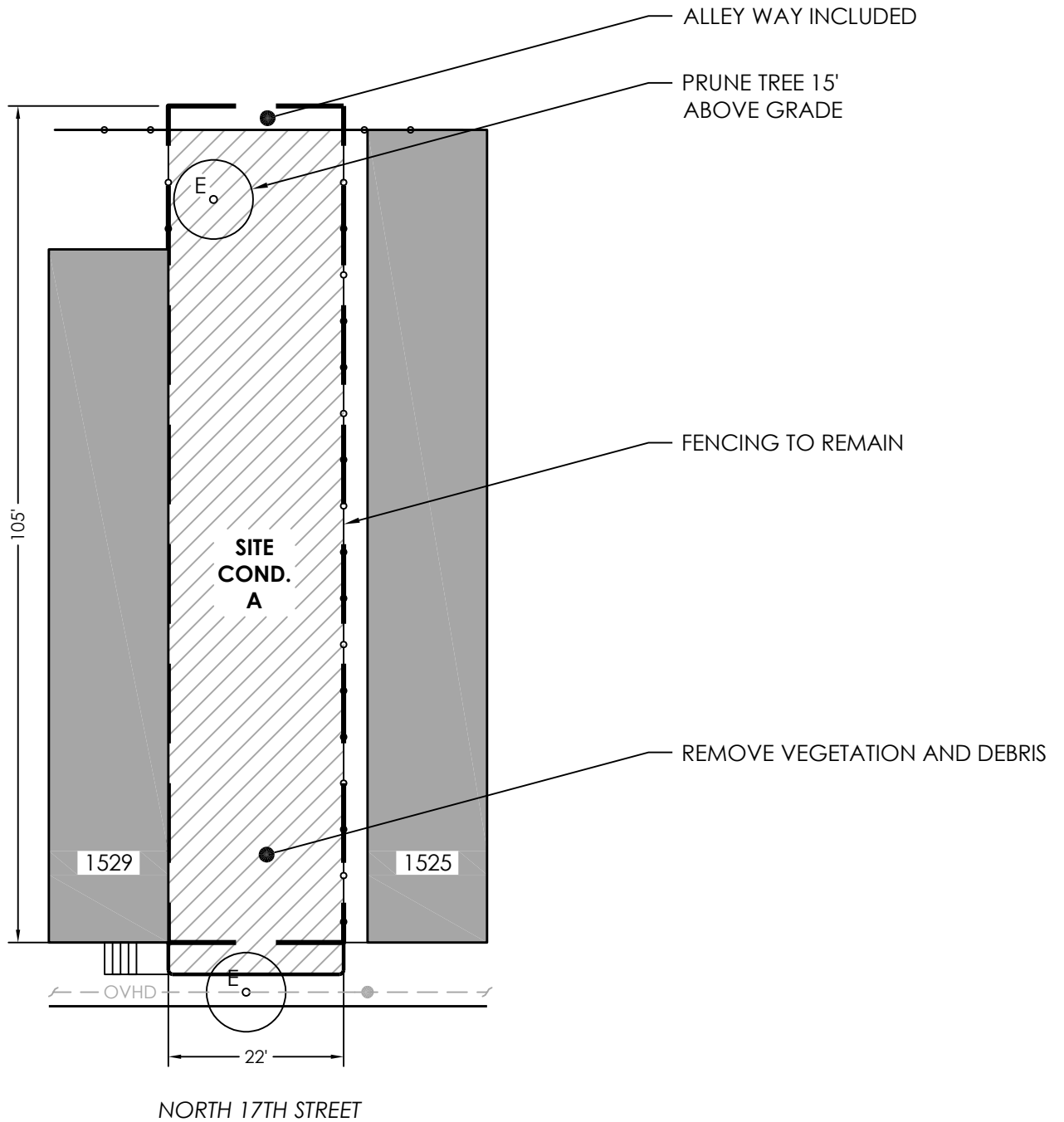
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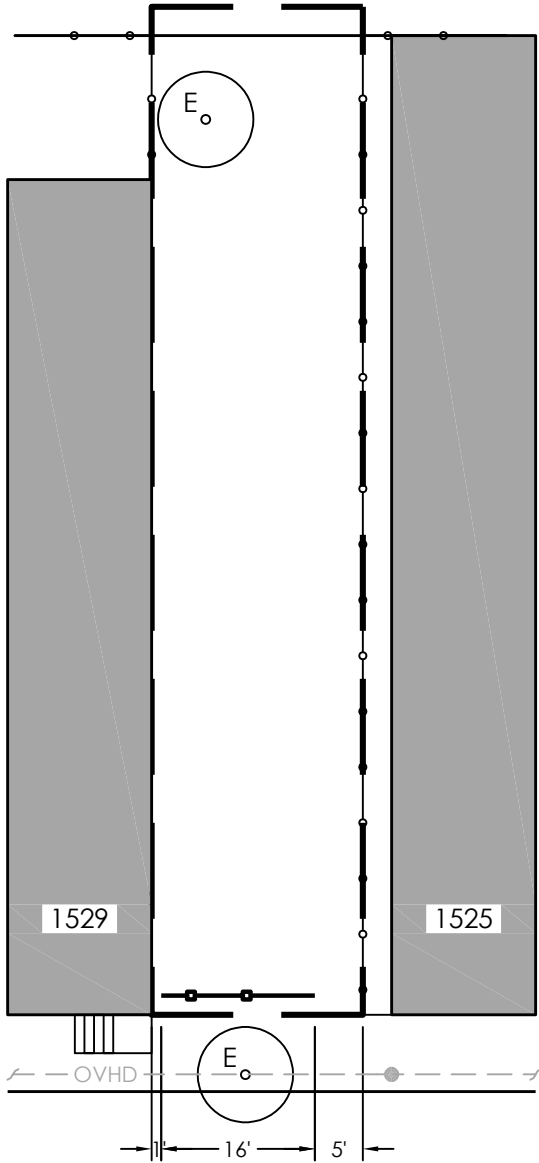
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1527 NORTH 17TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11440NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



NORTH 17TH STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11440NC_CLP



FENCE & TREE LAYOUT

1527 NORTH 17TH STREET

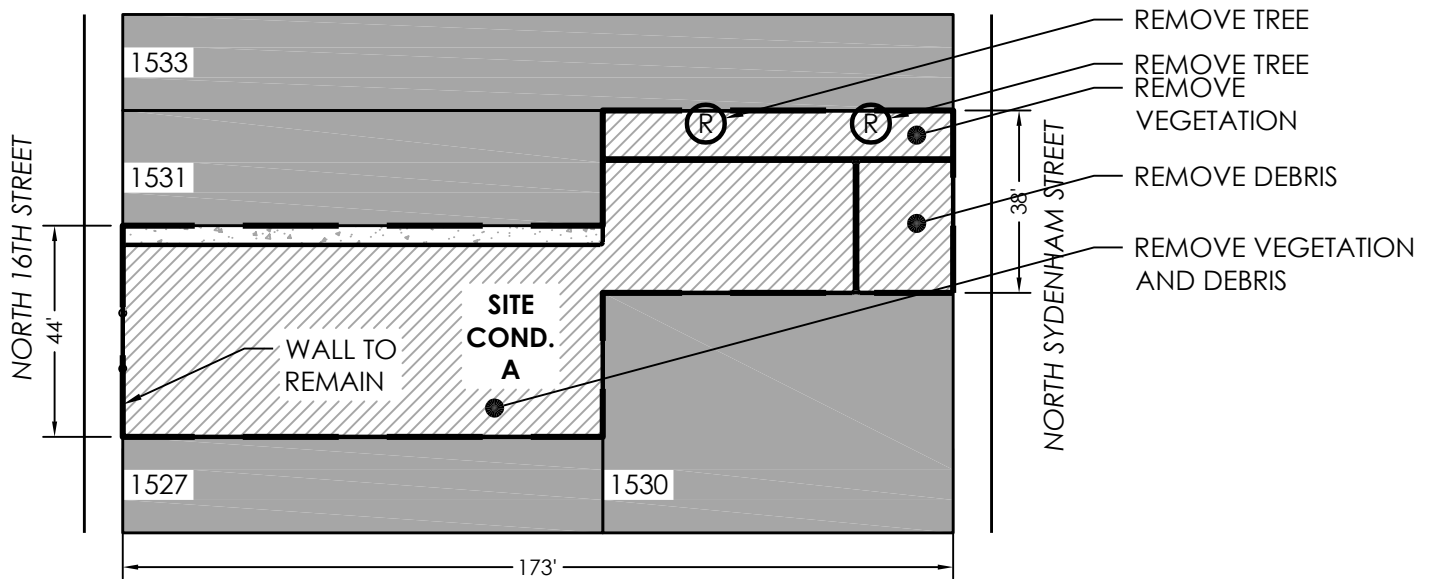
Project Of:



Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1529-1531 NORTH 16TH STREET</p>	Project Of:	Project Manager:
Scale				
Group D				
VL11441NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale

Group D

VL11441NC_CLP



FENCE & TREE LAYOUT

1529-1531 NORTH 16TH STREET

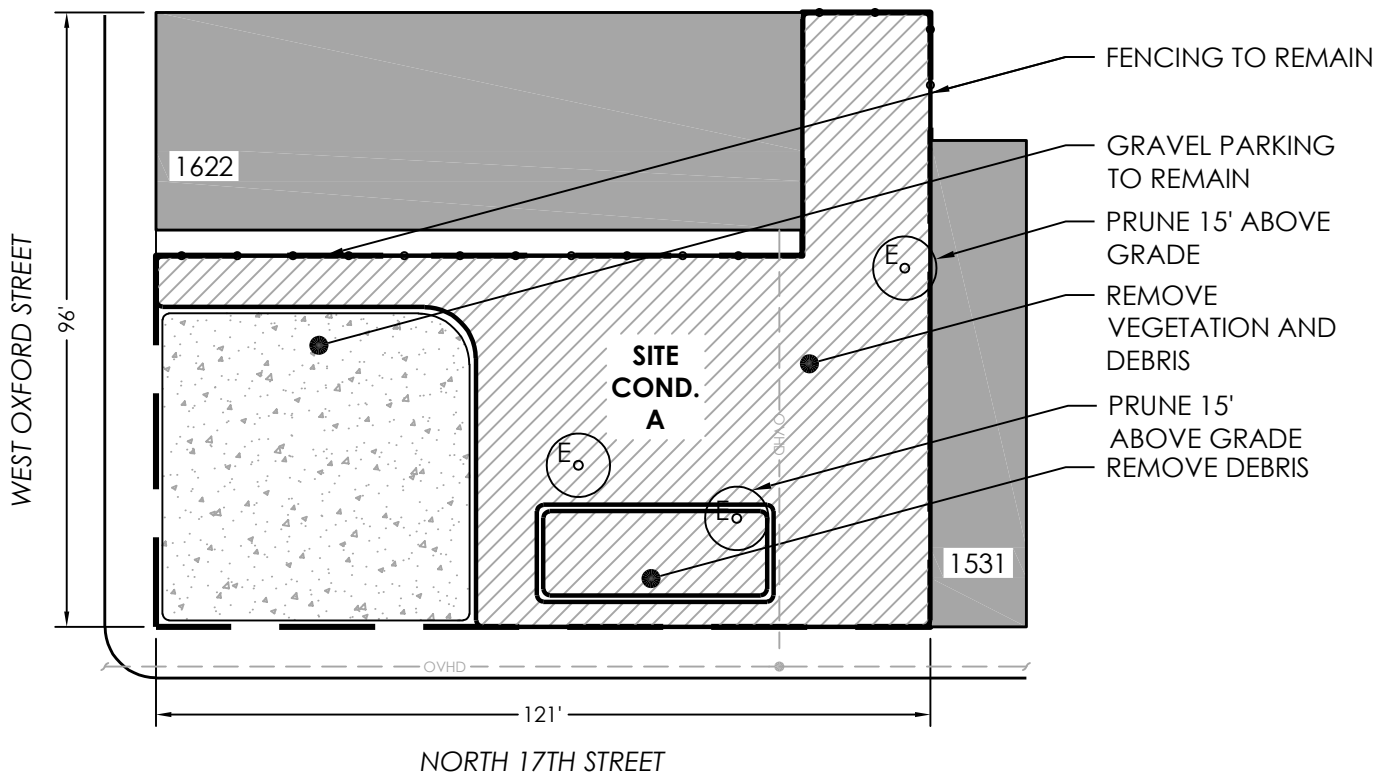
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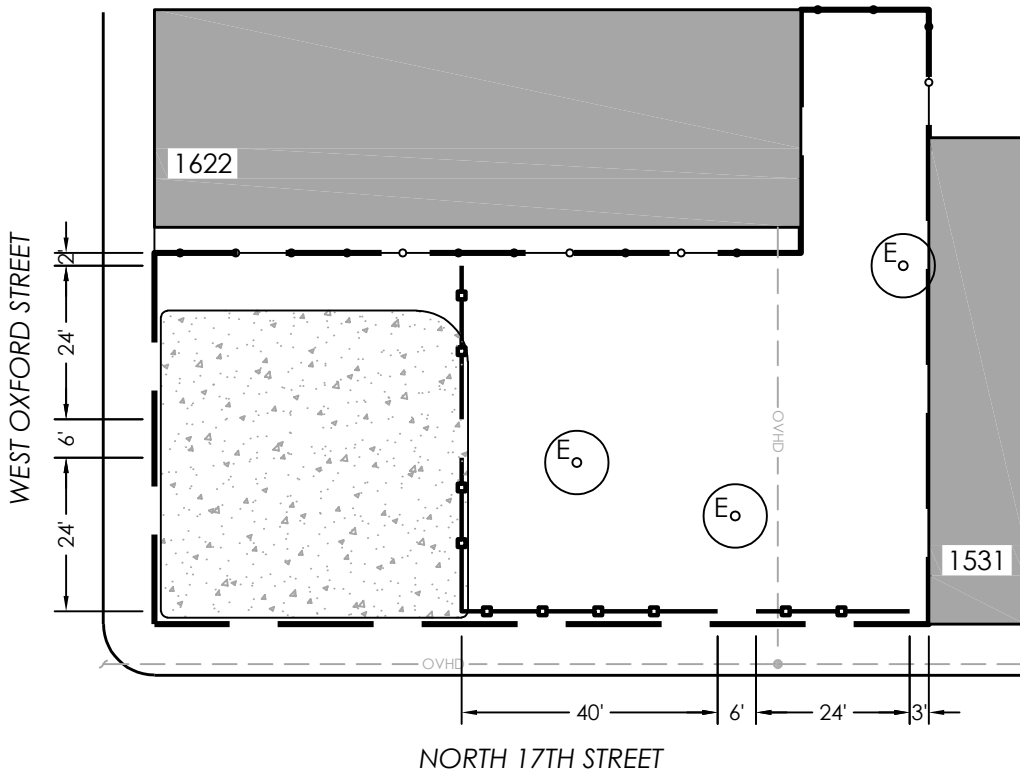
Project Manager:



PHS



Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>1533 NORTH 17TH STREET; 1628-1632 WEST OXFORD STREET</p>	Project Of:	Project Manager:
Scale 1" = 30'				
Group D				
VL11443NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date
8/15/2024

Scale
1" = 30'

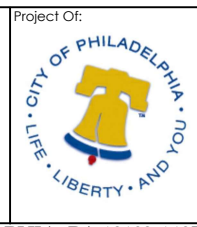
Group D

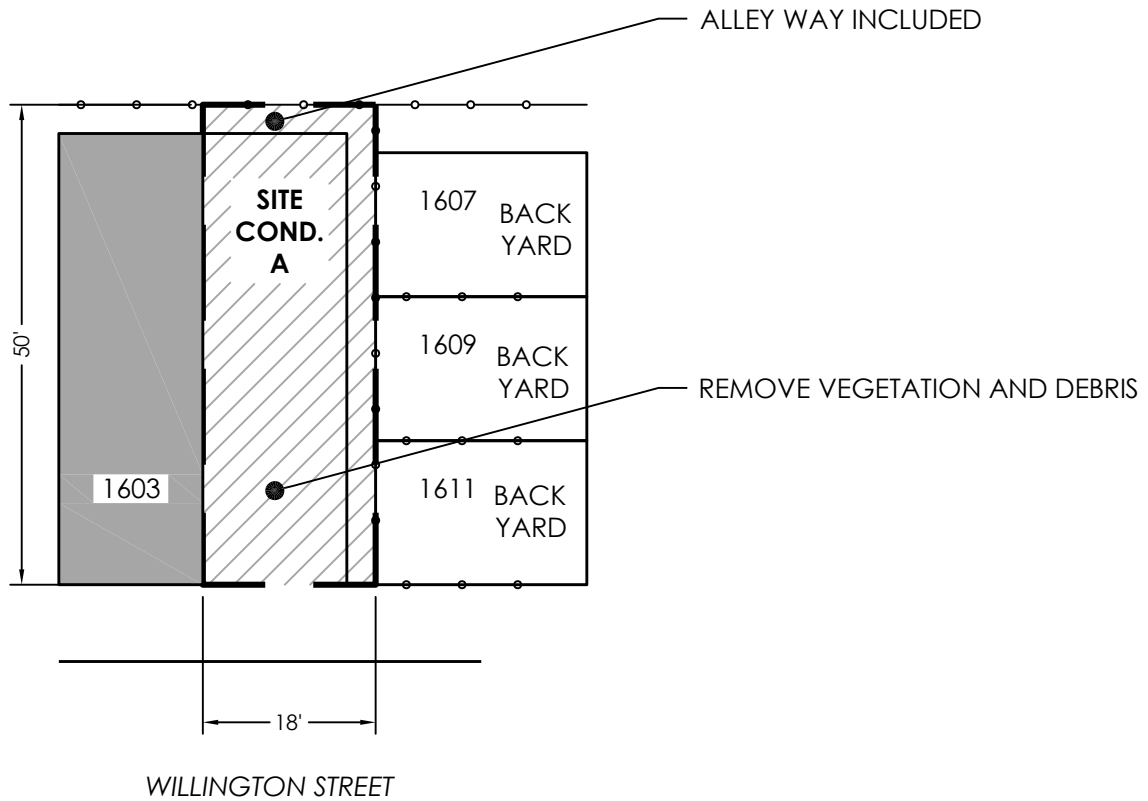
VL11443NC_CLP



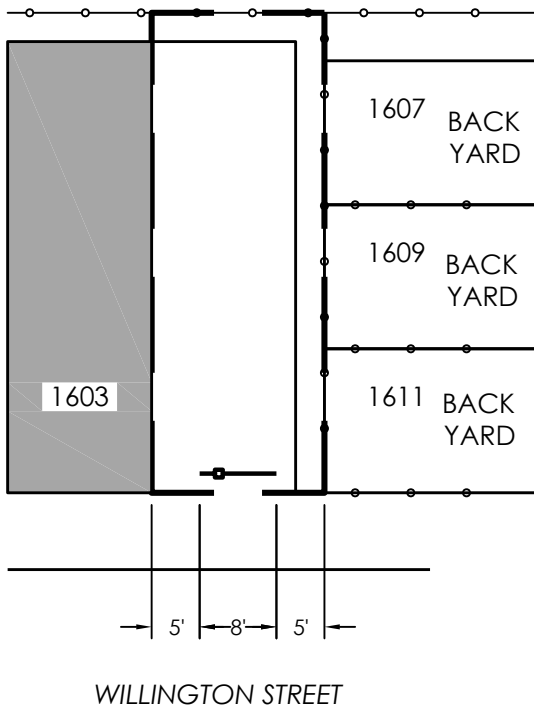
FENCE & TREE LAYOUT

1533 NORTH 17TH STREET; 1628-1632 WEST OXFORD STREET





Initial Date 8/15/2024		EXISTING CONDITIONS 1601 WILLINGTON STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11444NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date
8/15/2024

Scale
1" = 20'

Group D

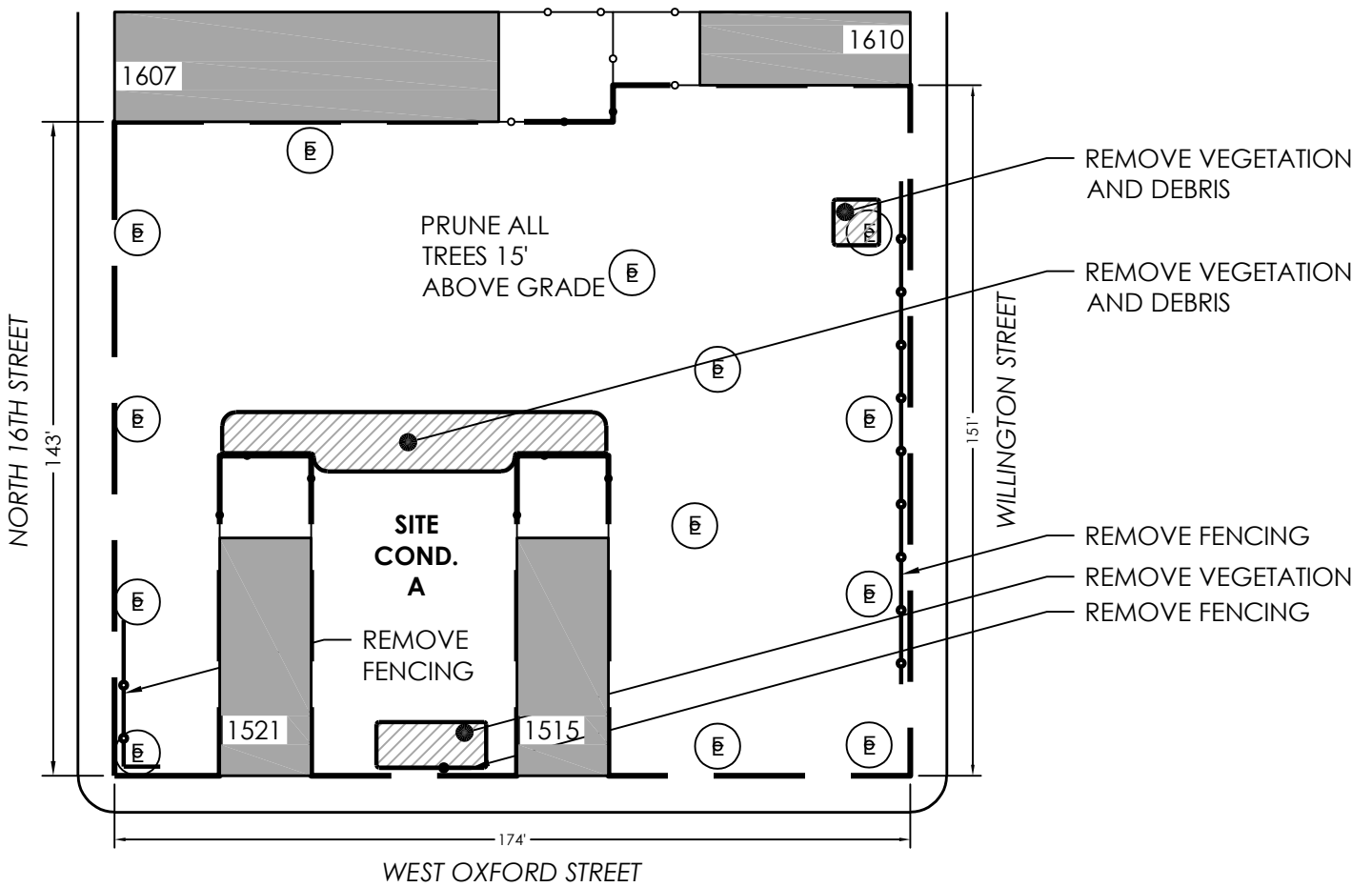
VL11444NC_CLP



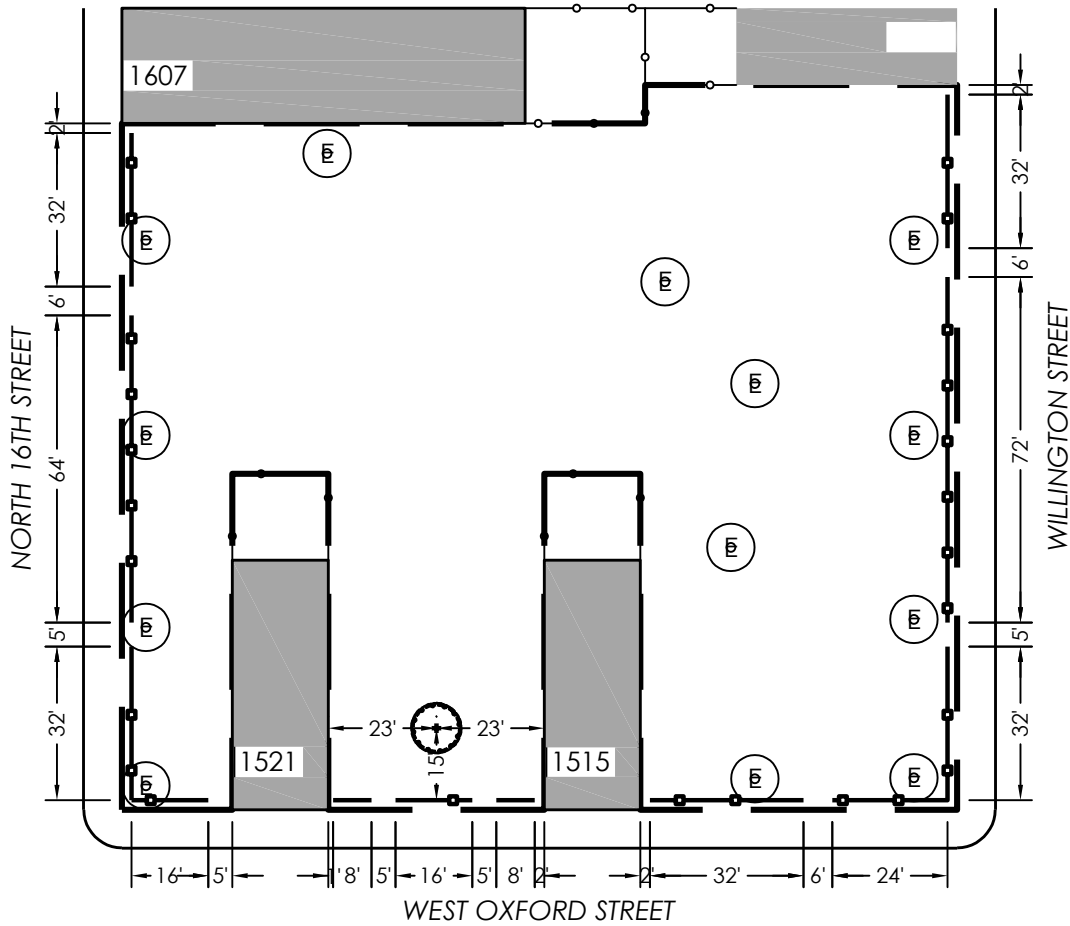
FENCE & TREE LAYOUT

1601 WILLINGTON STREET





Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>1601-1605 NORTH 16TH ST; 1509-1513, 1517-1519, 1523 OXFORD STREET; 1600-1608 NORTH SYDENHAM STREET</p>	Project Of:	Project Manager:
Scale 1" = 40'				
Group D				
VL11445NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 40'

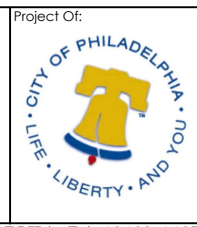
Group D

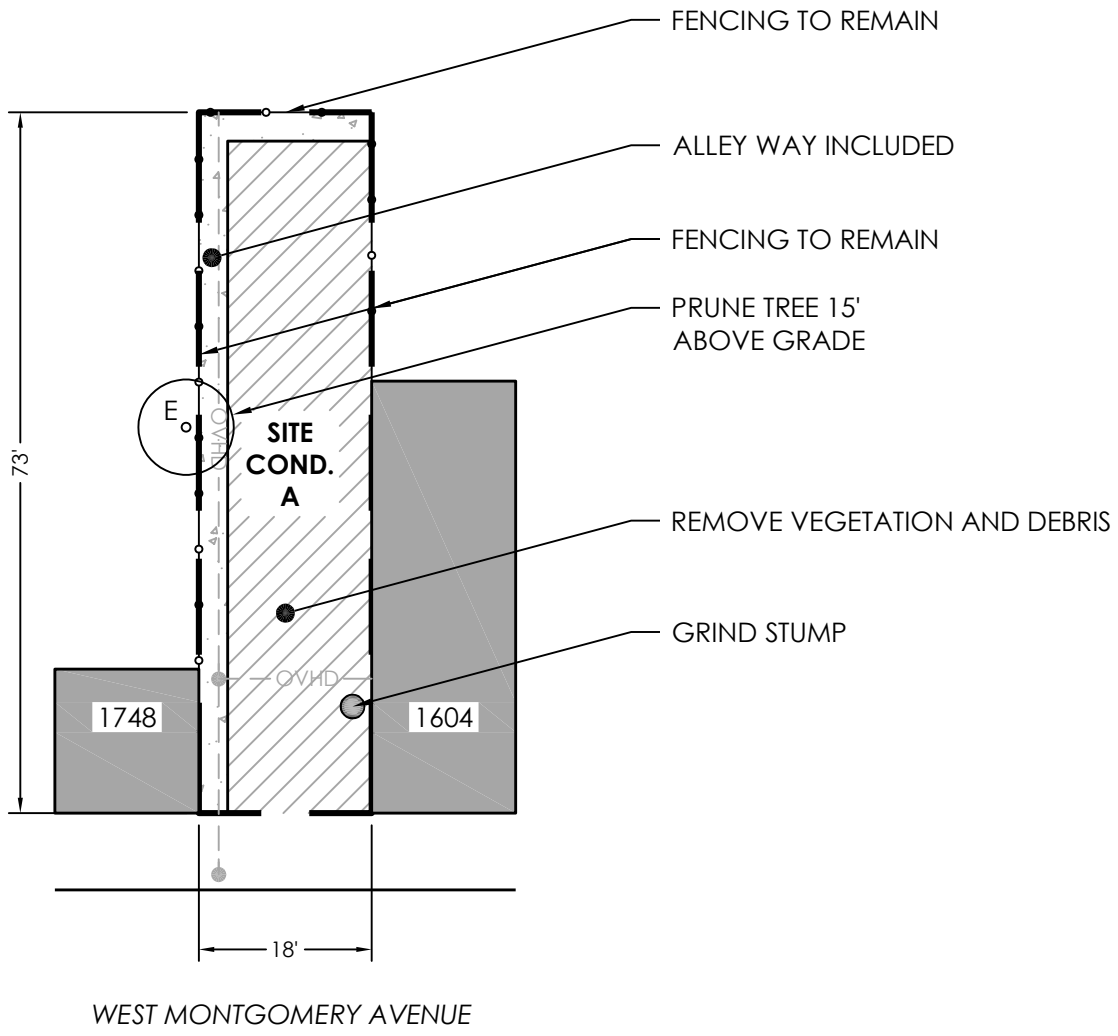
VL11445NC_CLP



FENCE & TREE LAYOUT

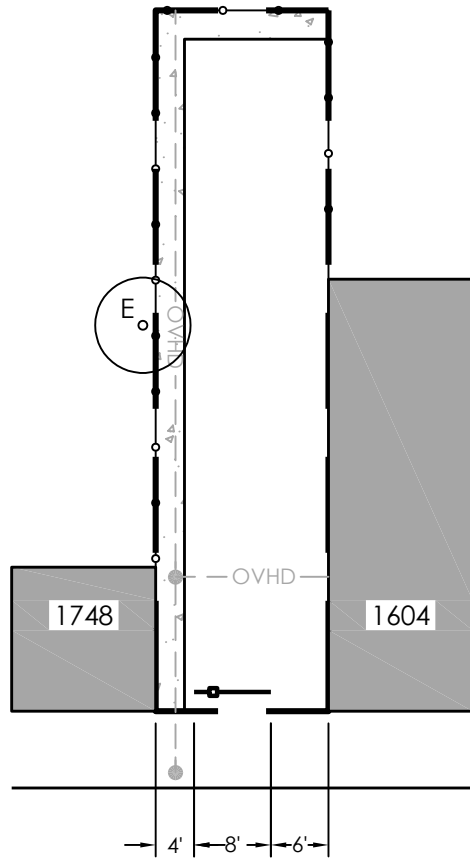
1601-1605 NORTH 16TH ST; 1509-1513, 1517-1519,
1523 OXFORD STREET; 1600-1608 NORTH SYDENHAM
STREET





WEST MONTGOMERY AVENUE

Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1602 WEST MONTGOMERY AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11446NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST MONTGOMERY AVENUE

Initial Date
8/15/2024

Scale
1" = 20'

Group D

VL11446NC_CLP



FENCE & TREE LAYOUT

1602 WEST MONTGOMERY AVENUE

Project Of:



Project Manager:



PHS



WEST MONTGOMERY AVENUE

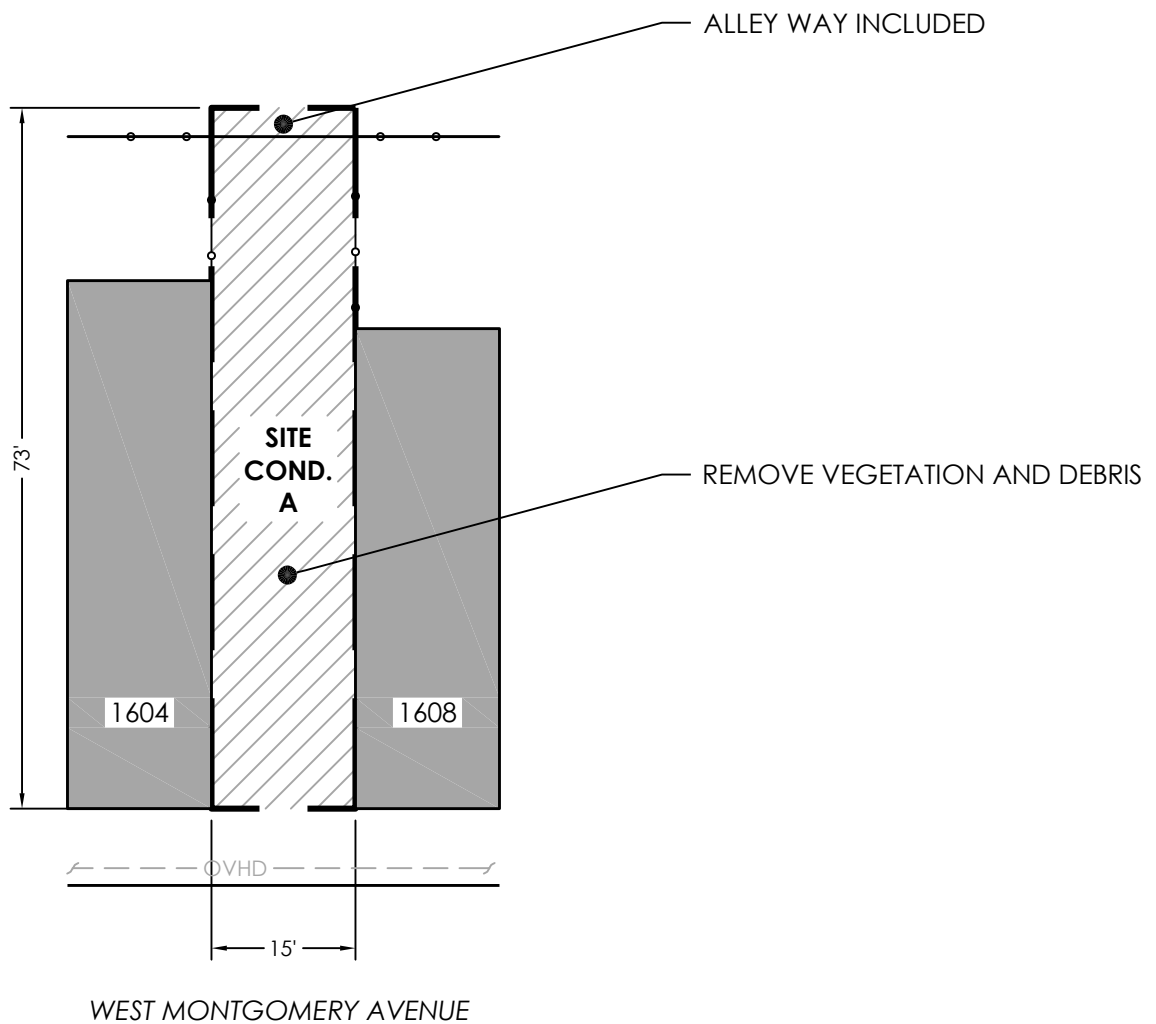
Initial Date	8/15/2024
Scale	1" = 20'
Group D	
VL11447NC_CLP	



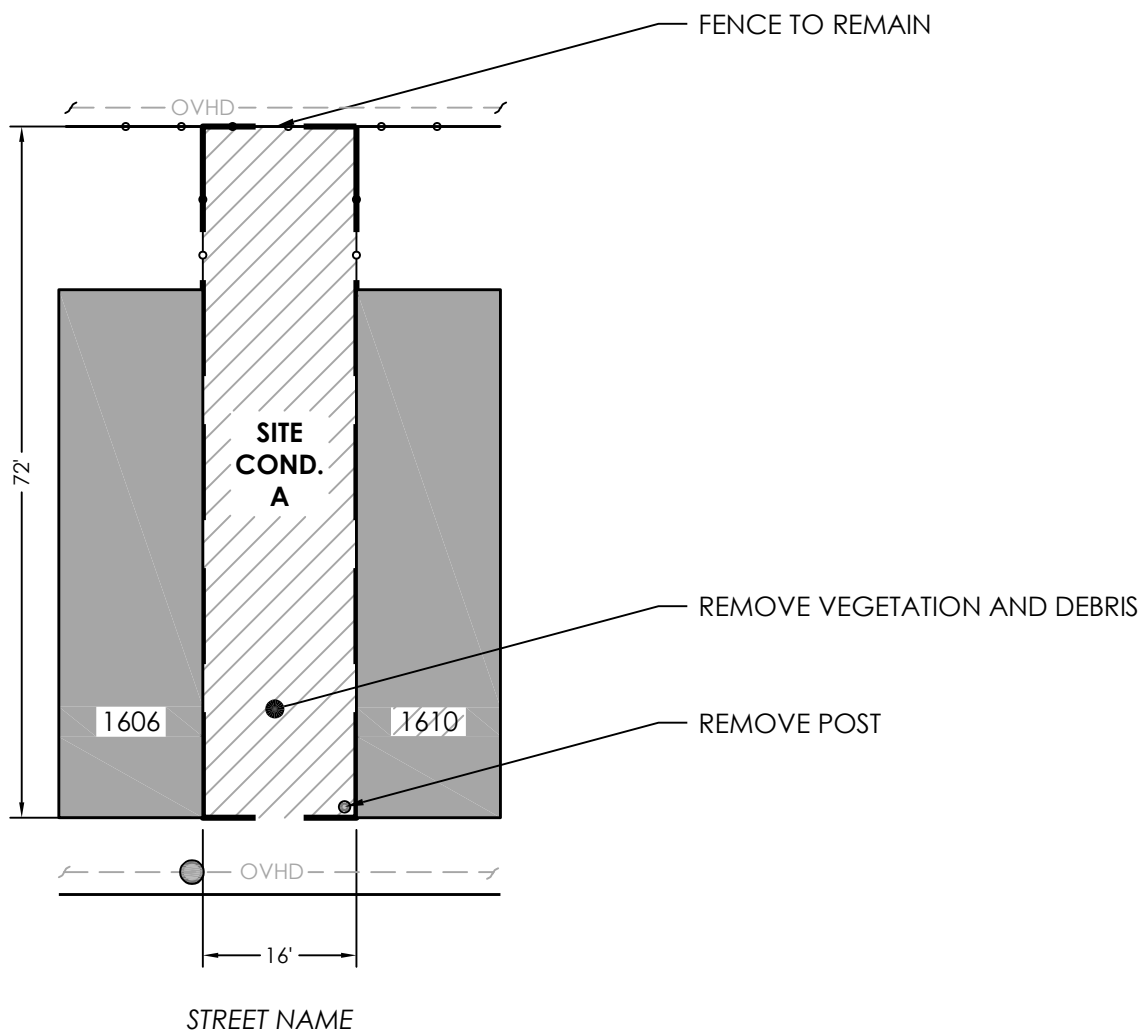
FENCE & TREE LAYOUT

1606 WEST MONTGOMERY AVENUE

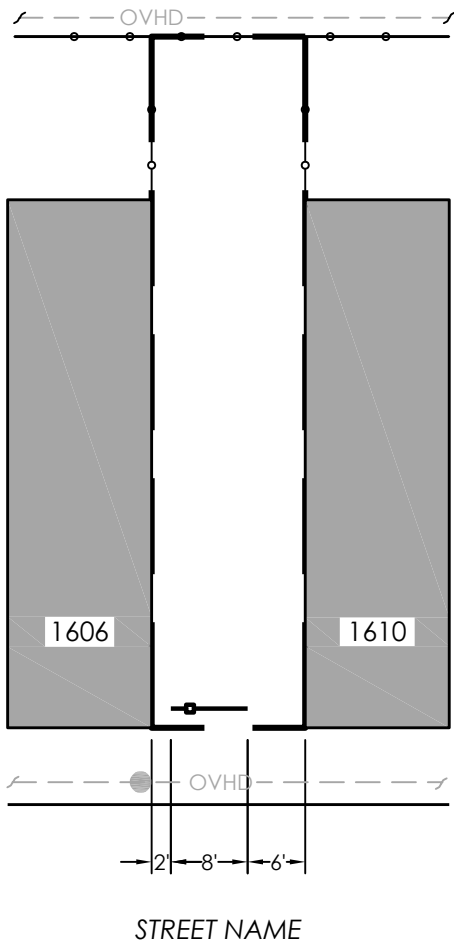




Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1606 WEST MONTGOMERY AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11447NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1608 WILLINGTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11448NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



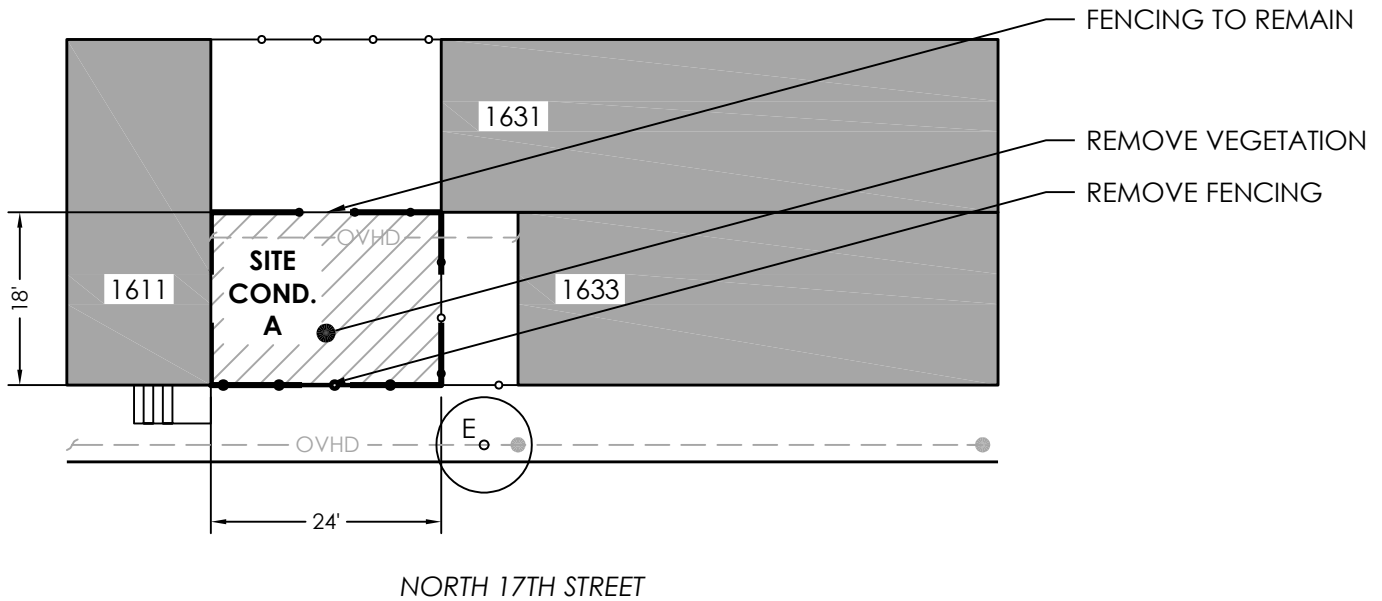
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11448NC_CLP



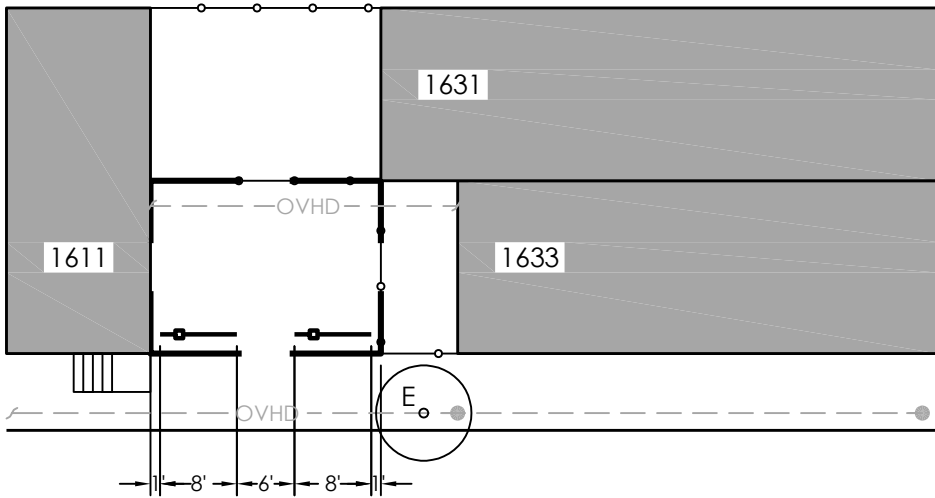
FENCE & TREE LAYOUT

1608 WILLINGTON STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1609 NORTH 17TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11449NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



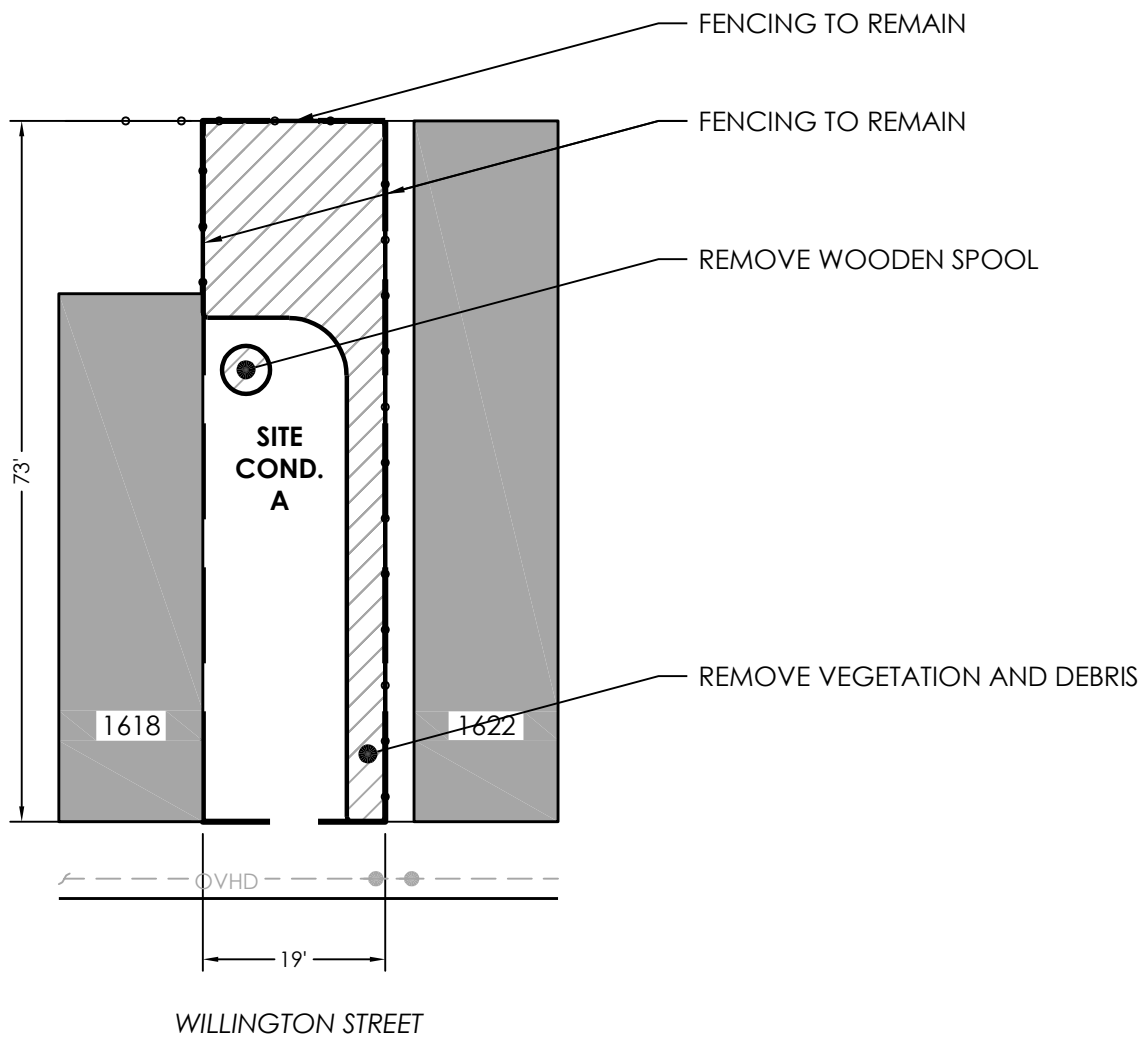
NORTH 17TH STREET

Initial Date
8/15/2024
Scale
1" = 20'
Group D
VL11449NC_CLP

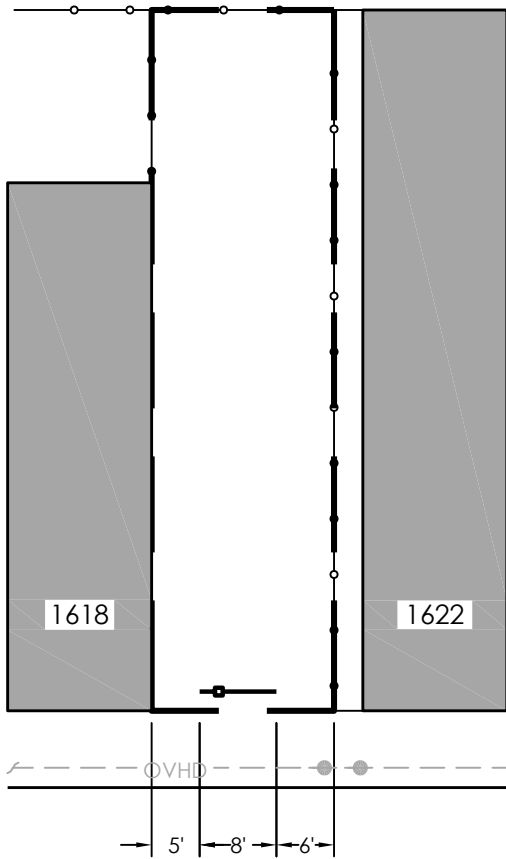


FENCE & TREE LAYOUT
1609 NORTH 17TH STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1620 WILLINGTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11451NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



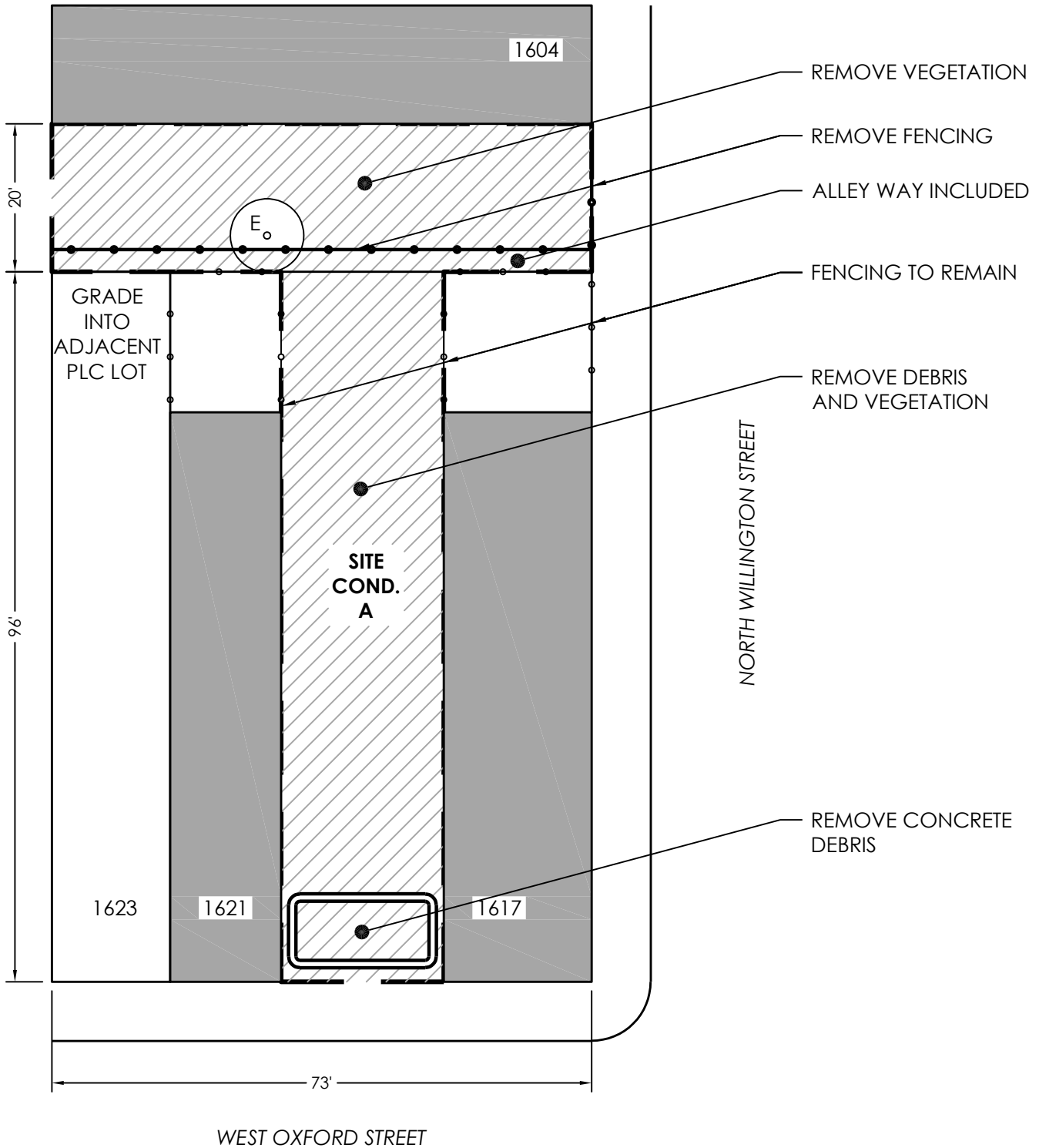
WILLINGTON STREET

Initial Date
8/15/2024
Scale
1" = 20'
Group D
VL11451NC_CLP



FENCE & TREE LAYOUT
1620 WILLINGTON STREET





Initial Date
8/15/2024

Scale
1" = 20'

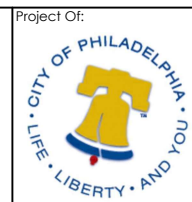
Group D

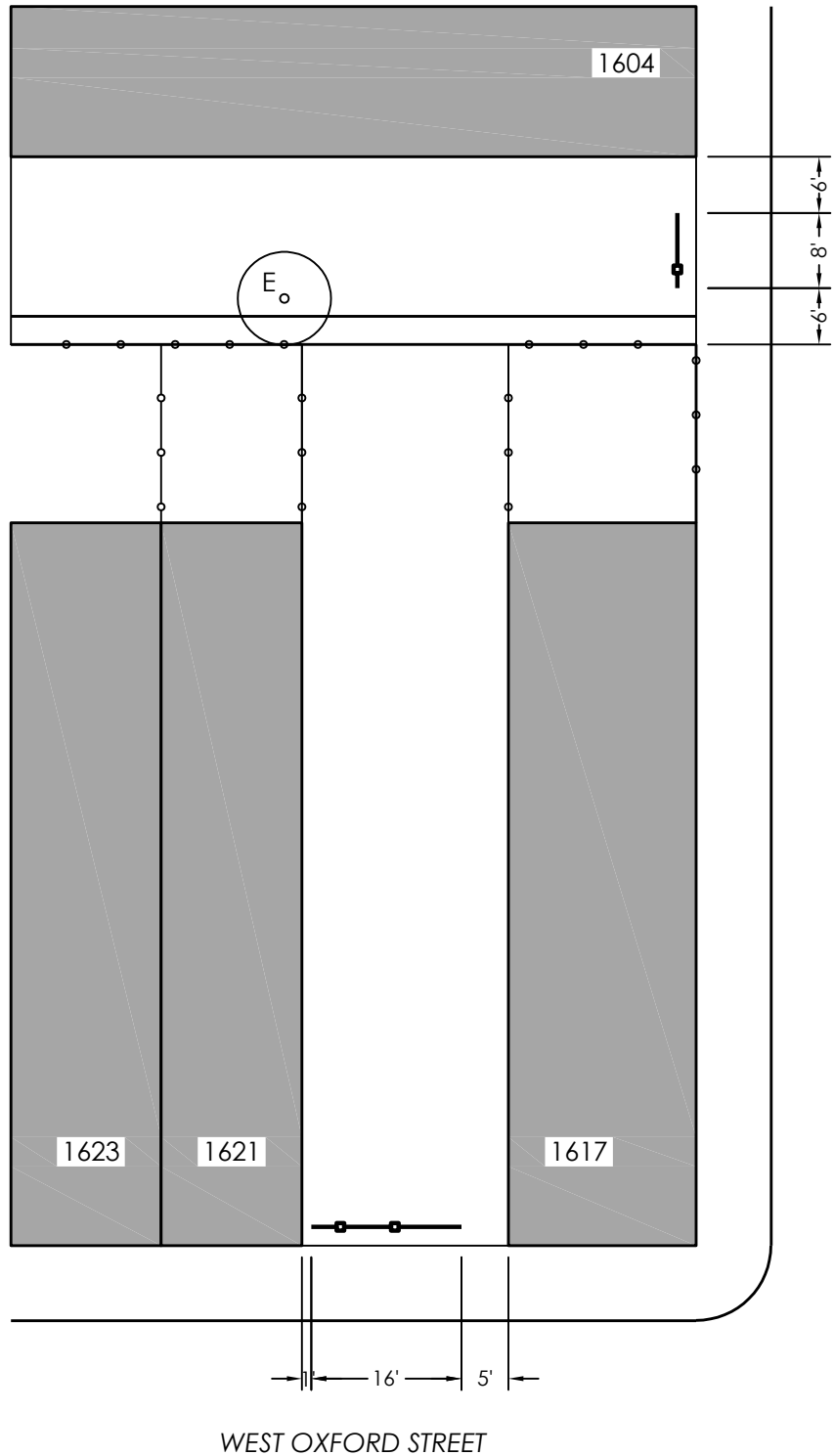


EXISTING CONDITIONS

1619 WEST OXFORD STREET; 1602 WILLINGTON STREET

VL11452NC_CLP





NORTH WILLINGTON STREET

WEST OXFORD STREET

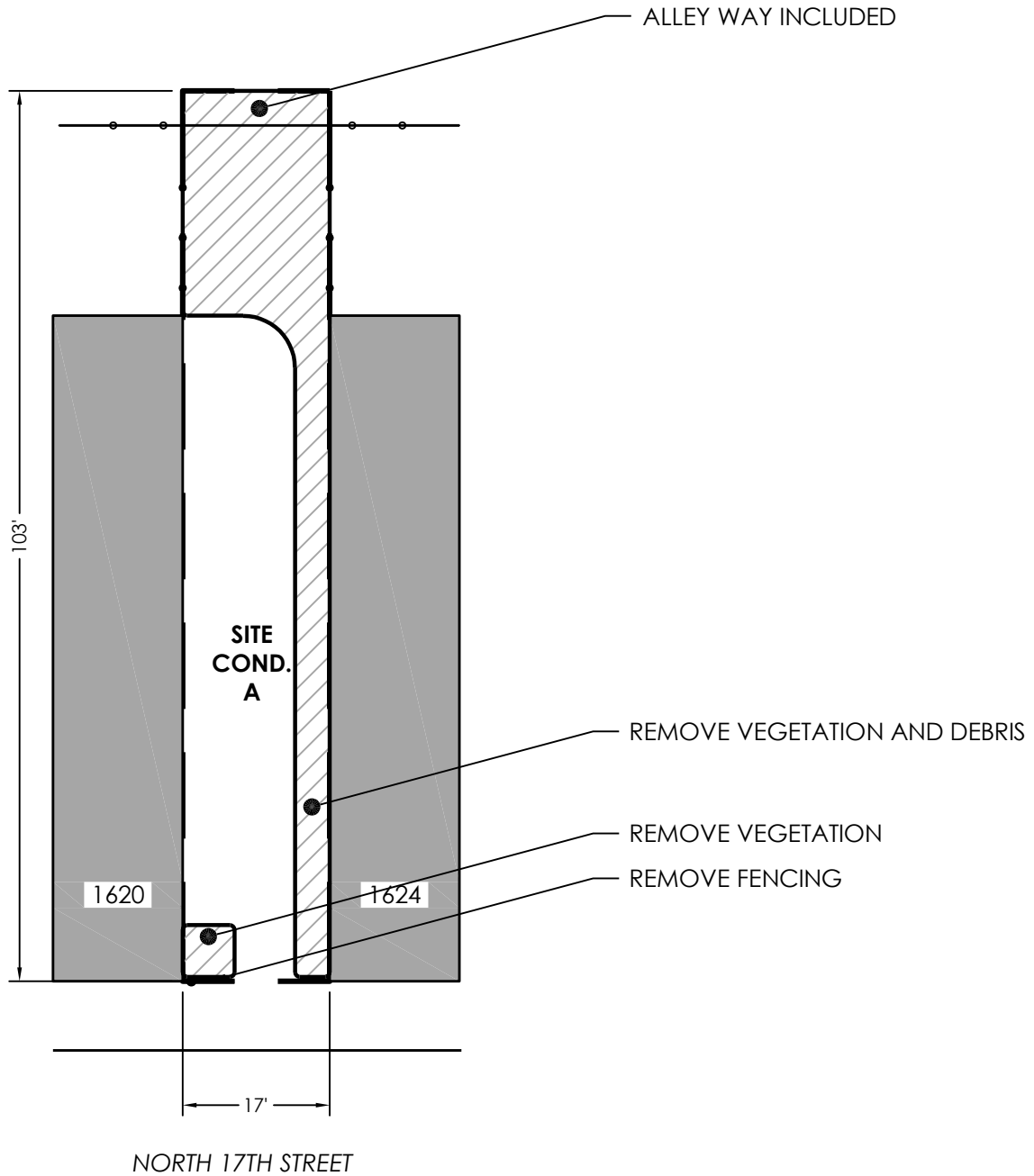
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11452NC_CLP



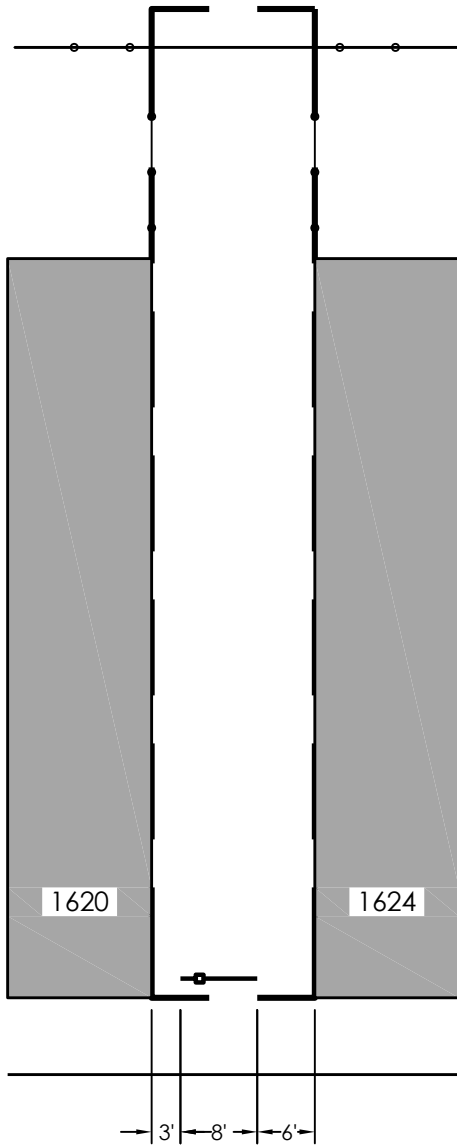
FENCE & TREE LAYOUT

1619 WEST OXFORD STREET; 1602 WILLINGTON STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1622 NORTH 17TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11453NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



NORTH 17TH STREET



FENCE & TREE LAYOUT

1622 NORTH 17TH STREET

Project Of:



Project Manager:



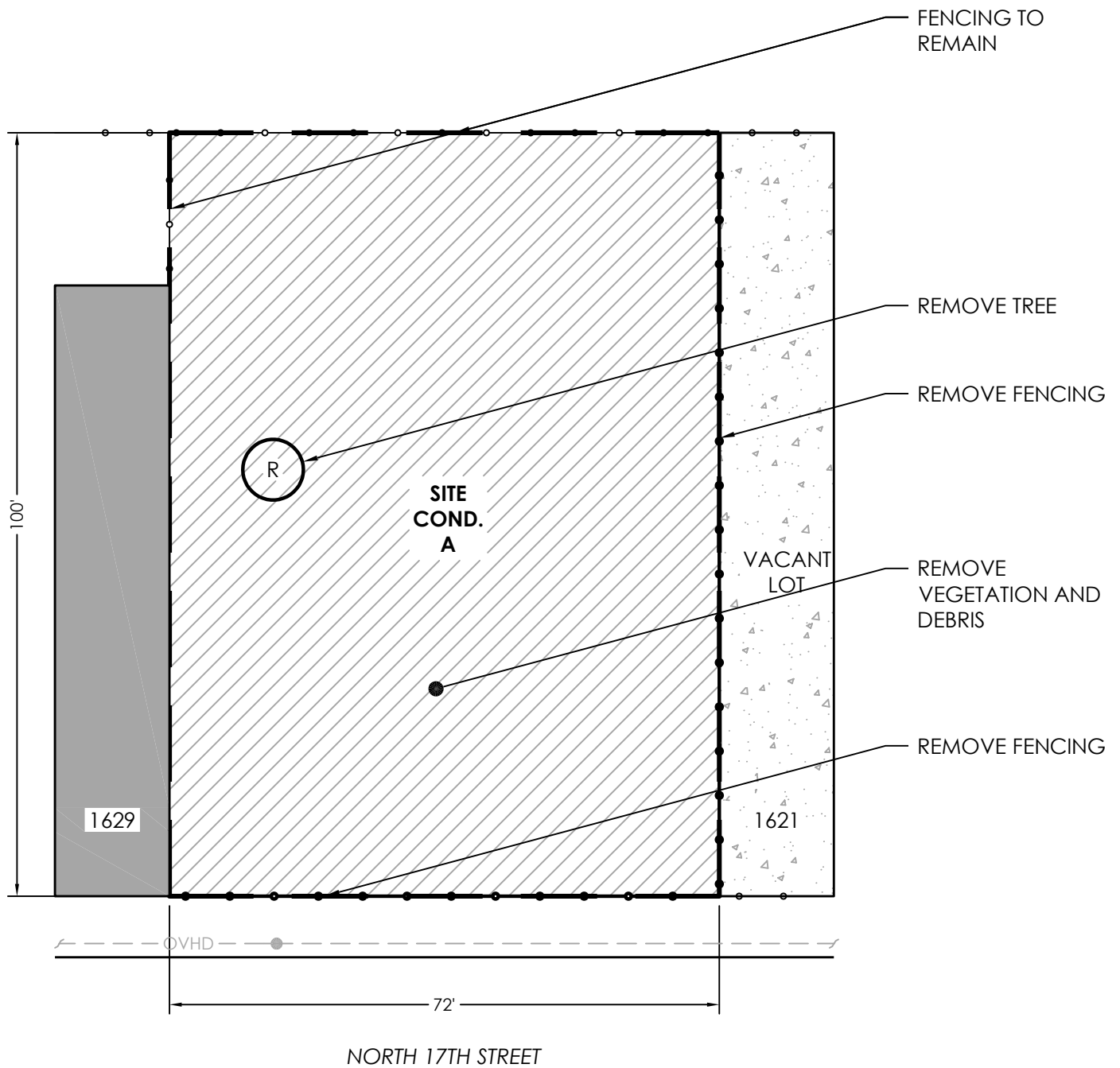
PHS

Initial Date
8/15/2024

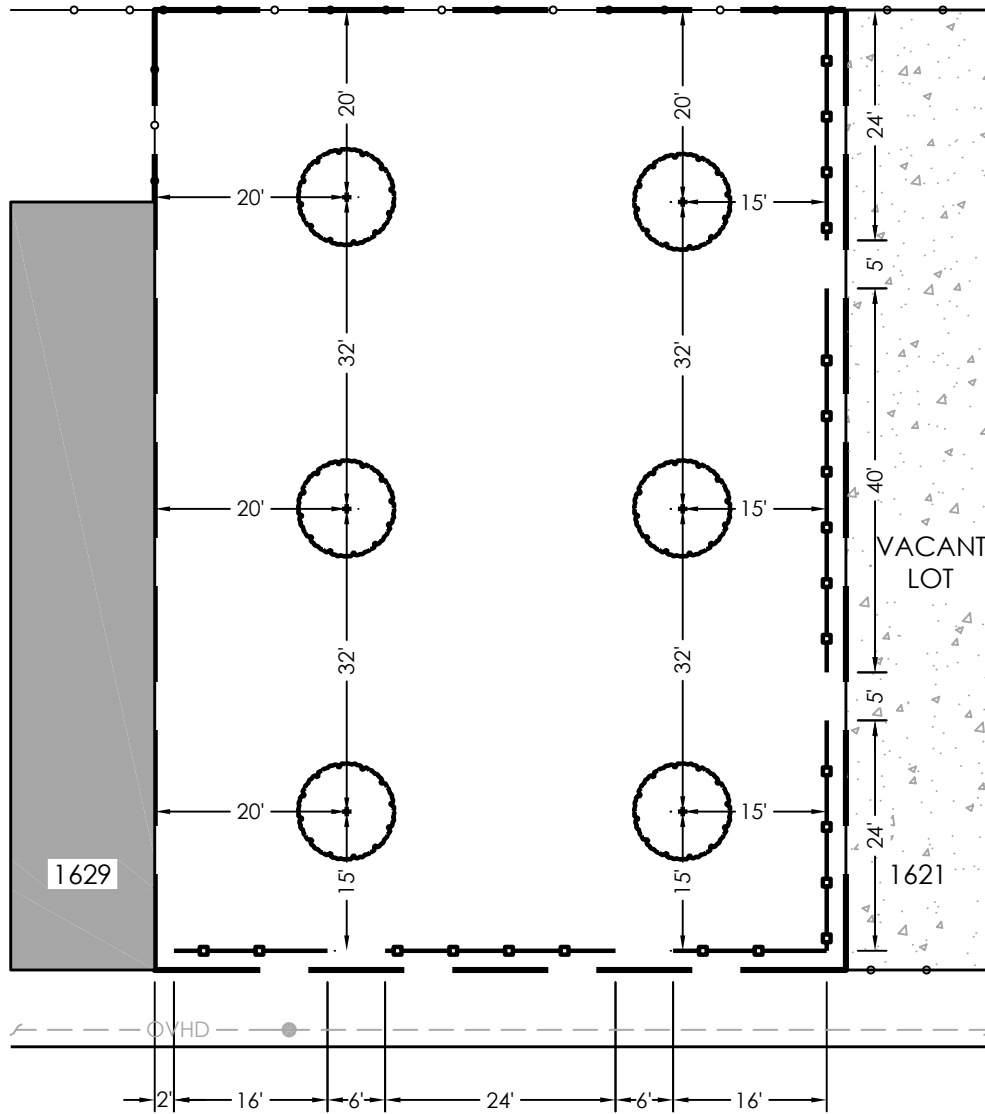
Scale
1" = 20'

Group D

VL11453NC_CLP



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1623-1627 NORTH 17TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11454NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



NORTH 17TH STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11454NC_CLP



FENCE & TREE LAYOUT

1623-1627 NORTH 17TH STREET

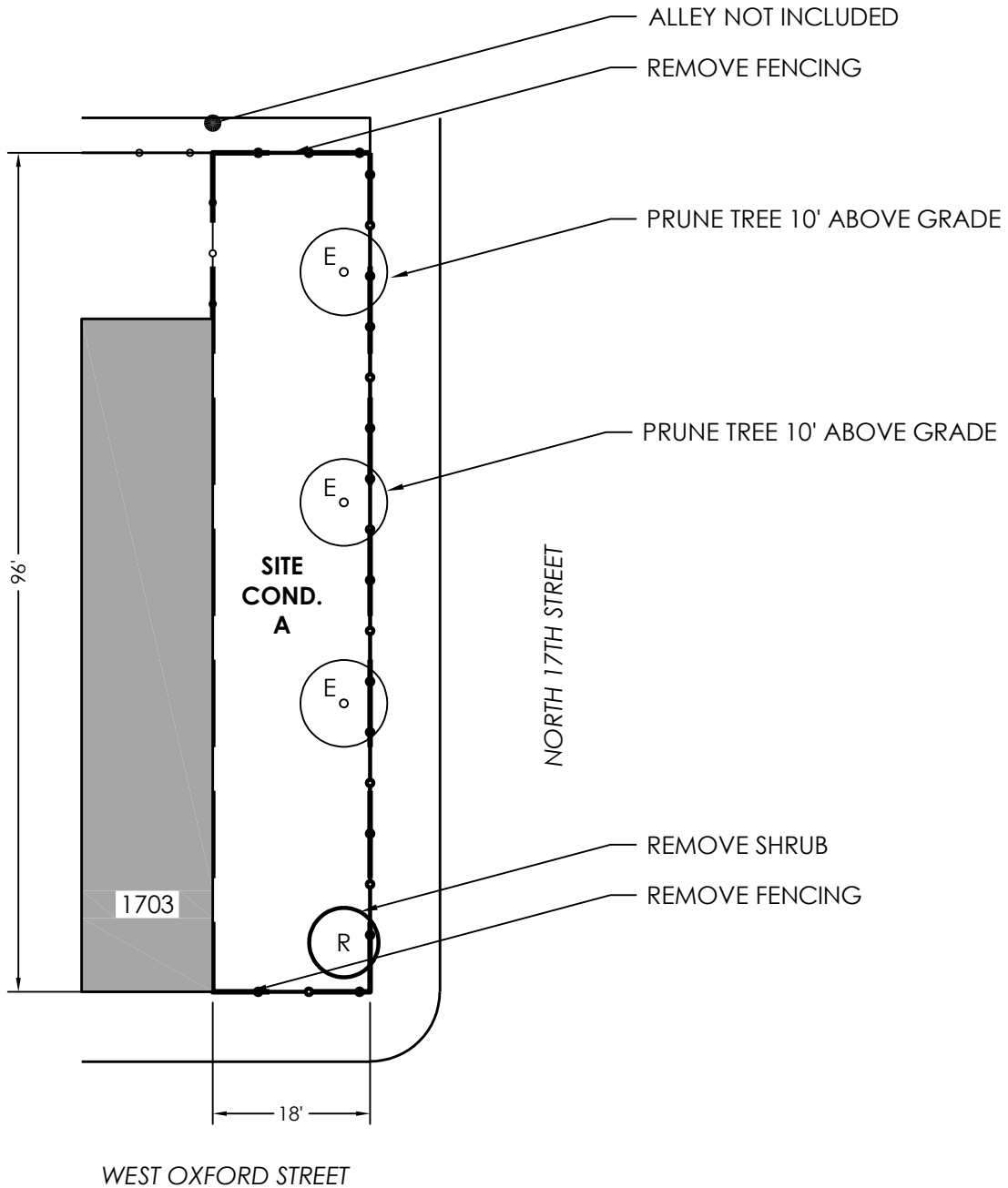
Project Of:



Project Manager:

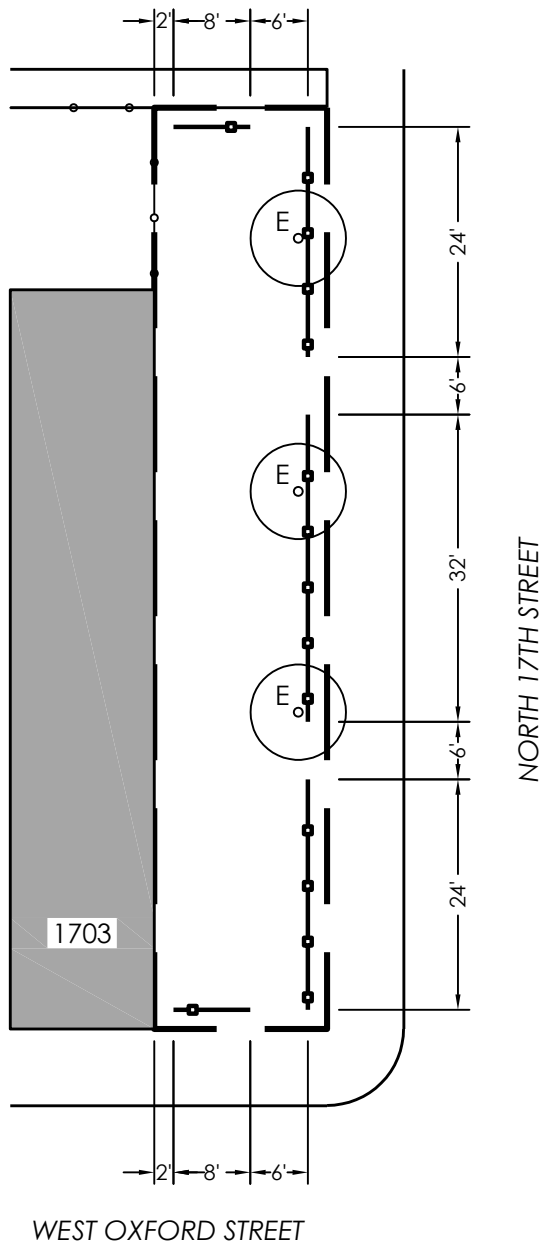


PHS



WEST OXFORD STREET

Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1701 WEST OXFORD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11456NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH 17TH STREET

WEST OXFORD STREET

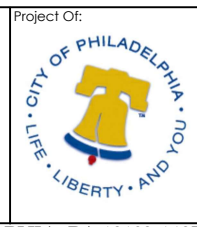
1703

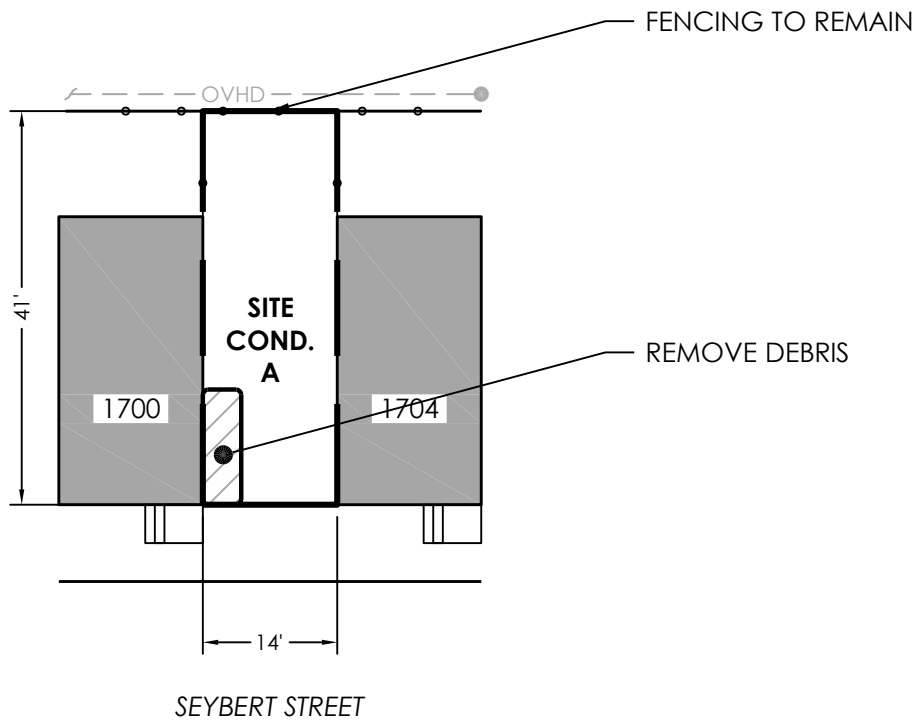
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11456NC_CLP



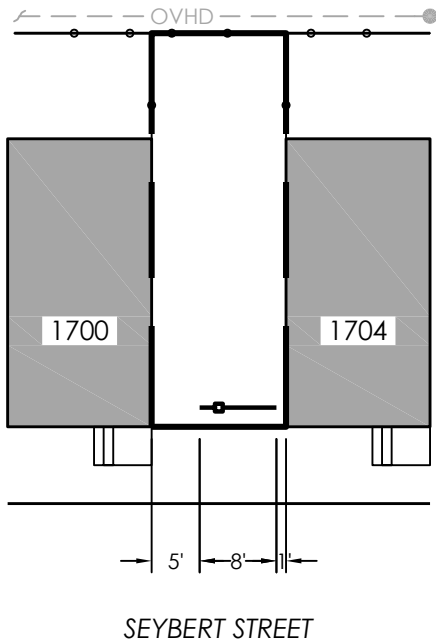
FENCE & TREE LAYOUT

1701 WEST OXFORD STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1702 SEYBERT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11458NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



SEYBERT STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11458NC_CLP



FENCE & TREE LAYOUT

1702 SEYBERT STREET

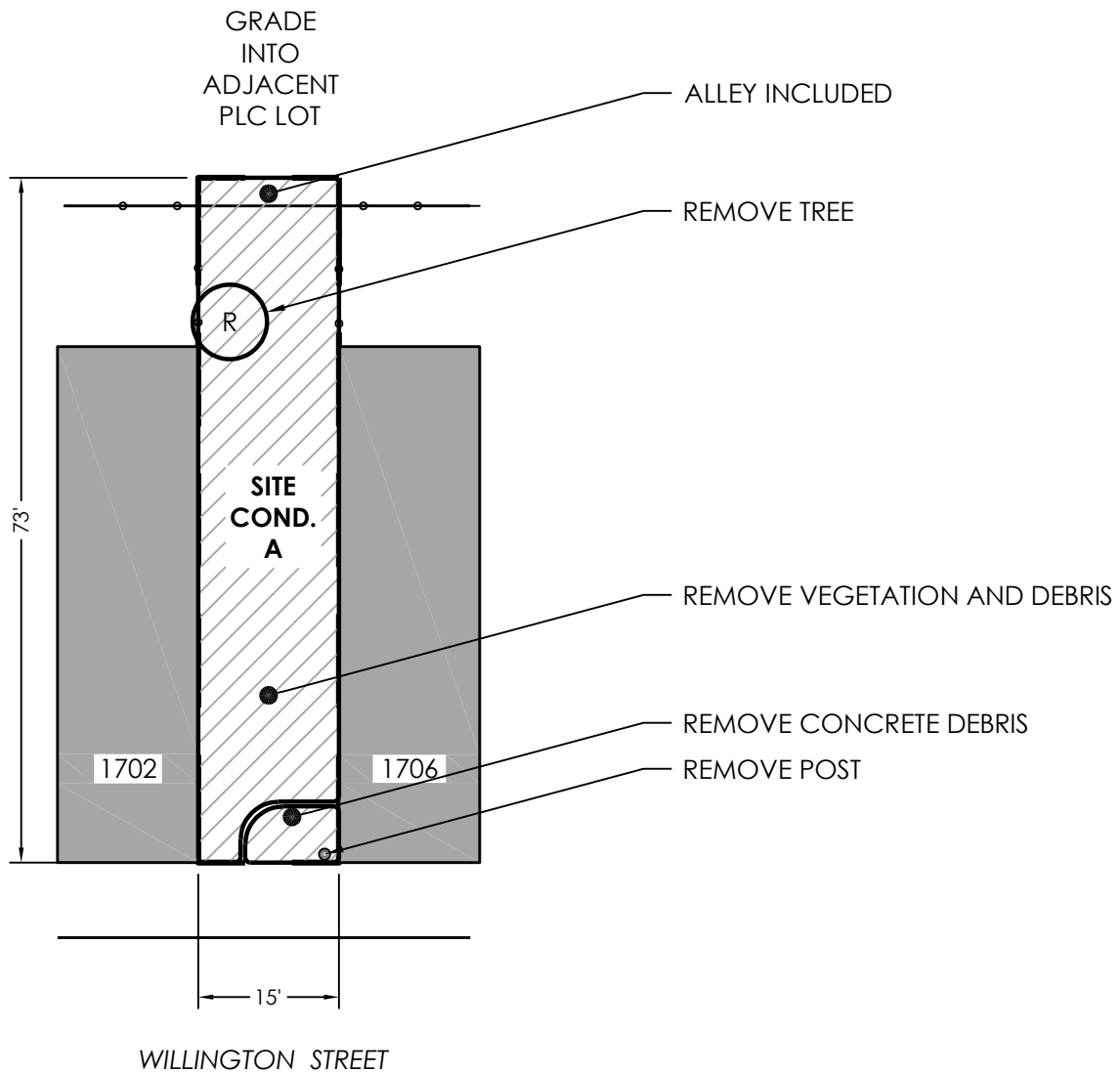
Project Of:



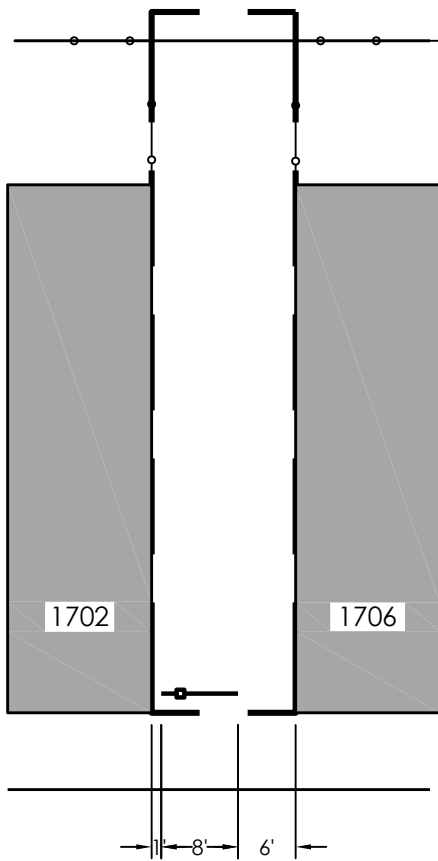
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1704 WILLINGTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11459NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



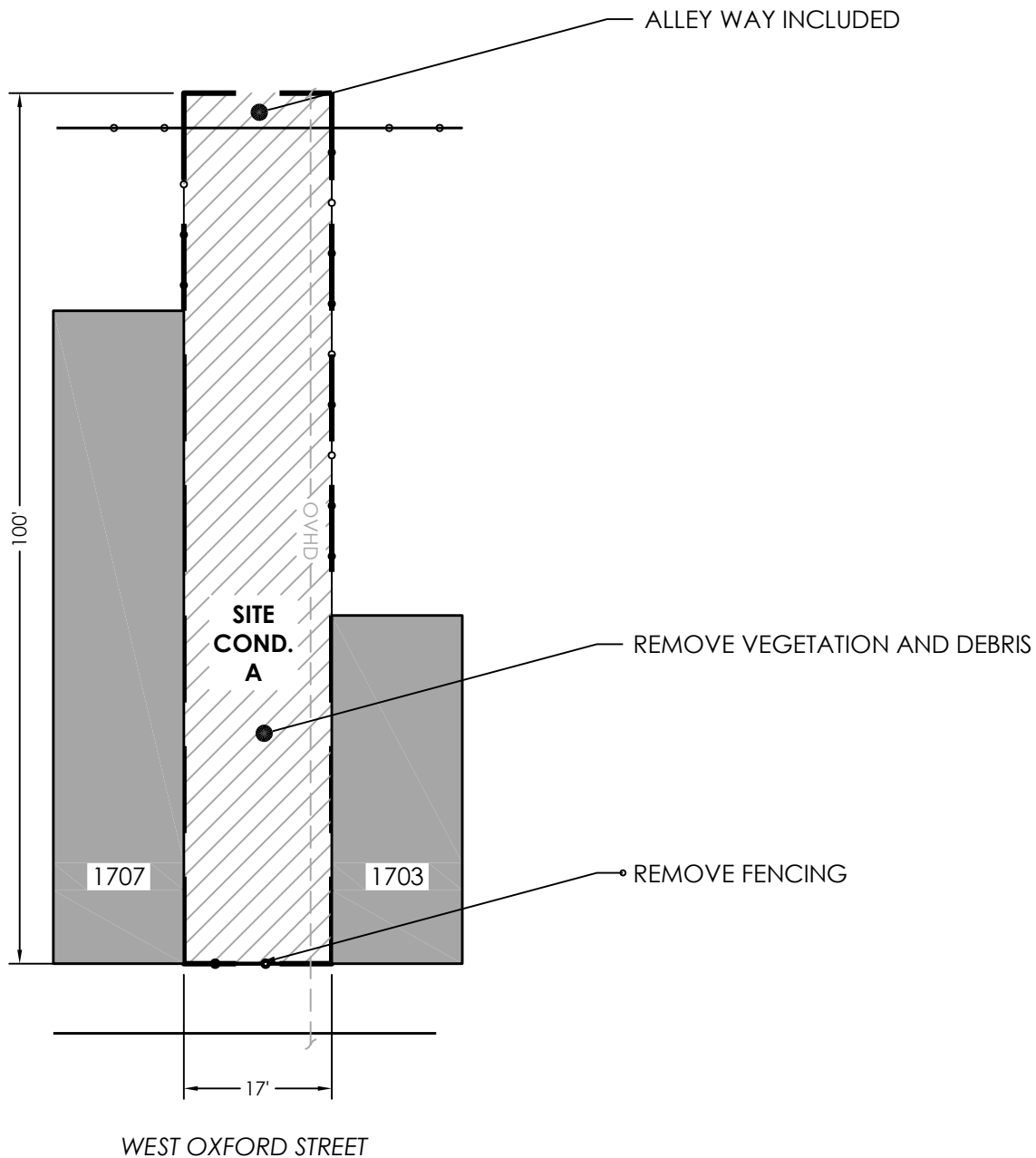
WILLINGTON STREET

Initial Date
8/15/2024
Scale
1" = 20'
Group D

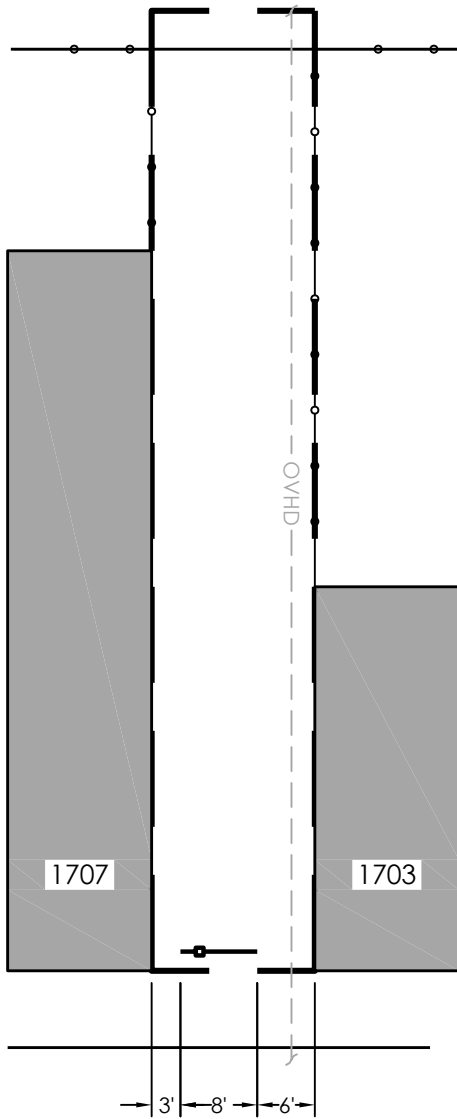


FENCE & TREE LAYOUT
1704 WILLINGTON STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1705 WEST OXFORD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11460NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



WEST OXFORD STREET

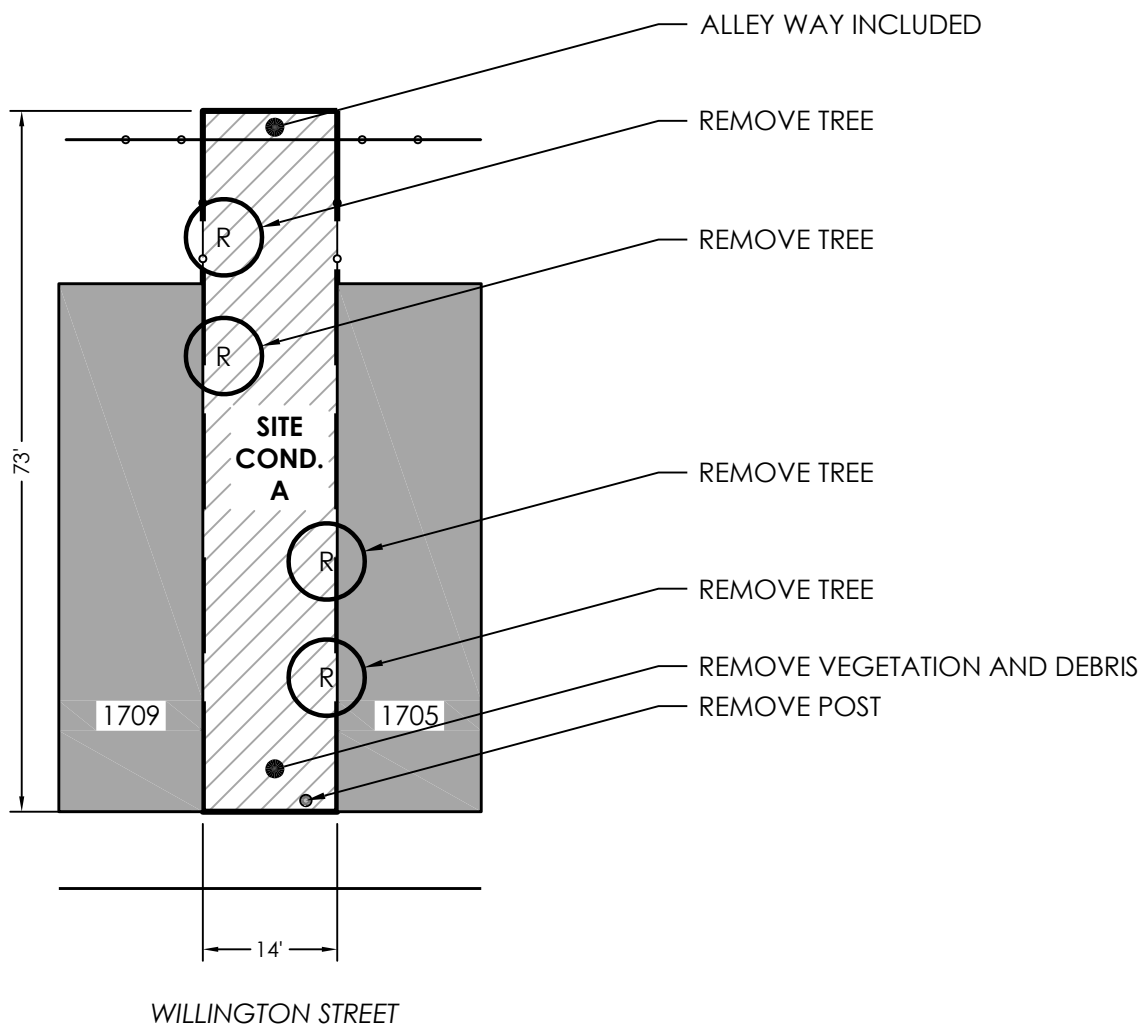
Initial Date
8/15/2024
Scale
1" = 20'
Group D
VL11460NC_CLP



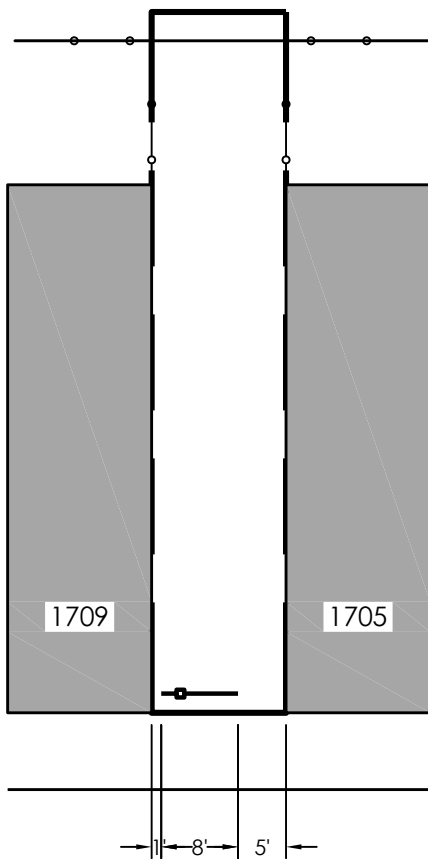
FENCE & TREE LAYOUT

1705 WEST OXFORD STREET





Initial Date 8/15/2024		EXISTING CONDITIONS 1707 WILLINGTON STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11461NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



WILLINGTON STREET

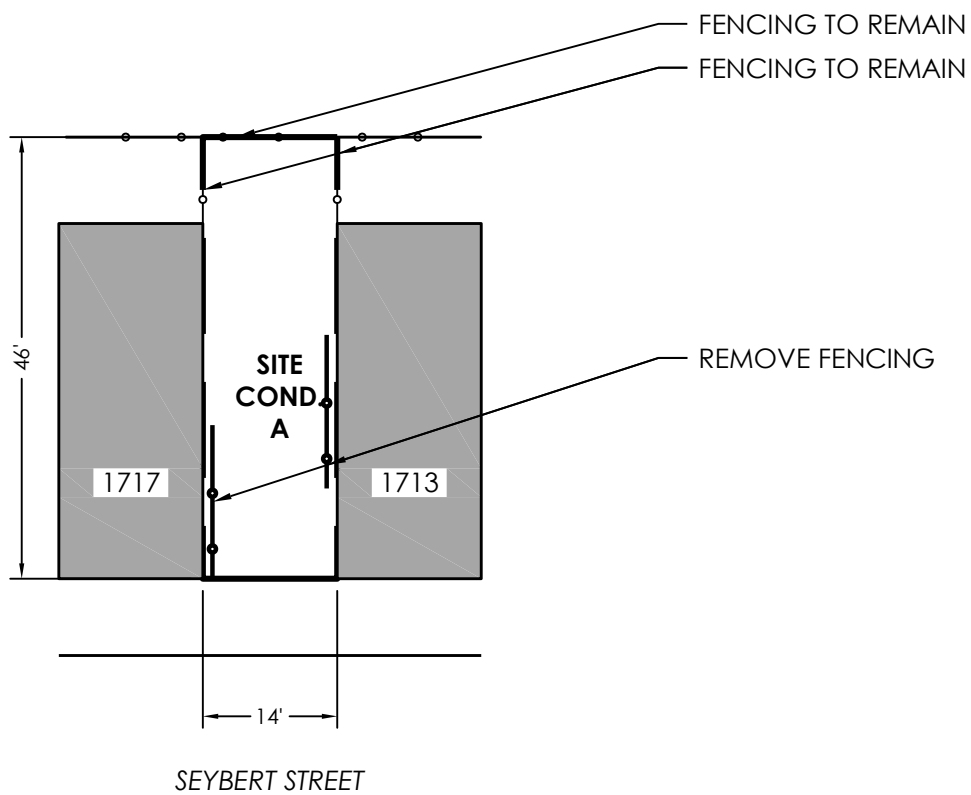
Initial Date	8/15/2024
Scale	1" = 20'
Group D	
VL11461NC_CLP	



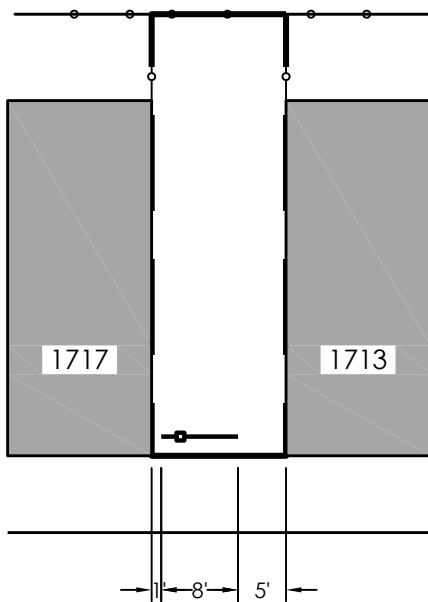
FENCE & TREE LAYOUT

1707 WILLINGTON STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1715 SEYBERT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11463NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



SEYBERT STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11463NC_CLP



FENCE & TREE LAYOUT

1715 SEYBERT STREET

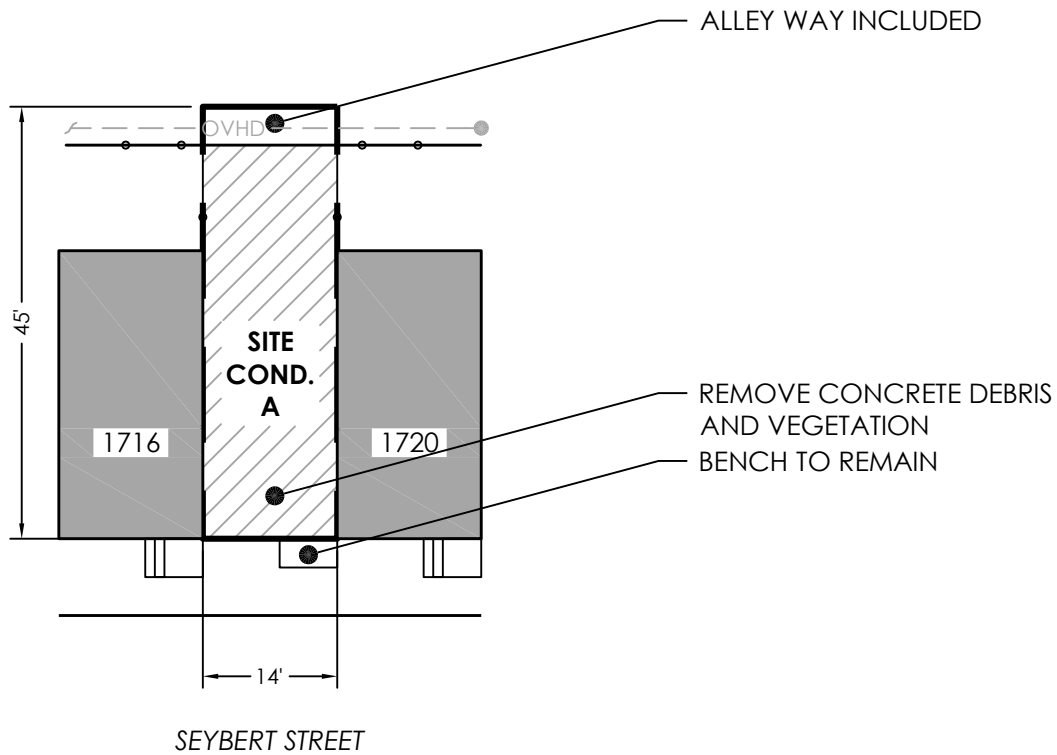
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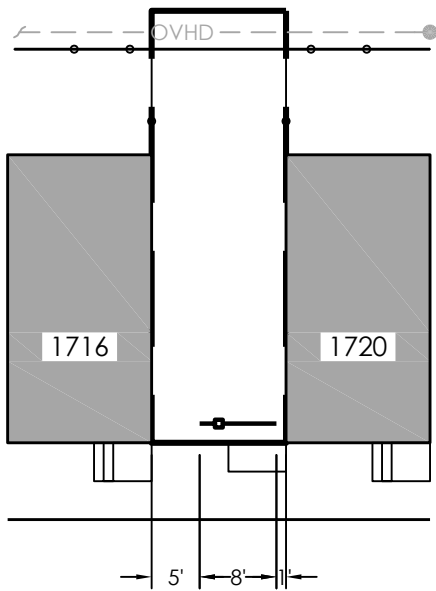
Project Manager:



PHS



Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1718 SEYBERT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11464NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



SEYBERT STREET

Initial Date
8/15/2024

Scale
1" = 20'

Group D

VL11464NC_CLP



FENCE & TREE LAYOUT

1718 SEYBERT STREET

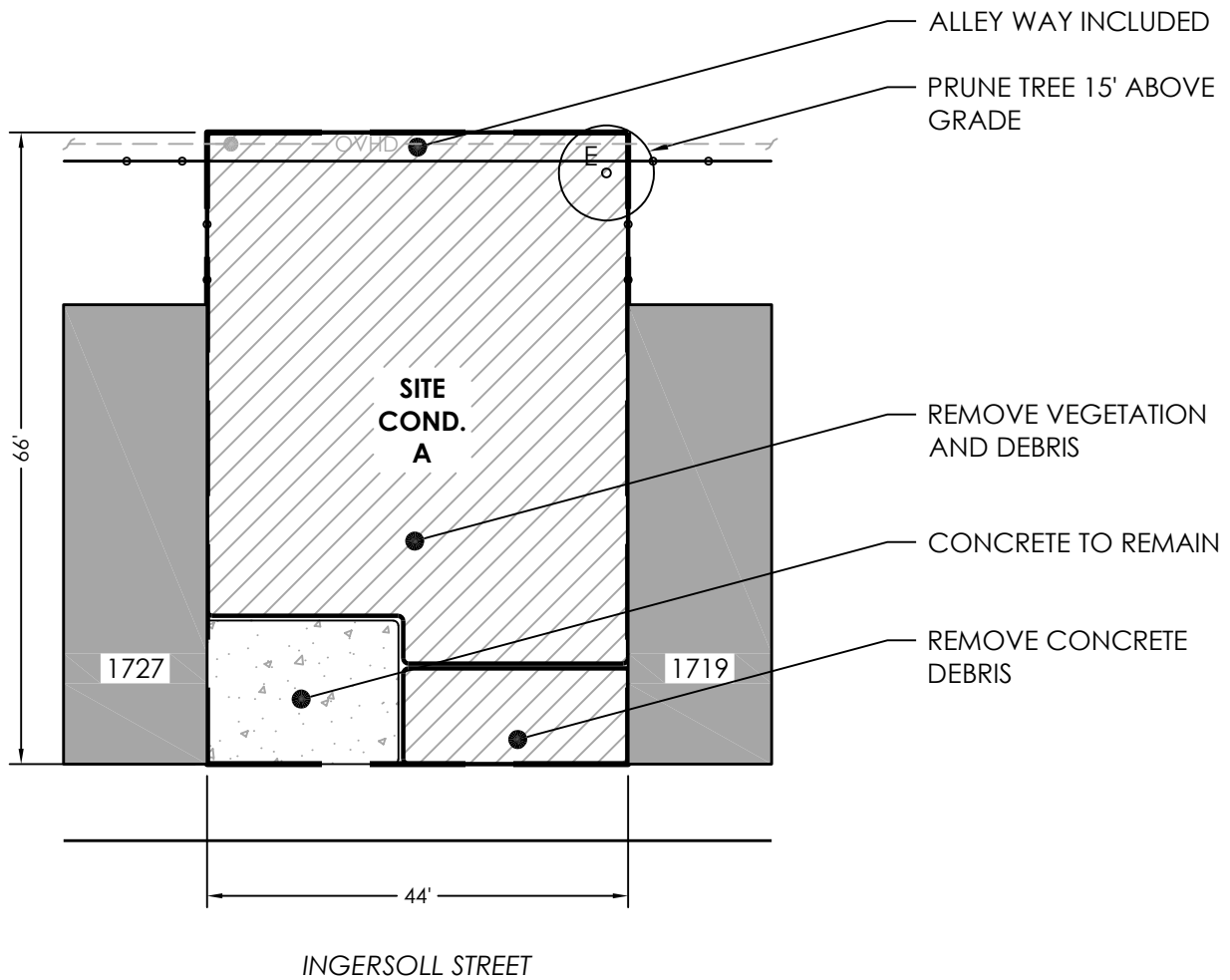
Project Of:



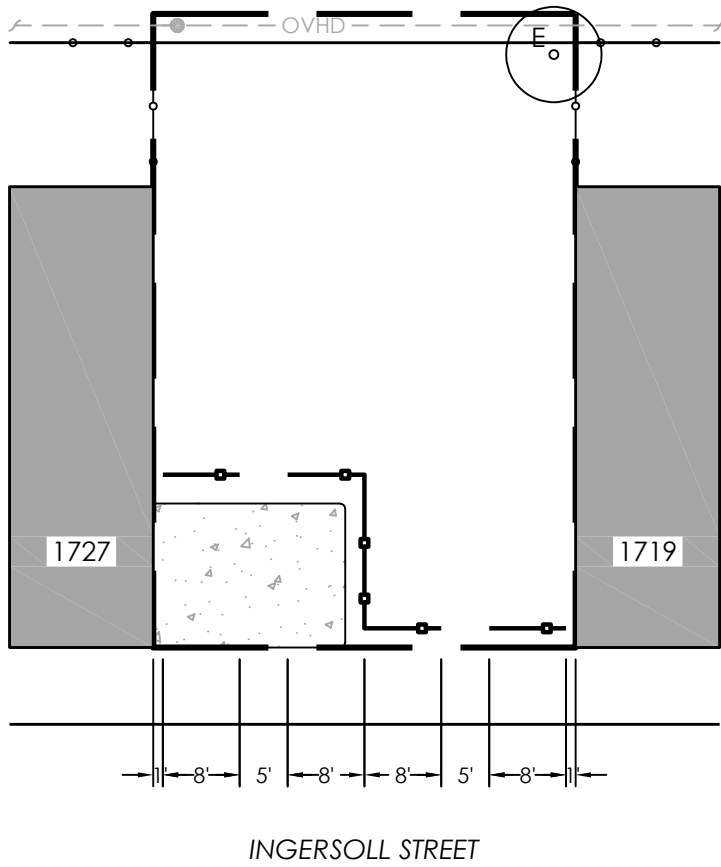
Project Manager:



PHS



Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>1721-1725 INGERSOLL STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11465NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

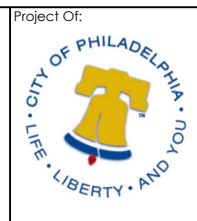
Group D

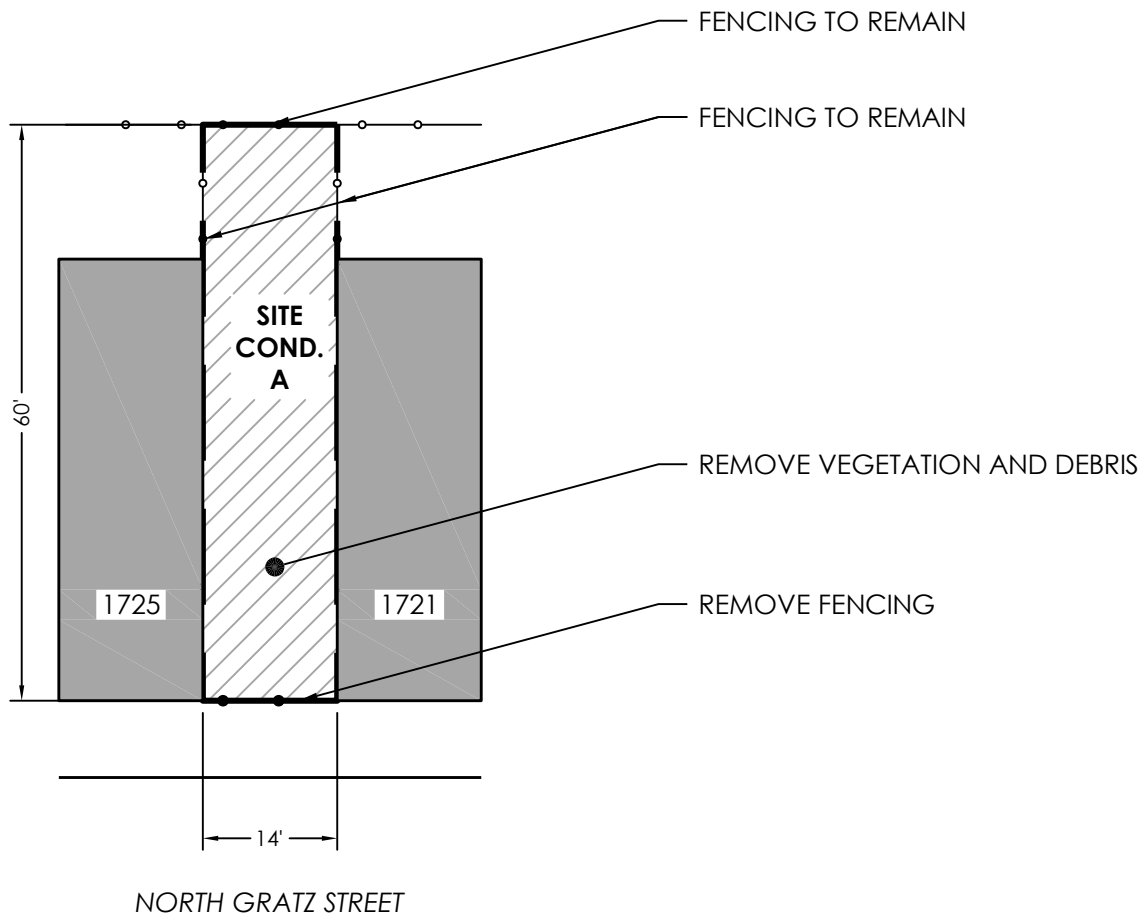
VL11465NC_CLP



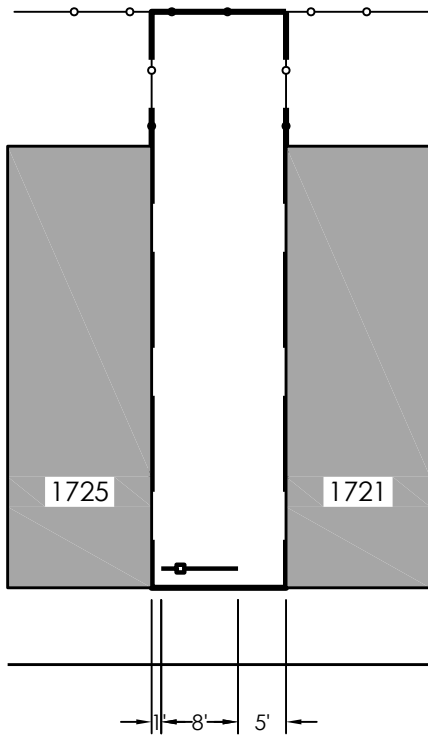
FENCE & TREE LAYOUT

1721-1725 INGERSOLL STREET





Initial Date 8/15/2024		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">1723 NORTH GRATZ STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11466NC_CLP		<p style="text-align: center; font-size: small;">THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



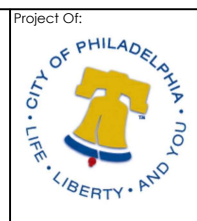
NORTH GRATZ STREET

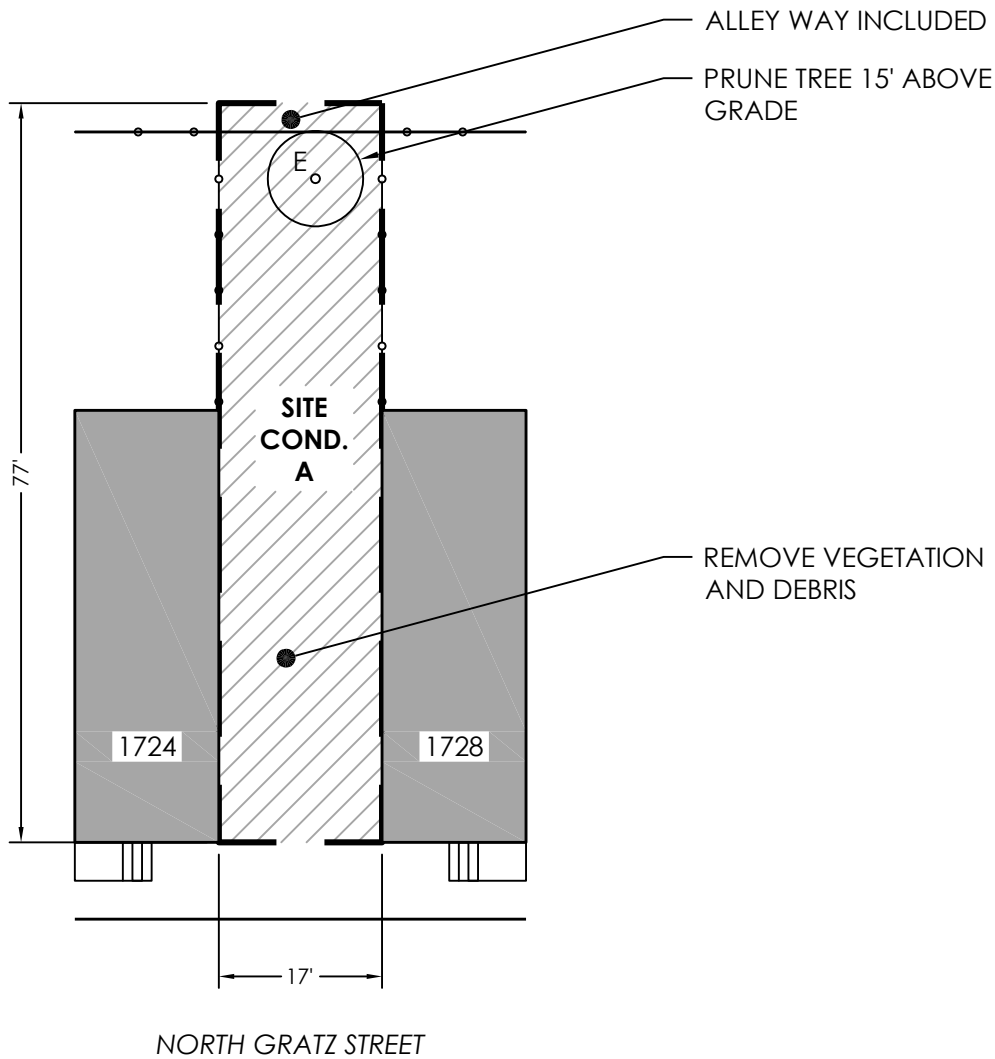
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11466NC_CLP



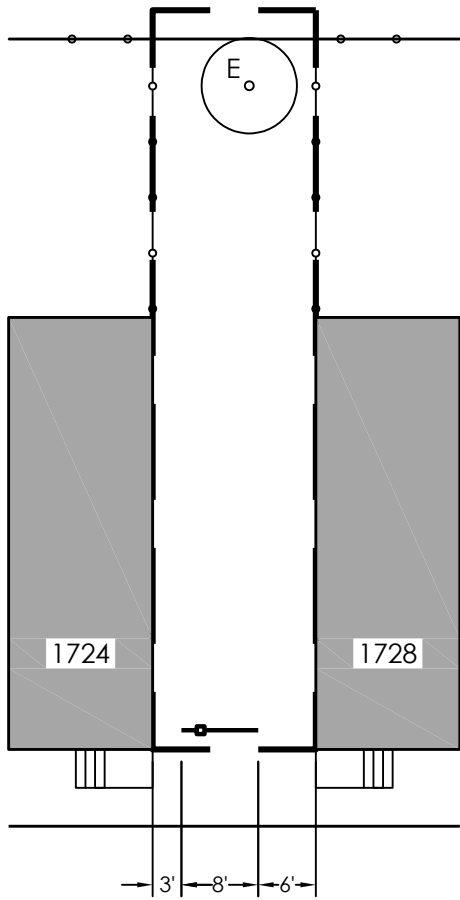
FENCE & TREE LAYOUT

1723 NORTH GRATZ STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1726 NORTH GRATZ STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11467NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH GRATZ STREET

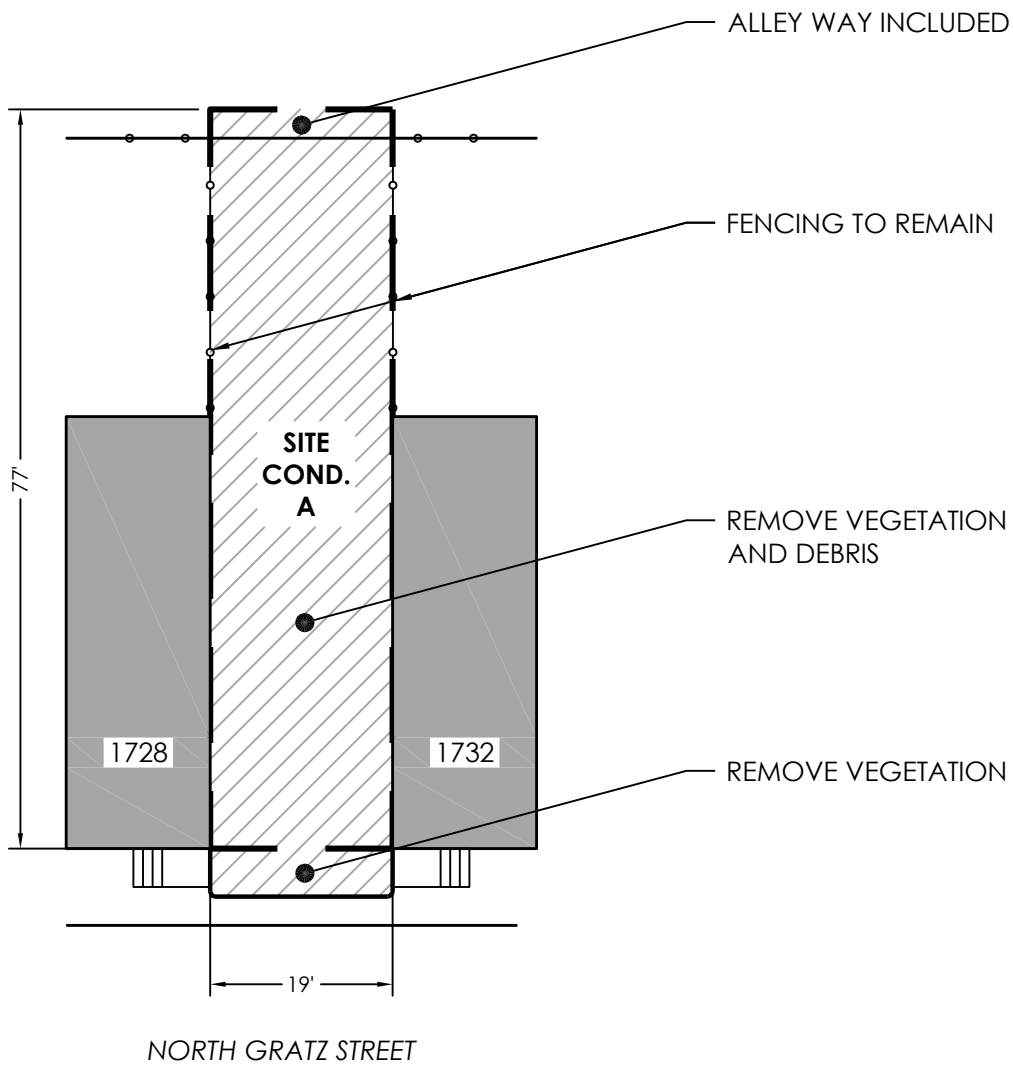
Initial Date	8/15/2024
Scale	1" = 20'
Group D	
VL11467NC_CLP	



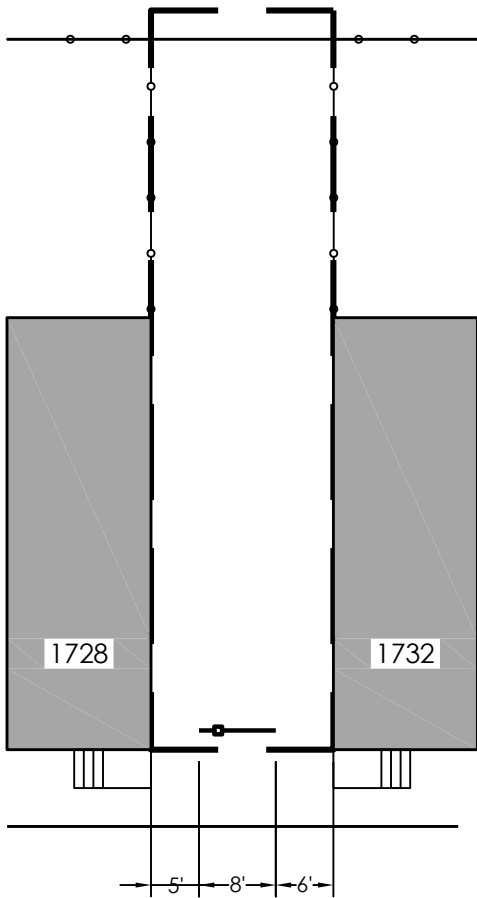
FENCE & TREE LAYOUT

1726 NORTH GRATZ STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> 1730 NORTH GRATZ STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11468NC_CLP		 		
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



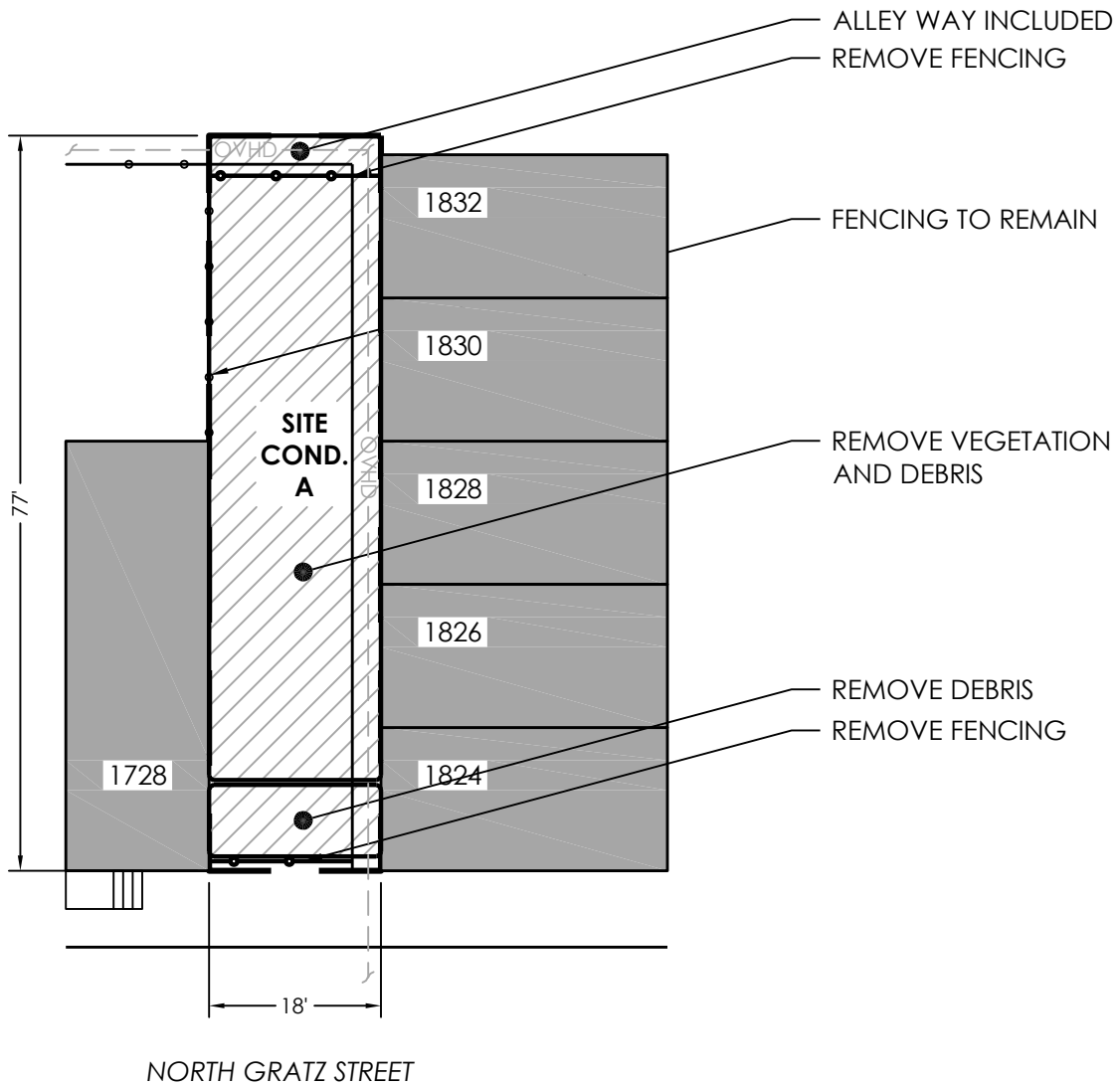
NORTH GRATZ STREET

Initial Date
8/15/2024
Scale
1" = 20'
Group D

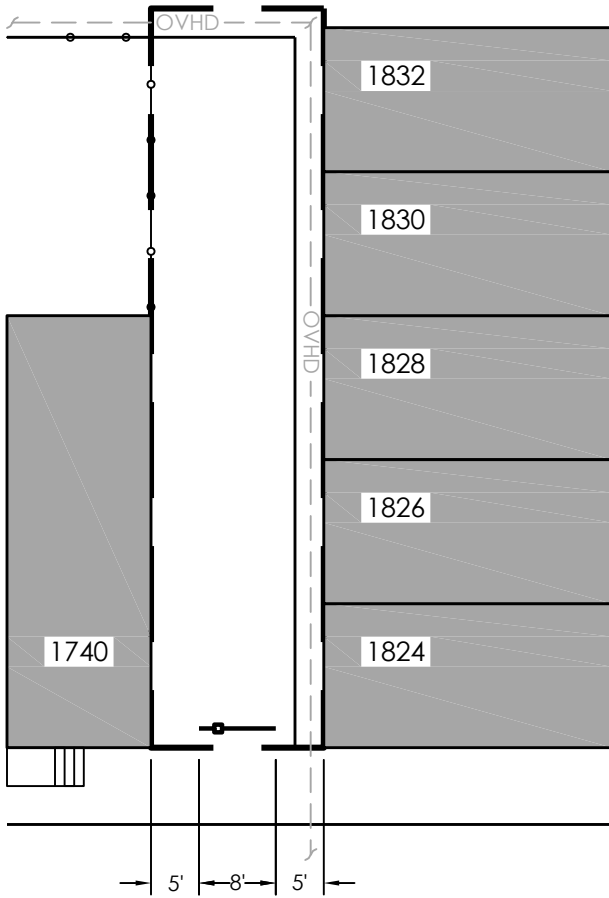


FENCE & TREE LAYOUT
1730 NORTH GRATZ STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1742 NORTH GRATZ STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11469NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH GRATZ STREET

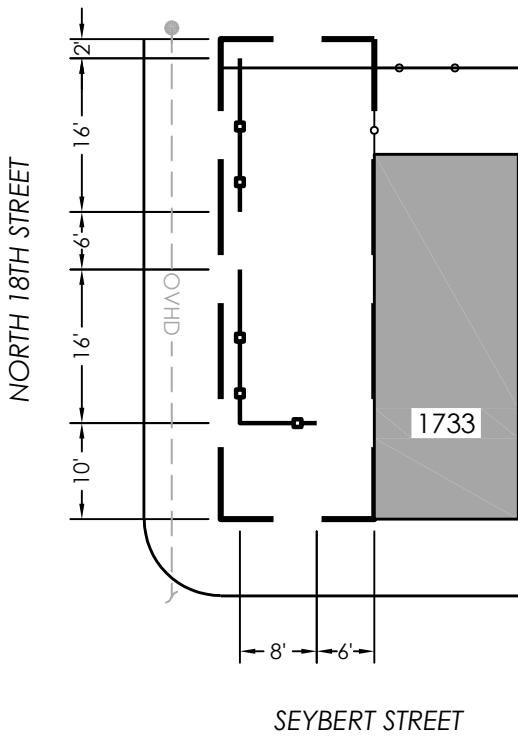
Initial Date	8/15/2024
Scale	1" = 20'
Group D	
VL11469NC_CLP	



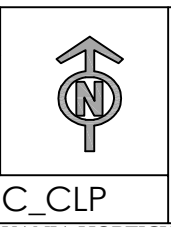
FENCE & TREE LAYOUT

1742 NORTH GRATZ STREET





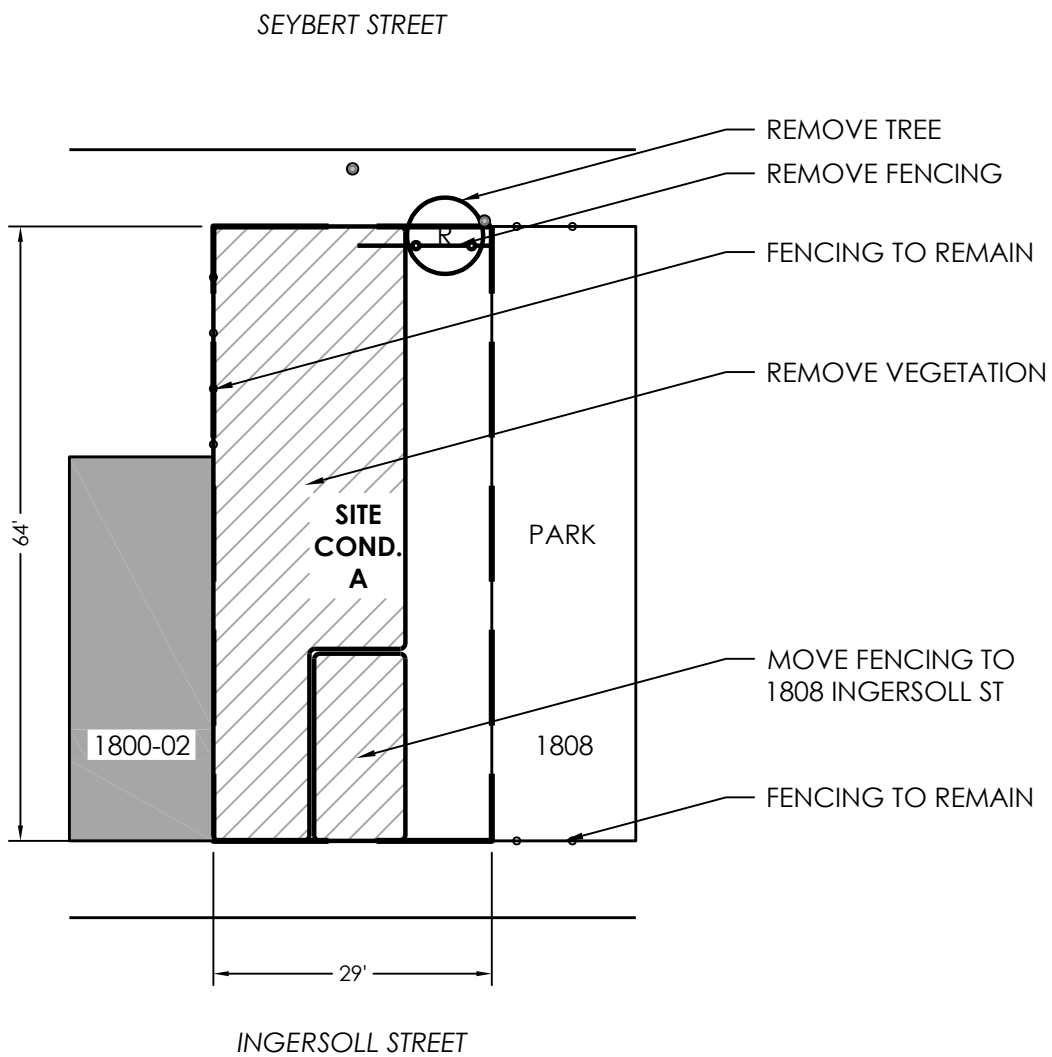
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11472NC_CLP



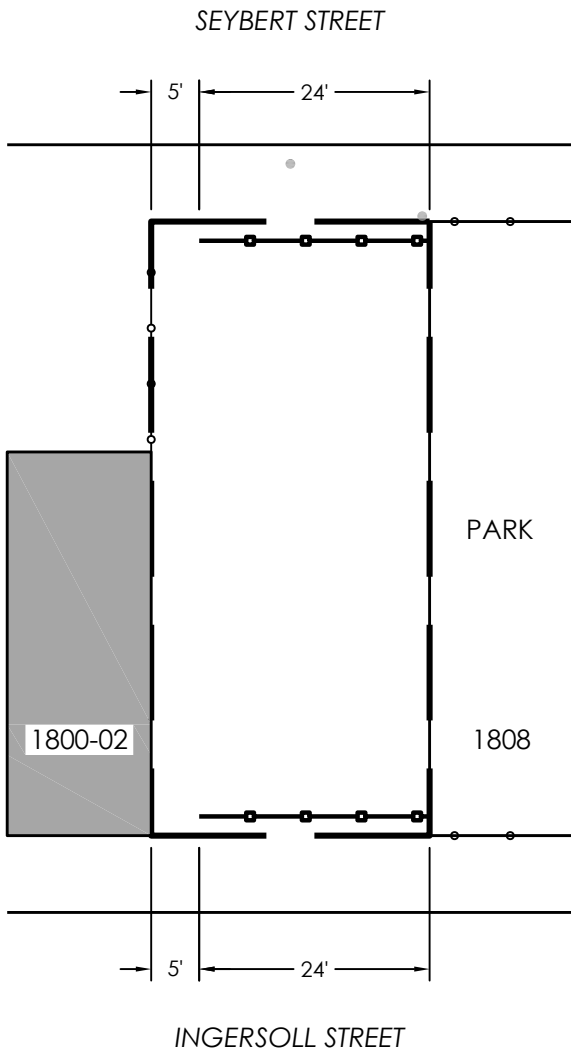
FENCE & TREE LAYOUT

1755 SEYBERT STREET





Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>1804-1806 INGERSOLL STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11474NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

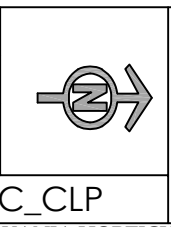


Initial Date
8/15/2024

Scale
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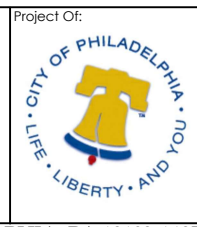
Group D

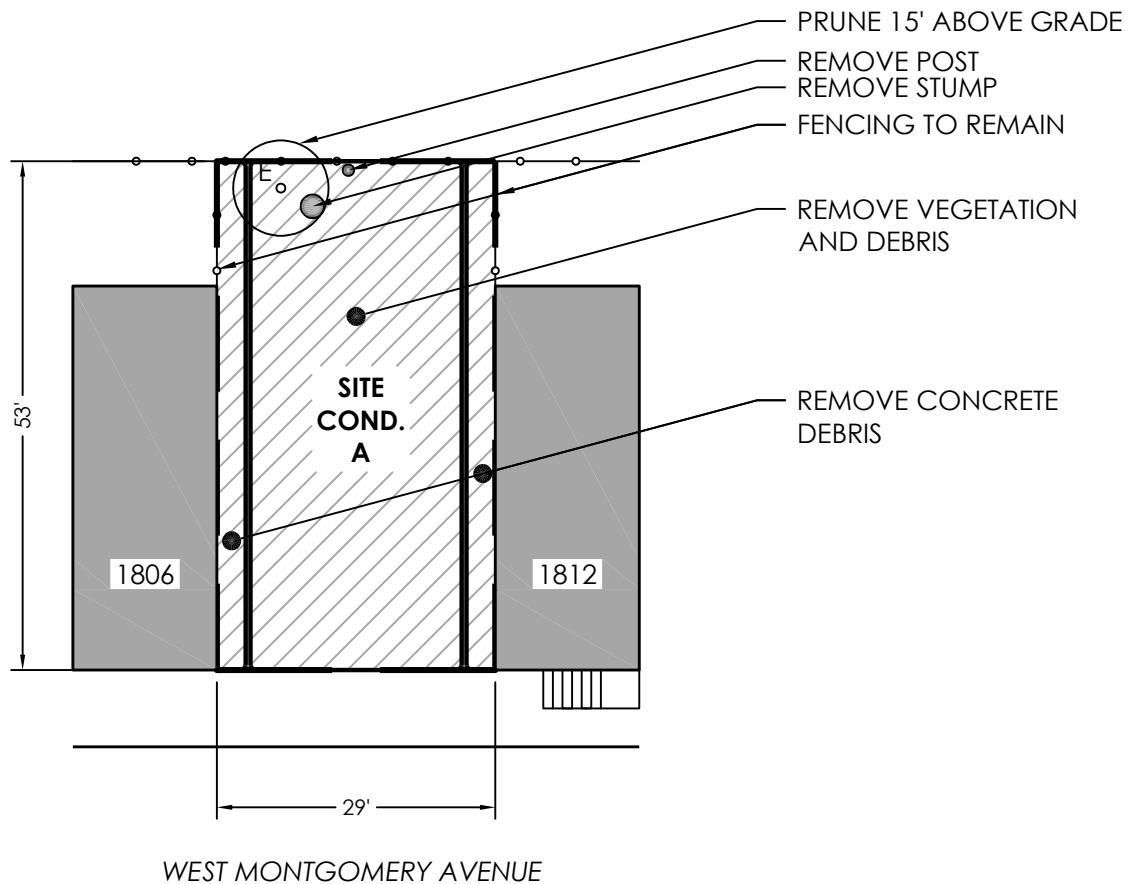
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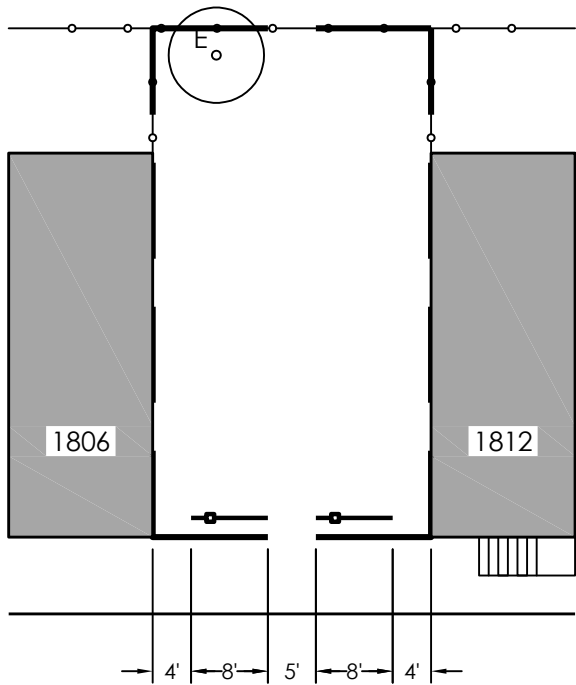
FENCE & TREE LAYOUT

1804-1806 INGERSOLL STREET





Initial Date 8/15/2024		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">1808-1810 WEST MONTGOMERY AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11475NC_CLP		<p style="text-align: center; font-size: small;">THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST MONTGOMERY AVENUE

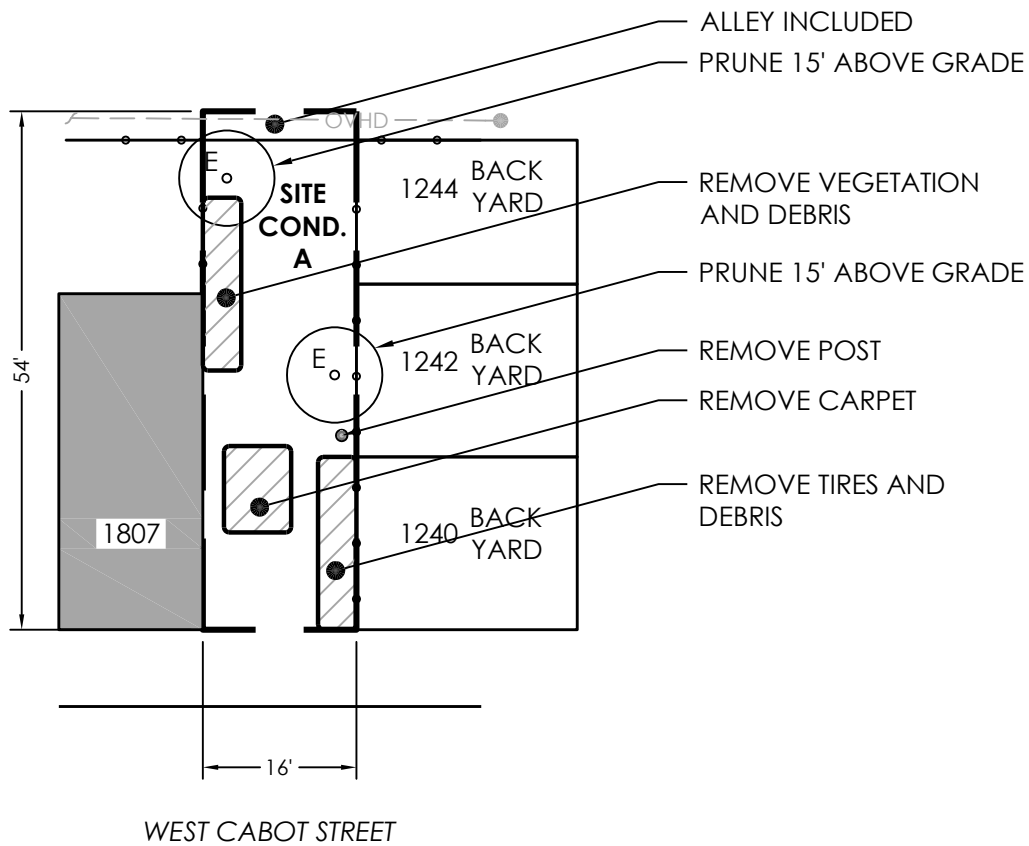
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11475NC_CLP



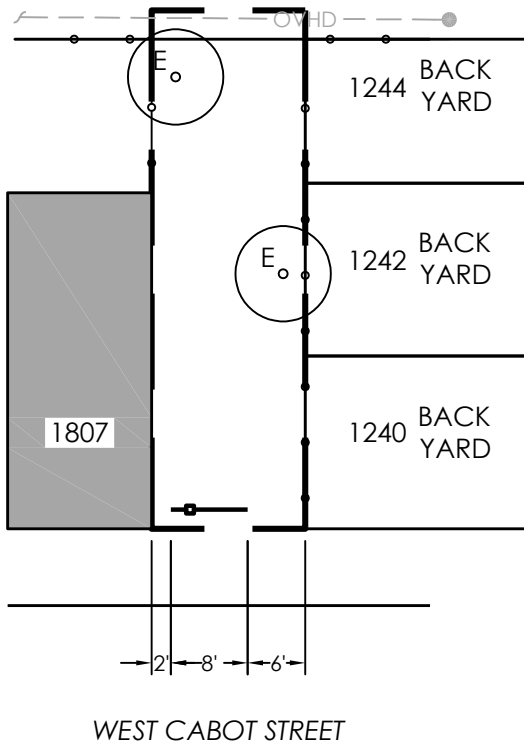
FENCE & TREE LAYOUT

1808-1810 WEST MONTGOMERY AVENUE





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1809 WEST CABOT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11476NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



WEST CABOT STREET

Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11476NC_CLP



FENCE & TREE LAYOUT

1809 WEST CABOT STREET

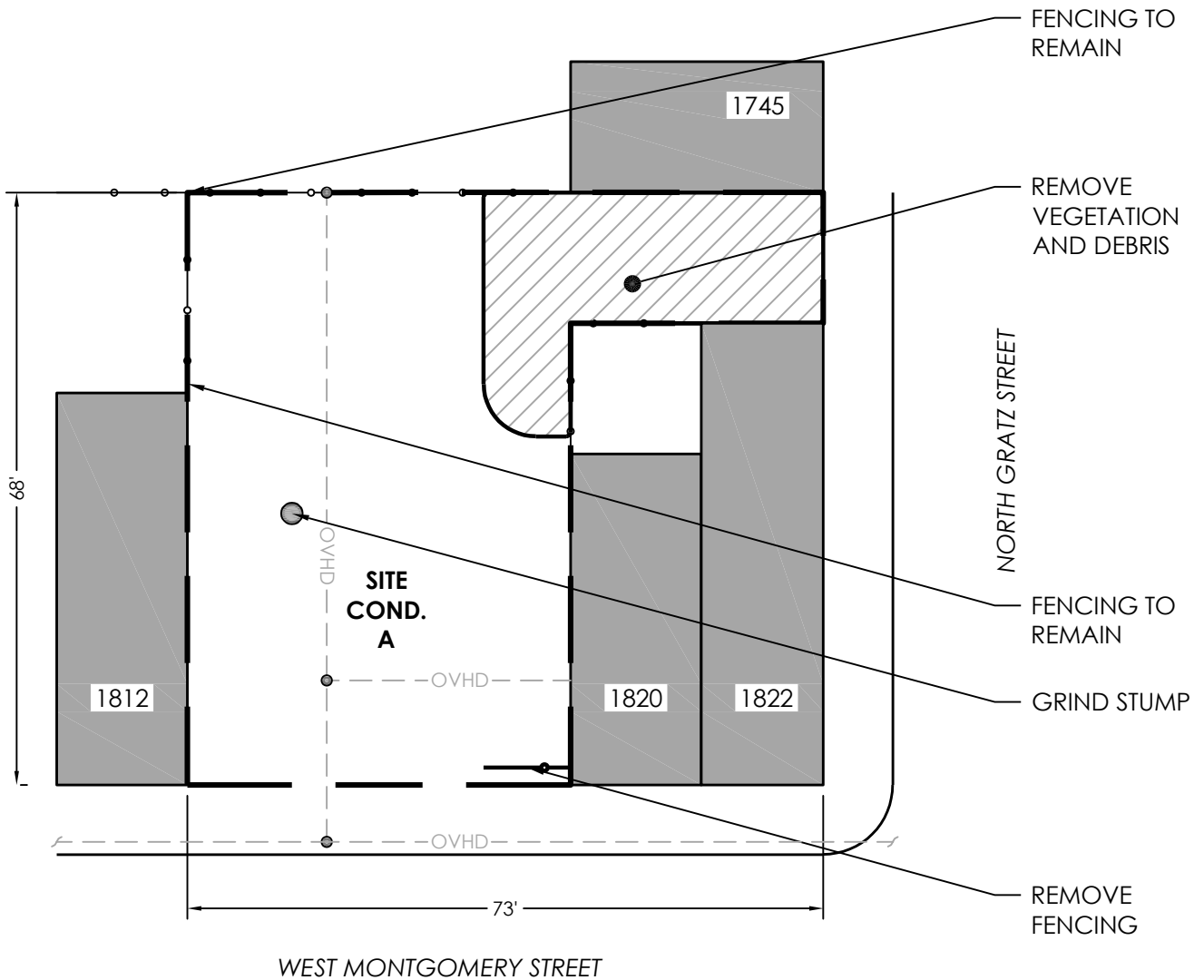
Project Of:



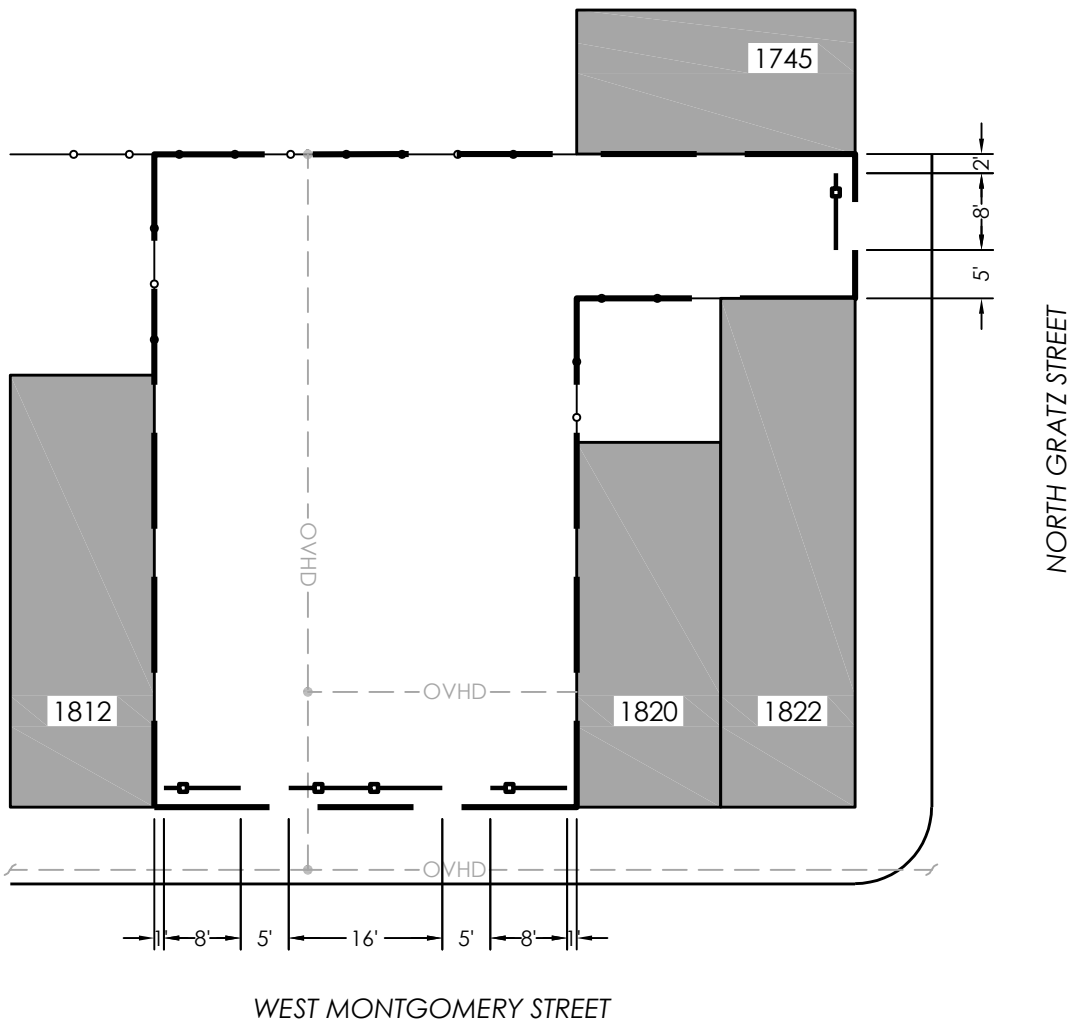
Project Manager:



PHS



Initial Date 8/15/2024		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">1814-1818 WEST MONTGOMERY AVENUE ; 1747 NORTH GRATZ STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11477NC_CLP		<small>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</small>		

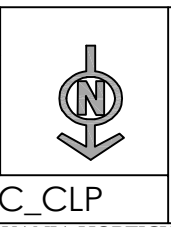


Initial Date
8/15/2024

Scale
1" = 20'

Group D

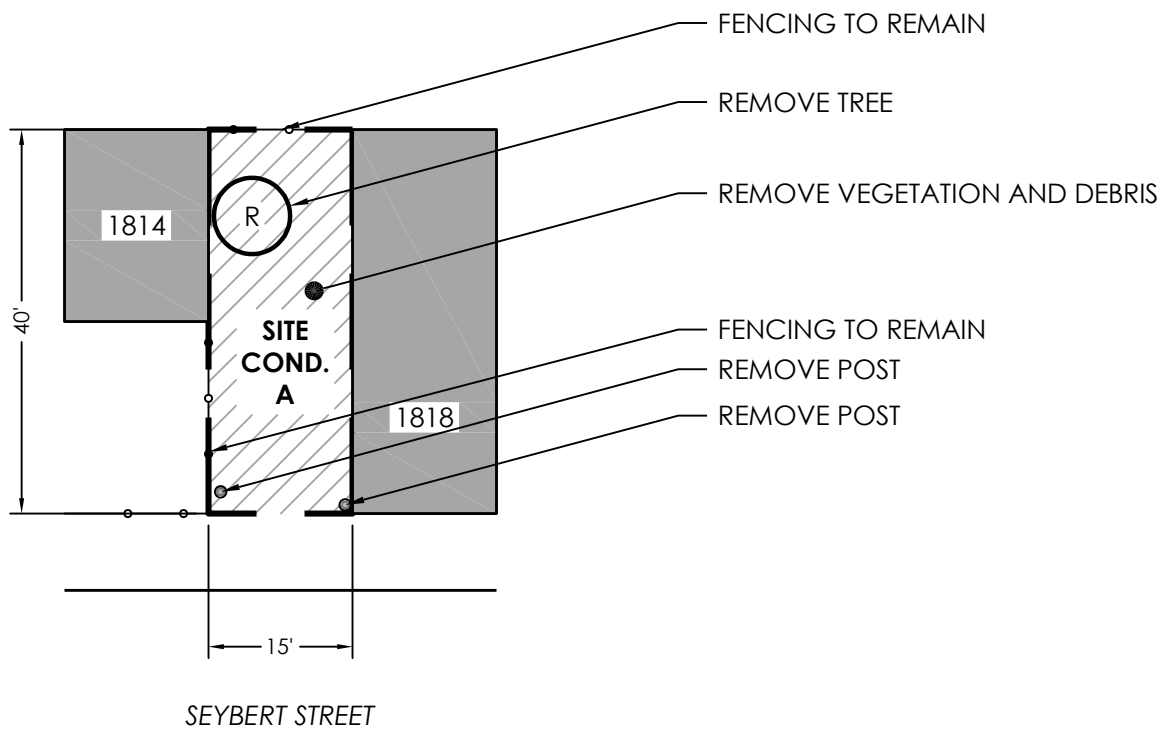
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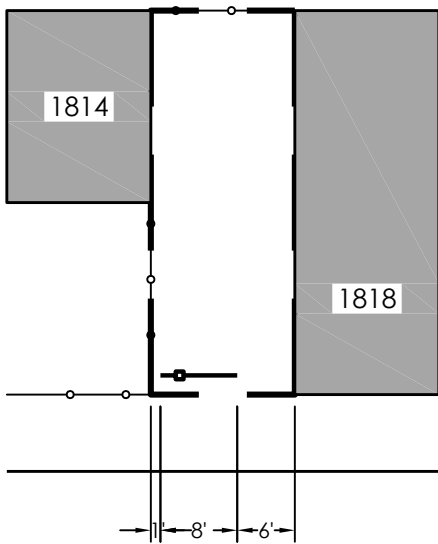
FENCE & TREE LAYOUT

1814-1818 WEST MONTGOMERY AVENUE ; 1747
 NORTH GRATZ STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1816 SEYBERT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11478NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



SEYBERT STREET

Initial Date
8/15/2024

Scale
1" = 20'

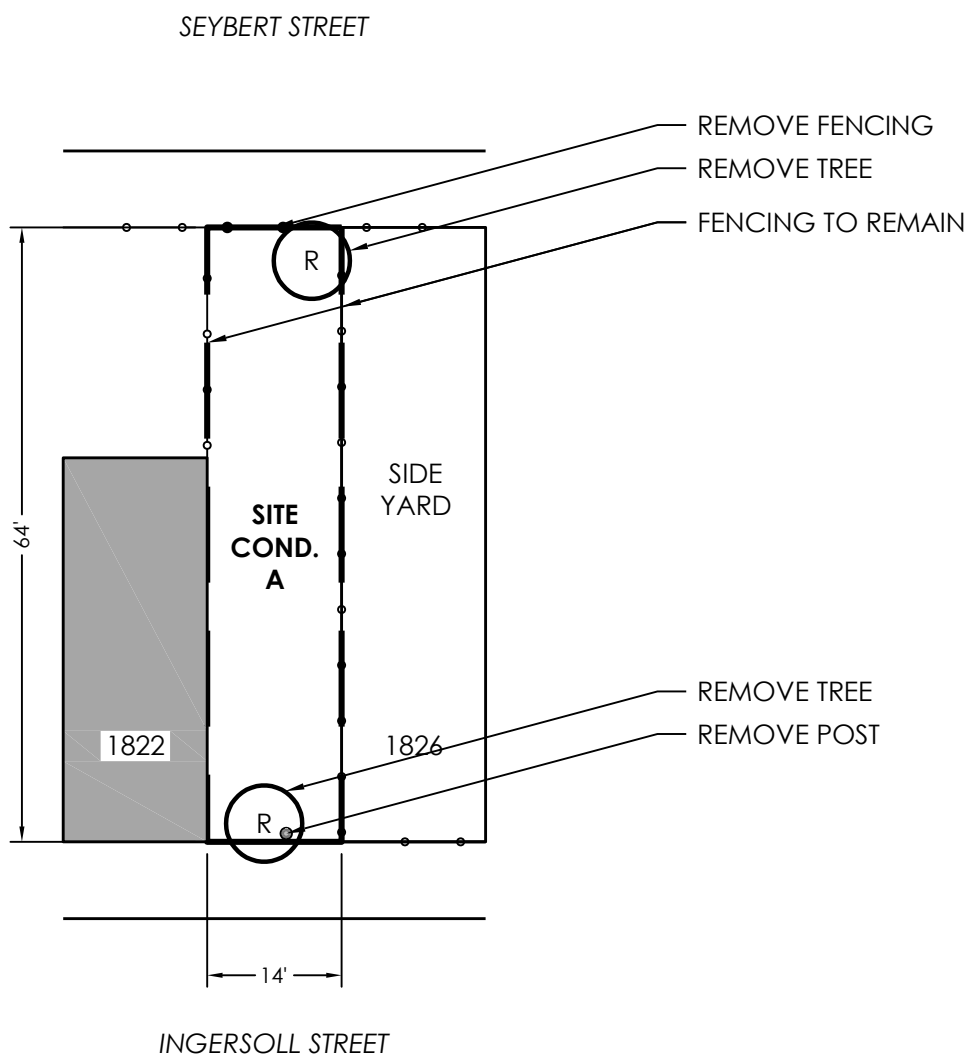
Group D



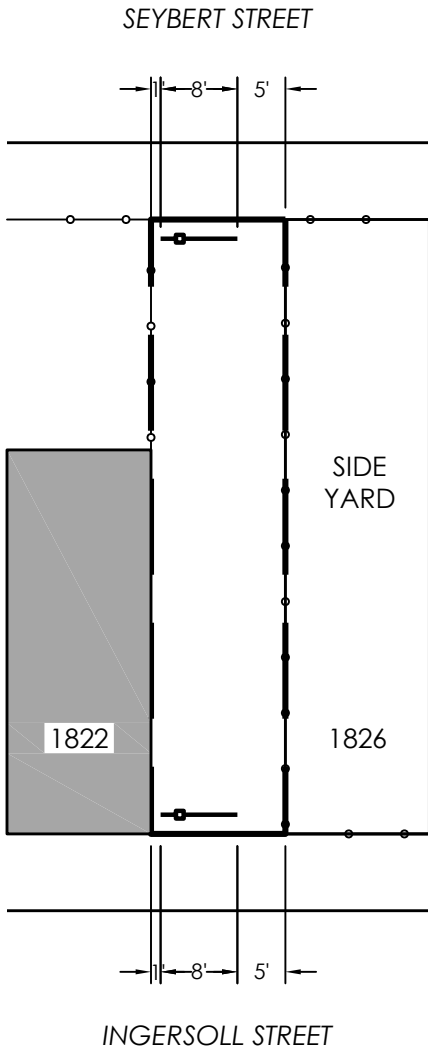
FENCE & TREE LAYOUT

1816 SEYBERT STREET





Initial Date 8/15/2024		<h2>EXISTING CONDITIONS</h2> <p>1824 INGERSOLL STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11480NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date
8/15/2024

Scale
1" = 20'

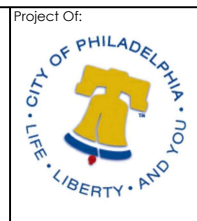
Group D

VL11480NC_CLP

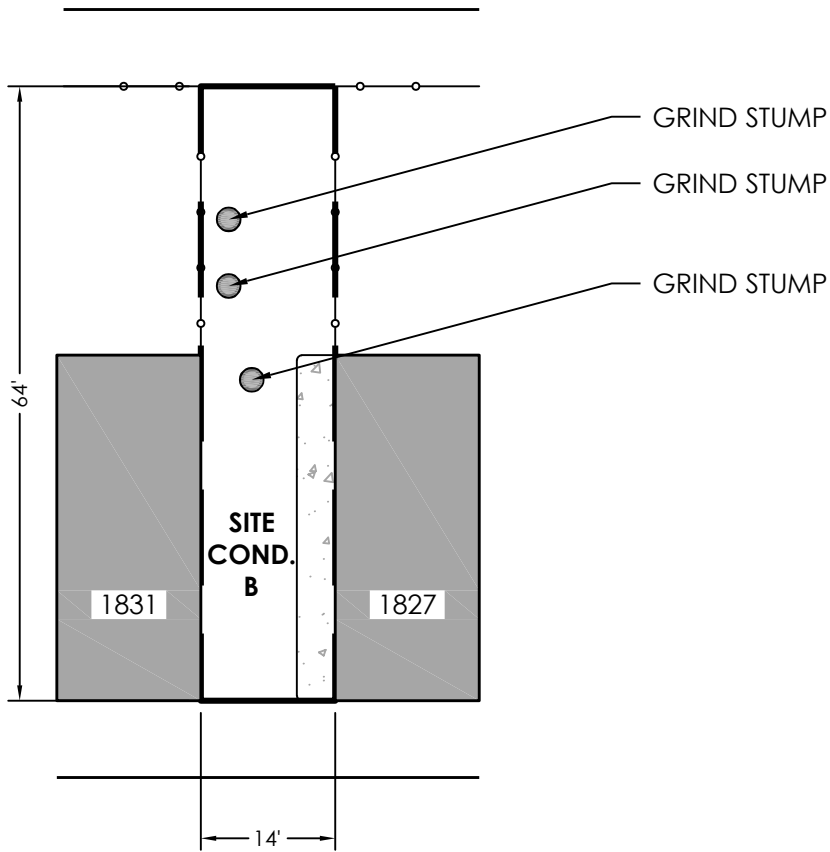


FENCE & TREE LAYOUT

1824 INGERSOLL STREET



KERSHAW STREET



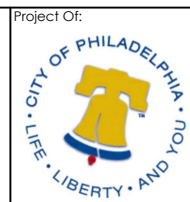
INGERSOLL STREET

Initial Date
8/15/2024
Scale
1" = 20'
Group D

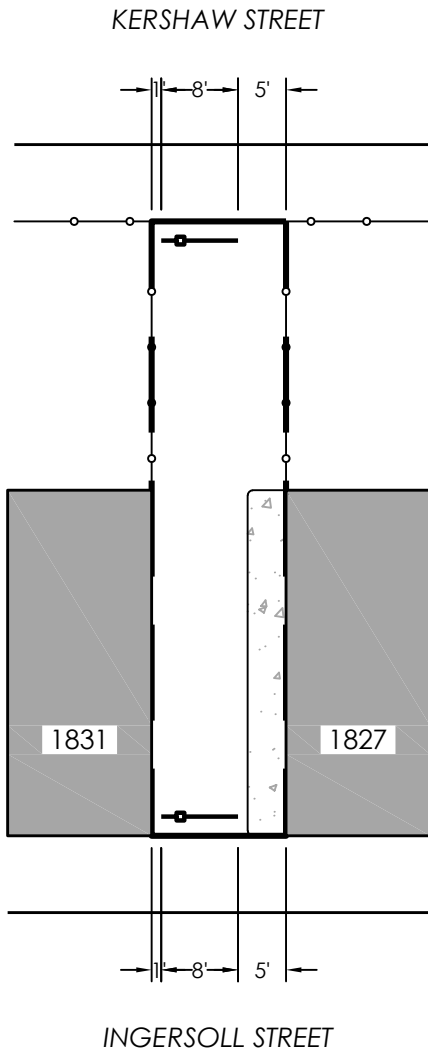


EXISTING CONDITIONS

1829 INGERSOLL STREET



VL11481NC_CLP



Initial Date
8/15/2024

Scale
1" = 20'

Group D

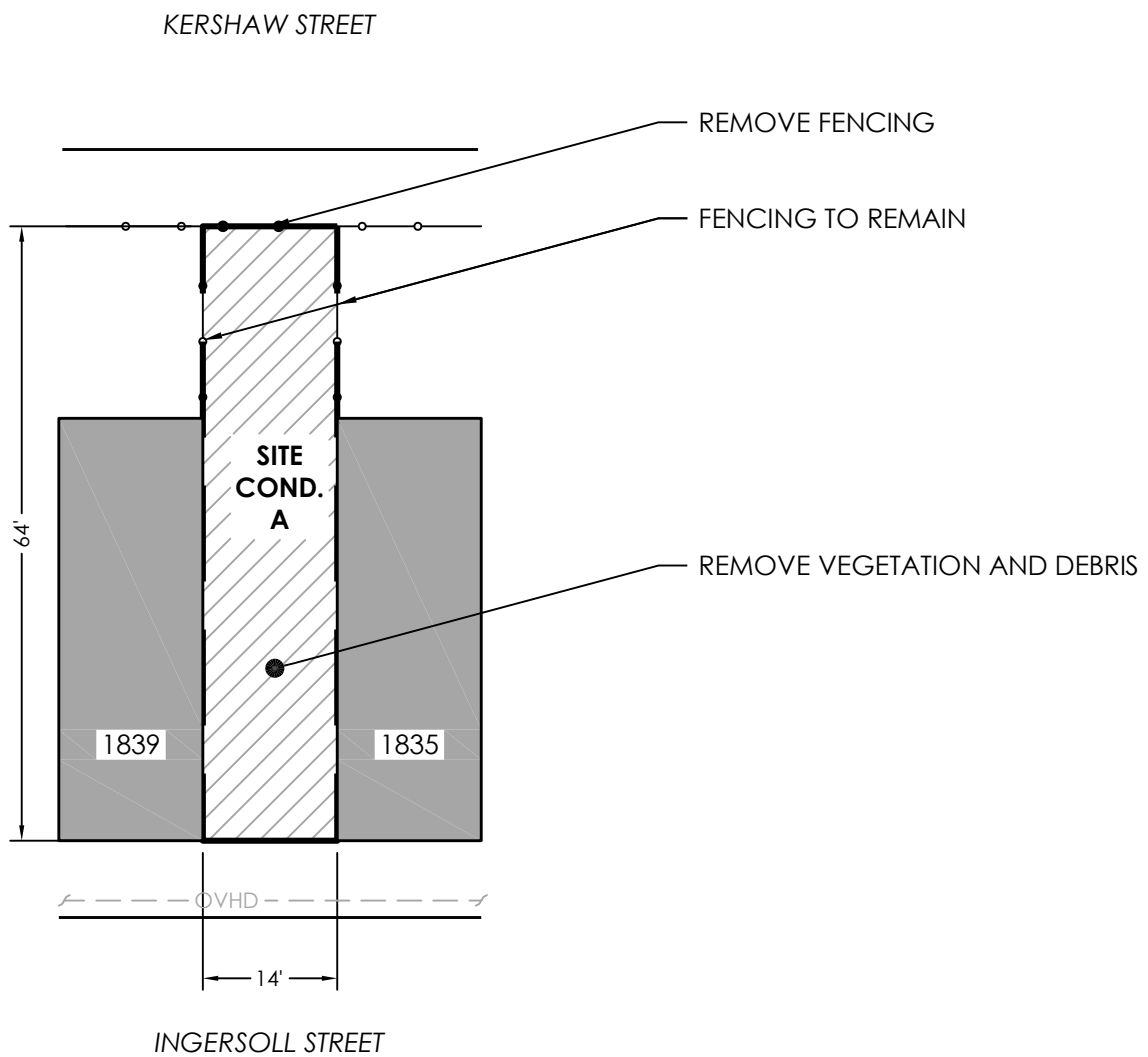
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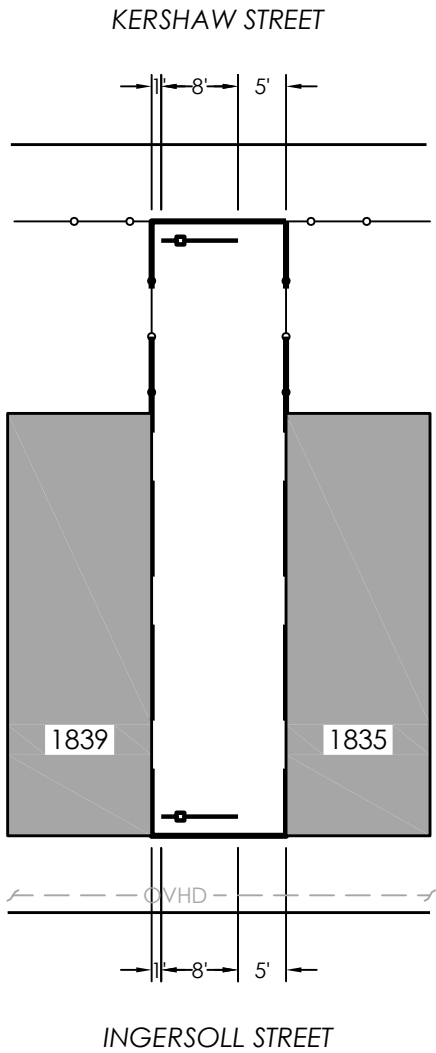
FENCE & TREE LAYOUT

1829 INGERSOLL STREET

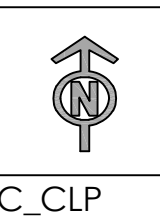




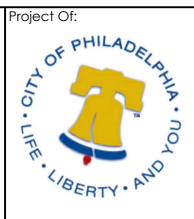
Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1837 INGERSOLL STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11482NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

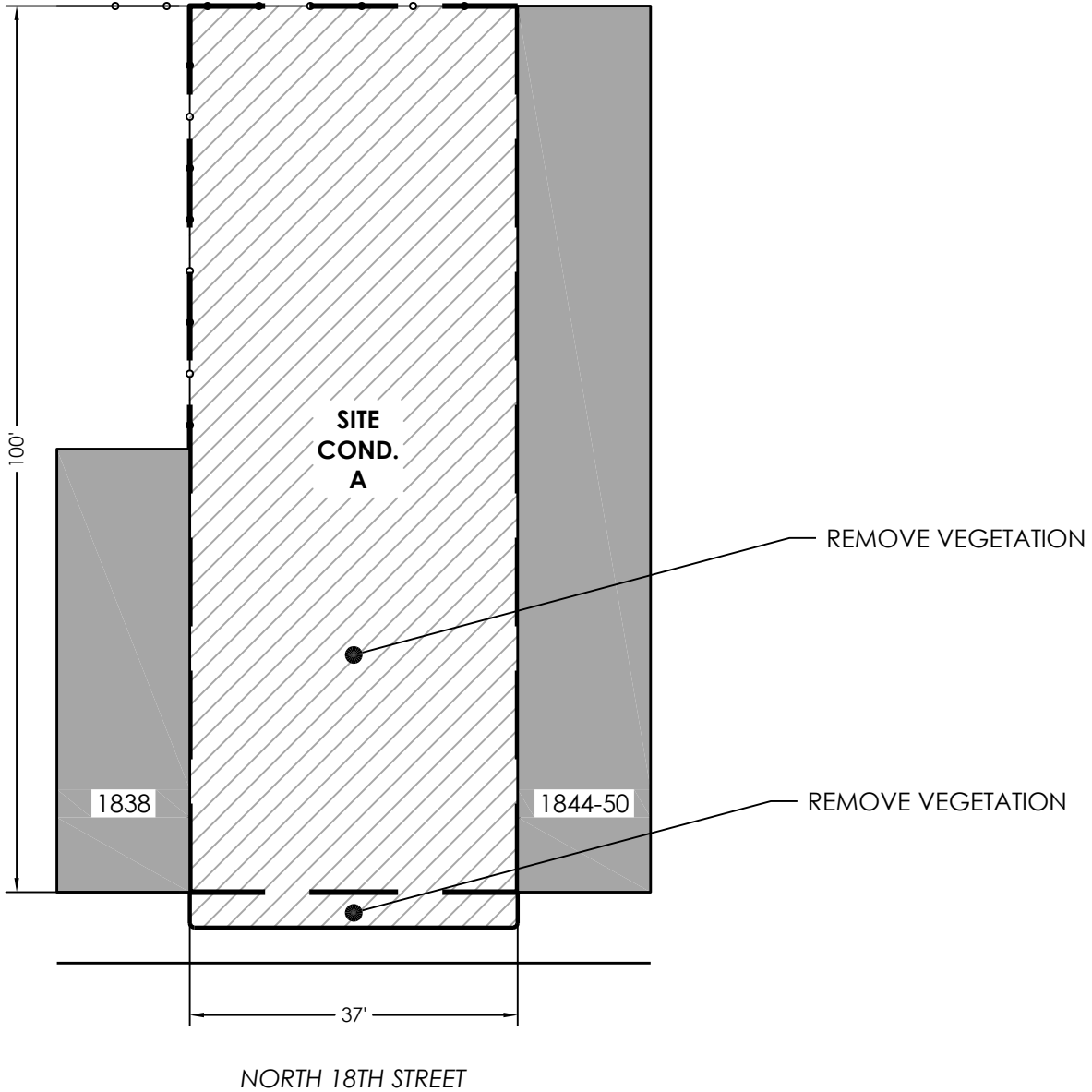


Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11482NC_CLP

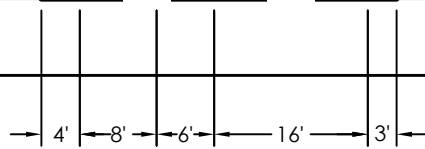
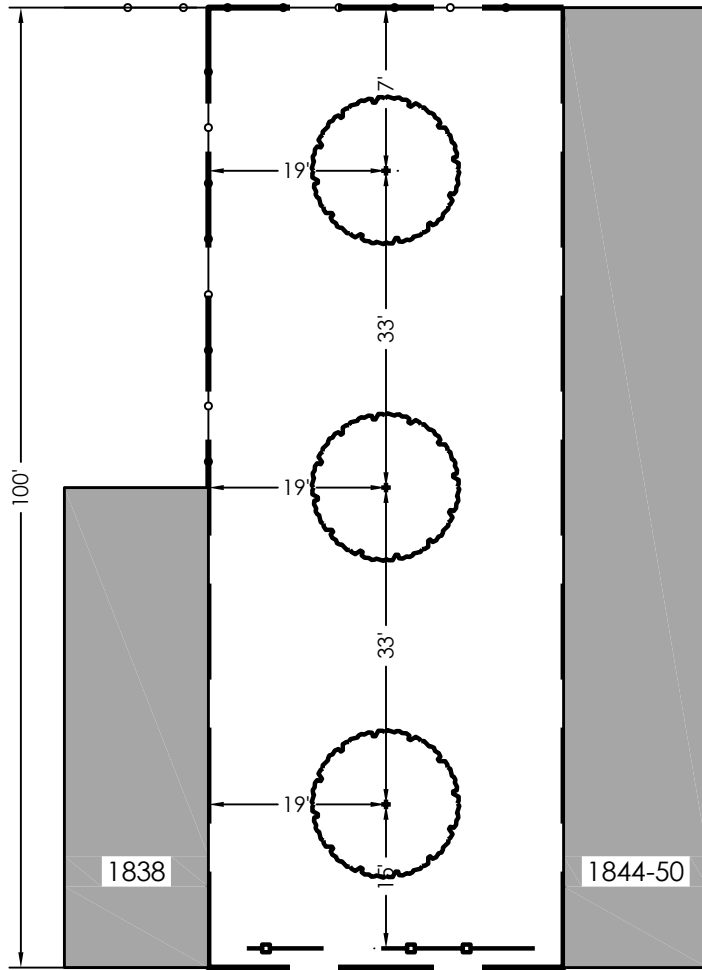


FENCE & TREE LAYOUT
 1837 INGERSOLL STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1840-1842 NORTH 18TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11483NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH 18TH STREET

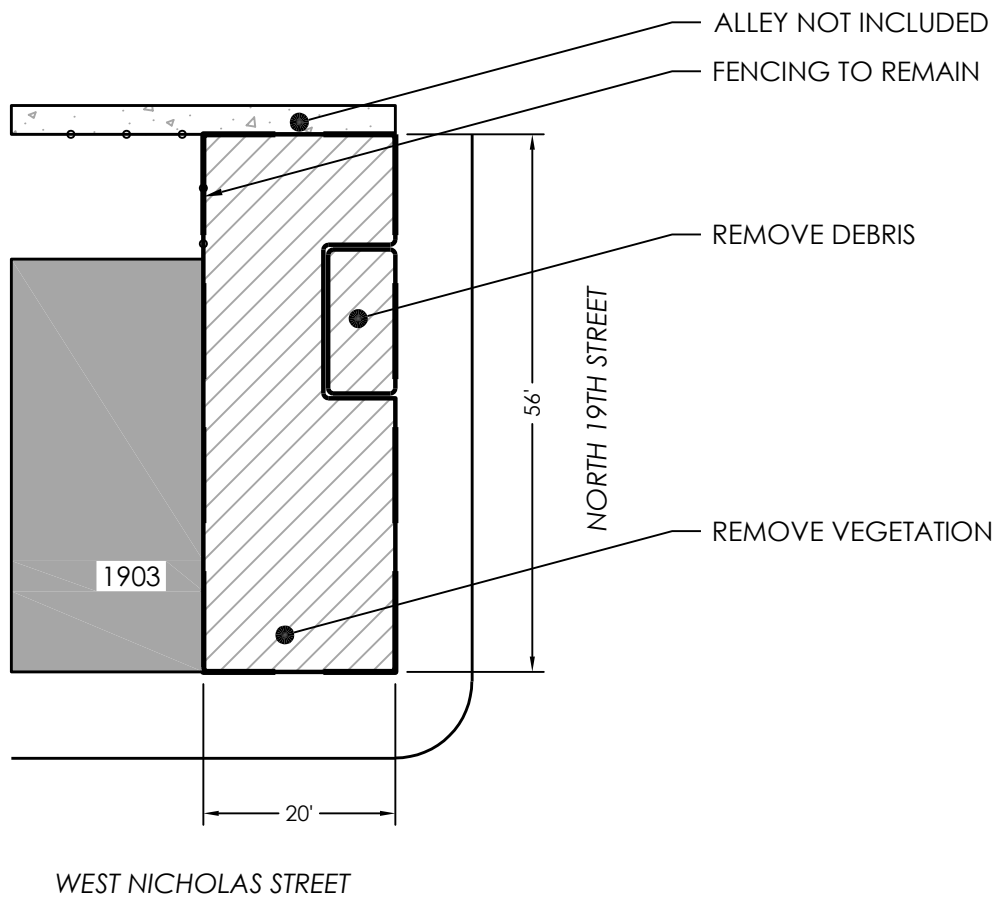
Initial Date	8/15/2024
Scale	1" = 20'
Group	Group D
Project ID	VL11483NC_CLP



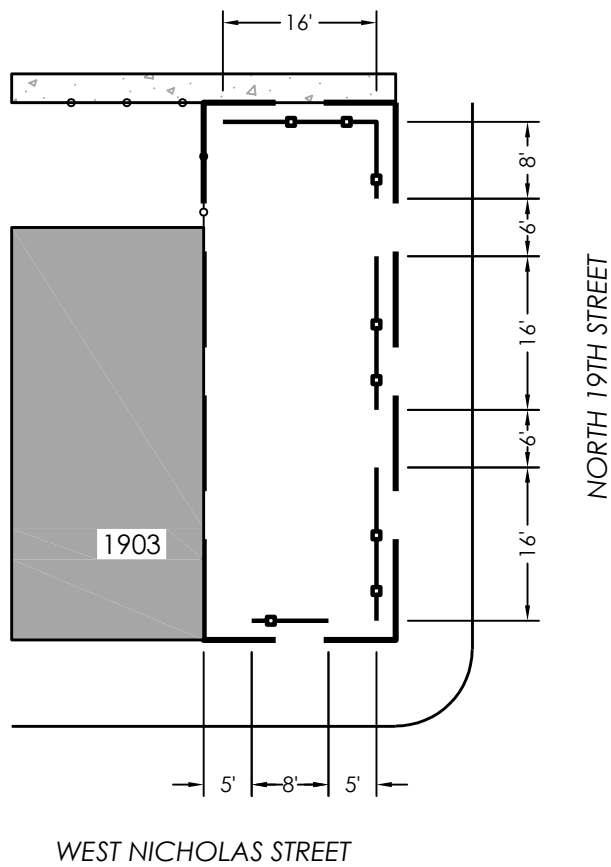
FENCE & TREE LAYOUT

1840-1842 NORTH 18TH STREET





Initial Date 8/15/2024		<h1>EXISTING CONDITIONS</h1> <p>1901 WEST NICHOLAS ST</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL11484NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2024

Scale
1" = 20'

Group D

VL11484NC_CLP



FENCE & TREE LAYOUT

1901 WEST NICHOLAS ST





THE PENNSYLVANIA HORTICULTURAL SOCIETY

PHILADELPHIA LANDCARE STABILIZATION
Fall 2024

Group E
West Kensington

N Orianna St, W Allegheny Ave, A St, Gurney St, Emerald St, E Arizona, Amber St, W Norris St



Project funded by the City of Philadelphia
Division of Housing and Community Development



Group E Site List
Fall 2024
West Kensington
Page 1 of 3

<u>VL#</u>	<u>Address Range</u>
VL11488EN_CLP	1821 E HAROLD ST
VL11490EN_CLP	1830-1832 E LEHIGH AVE
VL11491EN_CLP	1833 E SERGEANT ST
VL11495EN_CLP	1901 E CUMBERLAND ST
VL11496EN_CLP	1908-1910 E YORK ST
VL11498EN_CLP	191 W HUNTINGDON ST
VL11499EN_CLP	1916-1924 E YORK ST
VL11500EN_CLP	1920 E OAKDALE ST
VL11503EN_CLP	1930-1934 E CUMBERLAND ST
VL11506EN_CLP	2022 E FLETCHER ST
VL11519EN_CLP	2321 JASPER ST
VL11520EN_CLP	2333-2335 N 2ND ST
VL11523EN_CLP	2404-2406 N 2ND ST; 2413-2427 N PHILIP ST
VL11524EN_CLP	2404-2406 N 3RD ST
VL11525EN_CLP	2410 HOWARD ST
VL11526EN_CLP	2415-2427 N 3RD ST
VL11527EN_CLP	2422-2430 N ORIANNA ST
VL11529EN_CLP	2431 FRONT ST
VL11532EN_CLP	2442 JASPER ST
VL11533EN_CLP	2446-2448 KENSINGTON AVE



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Division of Housing and Community Development*



Group E Site List
Fall 2024
West Kensington
Page 2 of 3

<u>VL#</u>	<u>Address Range</u>
VL11534EN_CLP	2447-2449 N FRONT ST
VL11536EN_CLP	2456 KENSINGTON AVE
VL11537EN_CLP	2457 N 2ND ST
VL11539EN_CLP	2510 N WATER ST
VL11540EN_CLP	2520 HOWARD ST
VL11542EN_CLP	2532 A ST
VL11543EN_CLP	2532 HOWARD ST
VL11544EN_CLP	2533 N FRONT ST
VL11545EN_CLP	2533-2537 MASCHER ST
VL11547EN_CLP	2555 N LEE ST
VL11551EN_CLP	2730-70 N AMERICAN ST
VL11555EN_CLP	2801-2803 N LEE ST
VL11556EN_CLP	2807 N LEE ST
VL11557EN_CLP	2808-2812 N SWANSON ST
VL11560EN_CLP	2821-2825 HOWARD ST
VL11561EN_CLP	2826 N LEE ST
VL11562EN_CLP	2827 N LEE ST
VL11563EN_CLP	2831 N WATER ST
VL11564EN_CLP	2839-2841 N ORIANNA ST
VL11565EN_CLP	2859 N WATER ST
VL11533EN_CLP	2862 N WATER ST



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Division of Housing and Community Development*



Group E Site List
Fall 2024
West Kensington
Page 3 of 3

<u>VL#</u>	<u>Address Range</u>
VL11568EN_CLP	3025 N PHILIP ST
VL11569EN_CLP	3030-3042 N AMERICAN ST
VL11570EN_CLP	310 E STERNER ST
VL11571EN_CLP	316 W CAMBRIA ST
VL11572EN_CLP	322 E GURNEYST; 324 E STERNER ST
VL11574EN_CLP	35-37 E SILVER ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*





PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group E:
W Kensington - Fall 2024

 Fall 2024 Parcels
 Building







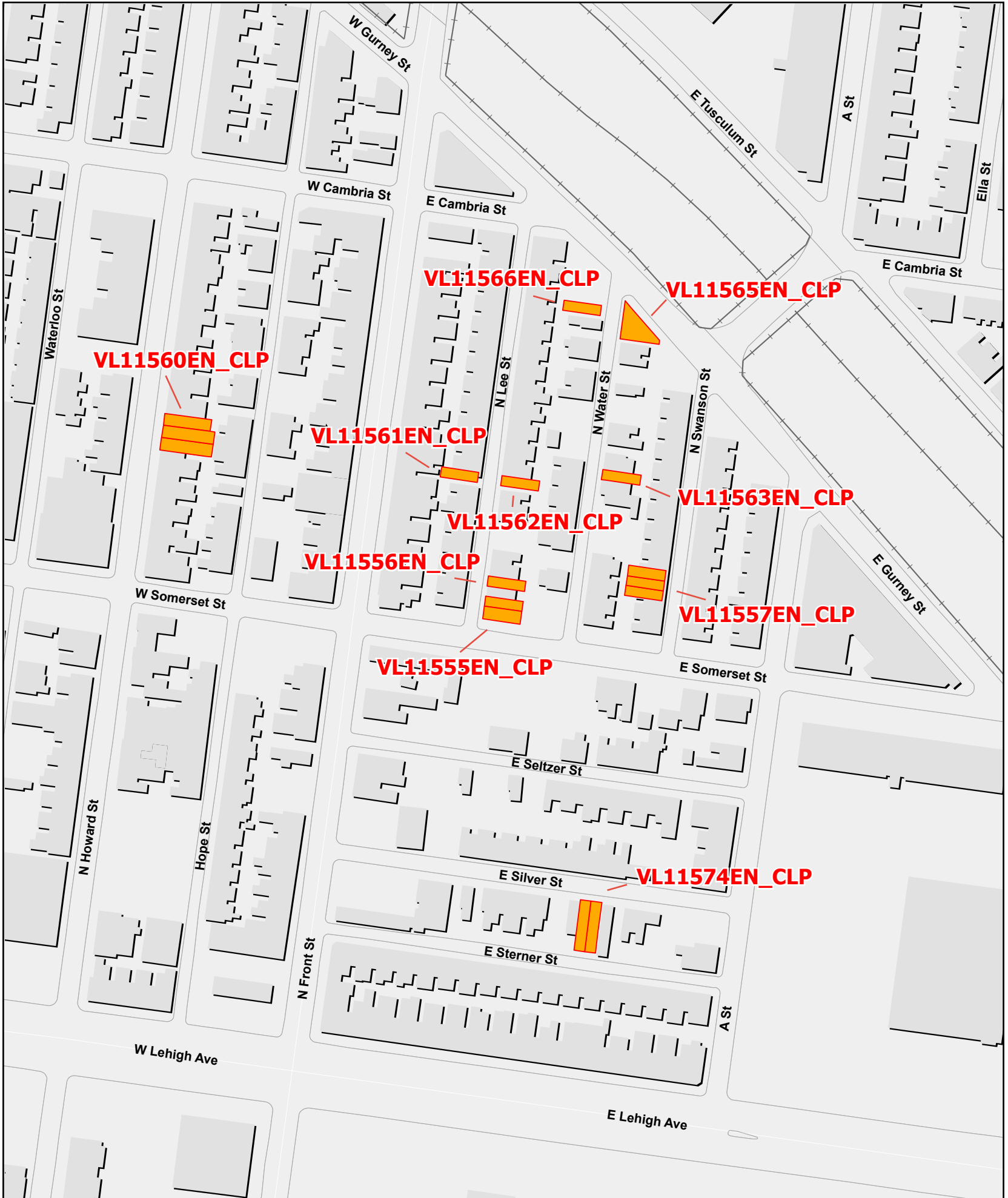
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group E:
W Kensington - Fall 2024

 Fall 2024 Parcels
 Building







PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group E:
W Kensington - Fall 2024

 Fall 2024 Parcels
 Building







PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group E:
W Kensington - Fall 2024

 Fall 2024 Parcels
 Building





PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group E:
W Kensington - Fall 2024

Fall 2024 Parcels
 Building







PHS

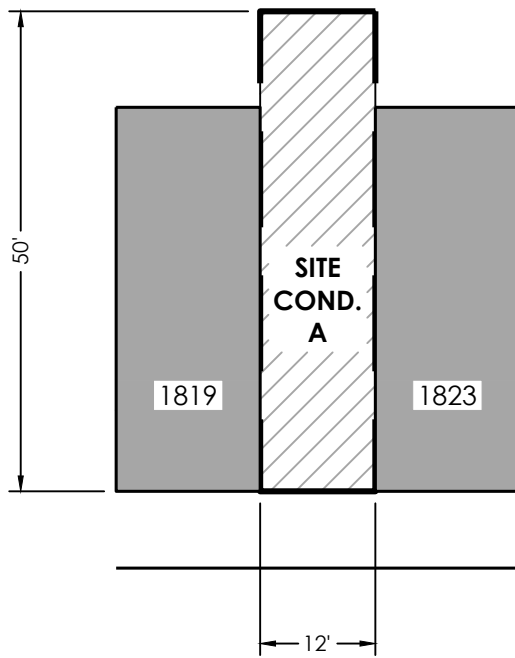


City of
Philadelphia

Philadelphia LandCare Sites
Proposed for Group E:
W Kensington - Fall 2024

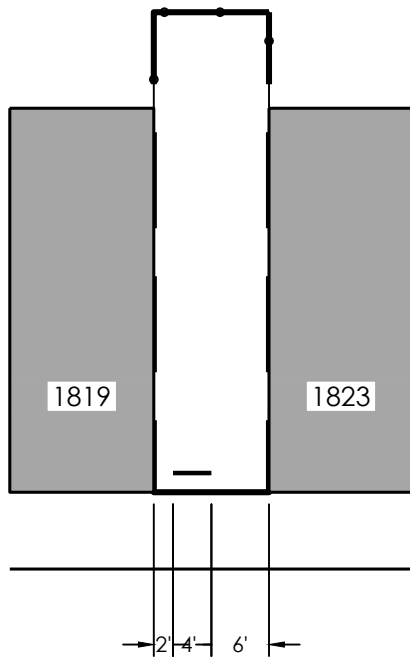
 Fall 2024 Parcels
 Building





EAST HAROLD STREET

Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>1821 EAST HAROLD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11488EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



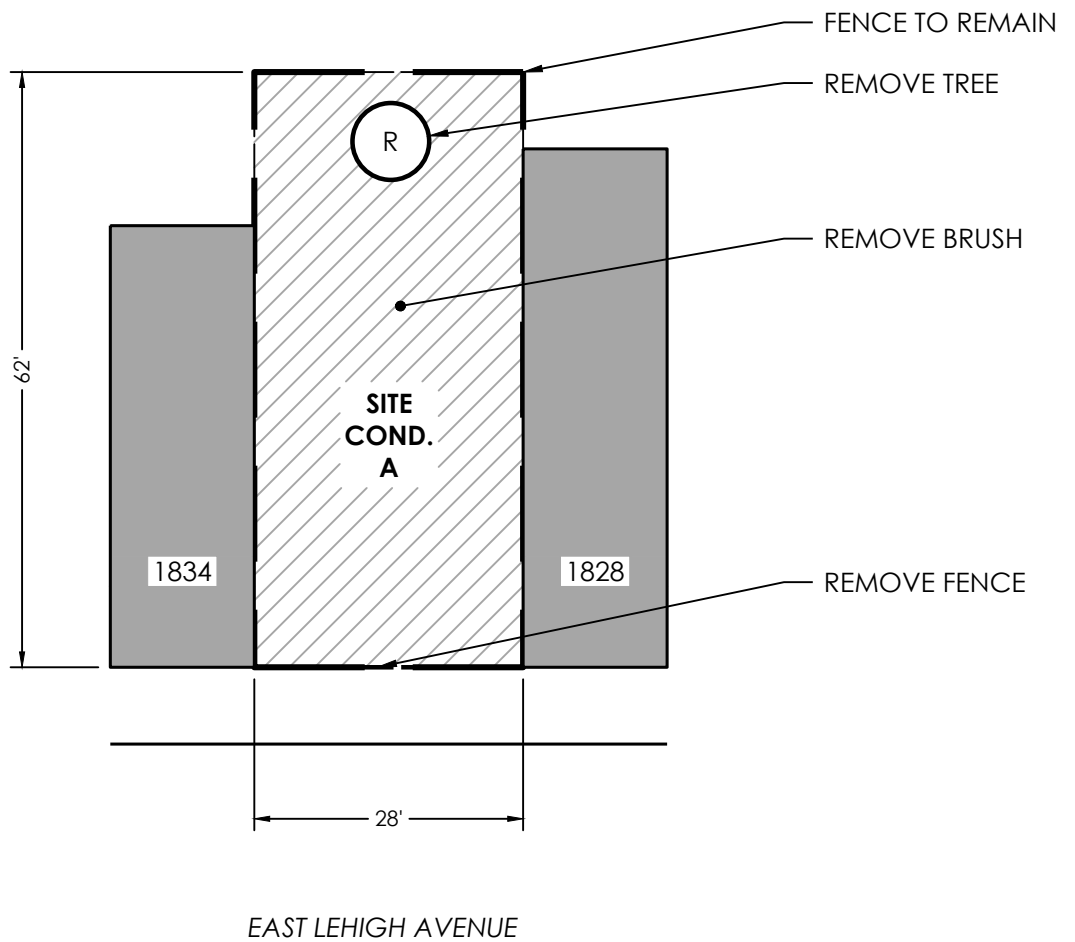
EAST HAROLD STREET

Initial Date
7/27/2024
Scale
1" = 20'
Group E
VL11488EN_CLP

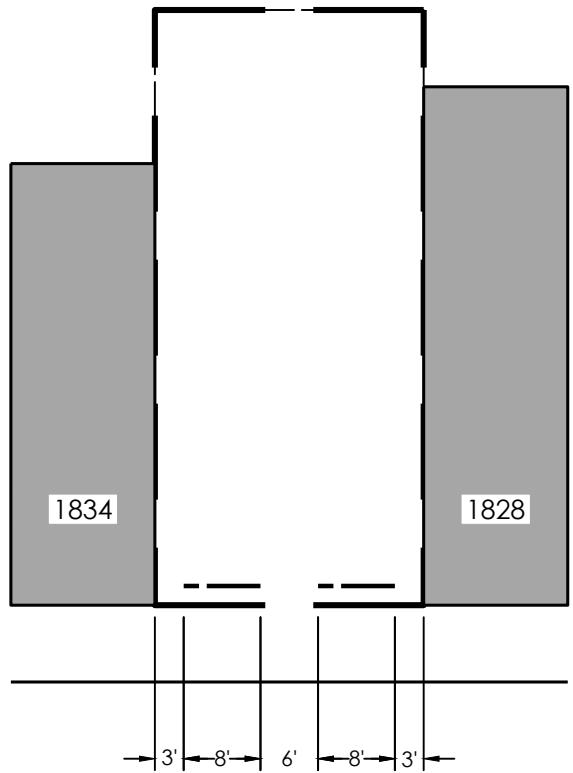


FENCE & TREE LAYOUT
1821 EAST HAROLD STREET





Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>1830-1832 EAST LEHIGH AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11490EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



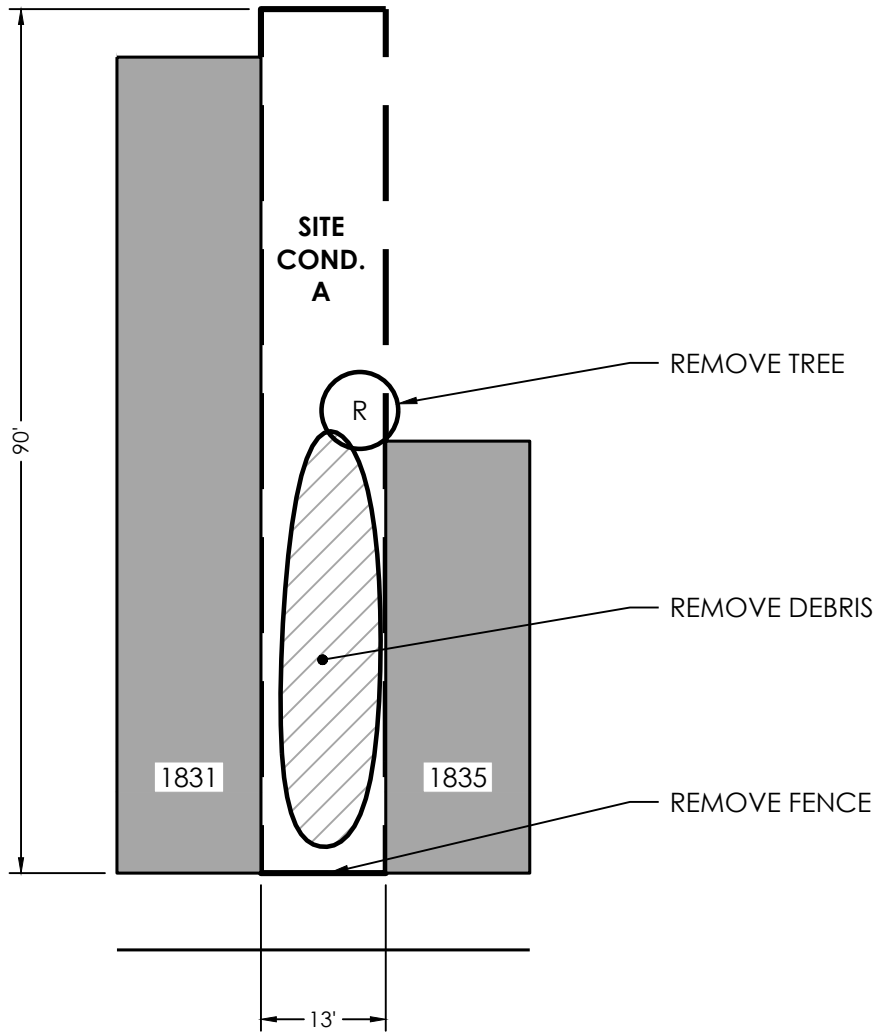
EAST LEHIGH AVENUE

Initial Date	7/28/2024
Scale	1" = 20'
Group E	
VL11490EN_CLP	

FENCE & TREE LAYOUT

1830-1832 EAST LEHIGH AVENUE





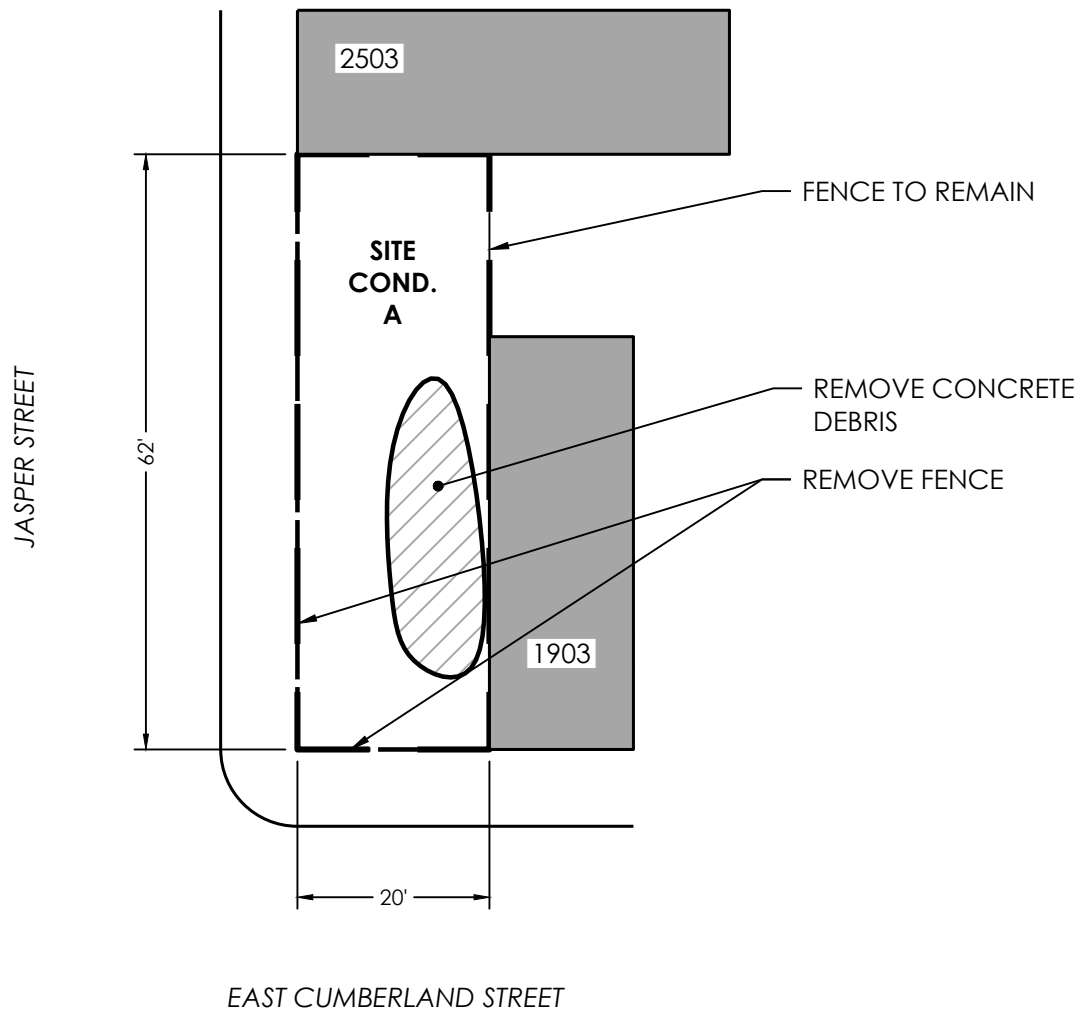
EAST SERGEANT STREET

Initial Date 7/27/2024		<h2>EXISTING CONDITIONS</h2> <p>1833 EAST SERGEANT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11491EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

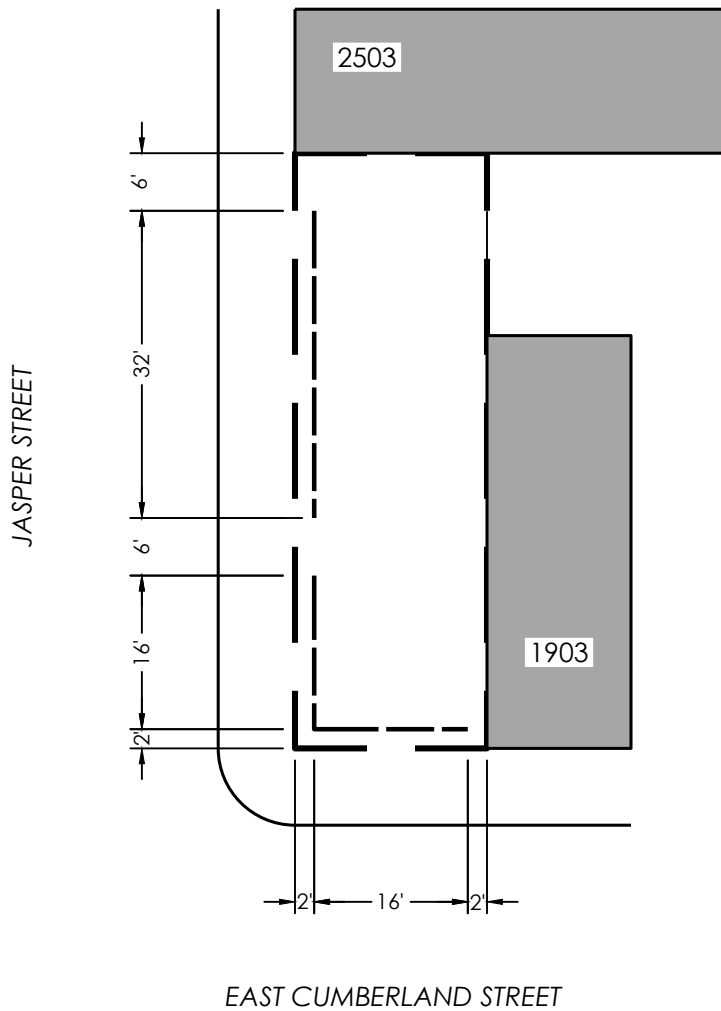


EAST SERGEANT STREET

Initial Date 7/27/2024		<h1>FENCE & TREE LAYOUT</h1> <p>1833 EAST SERGEANT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11491EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>1901 EAST CUMBERLAND STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11495EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



JASPER STREET

EAST CUMBERLAND STREET

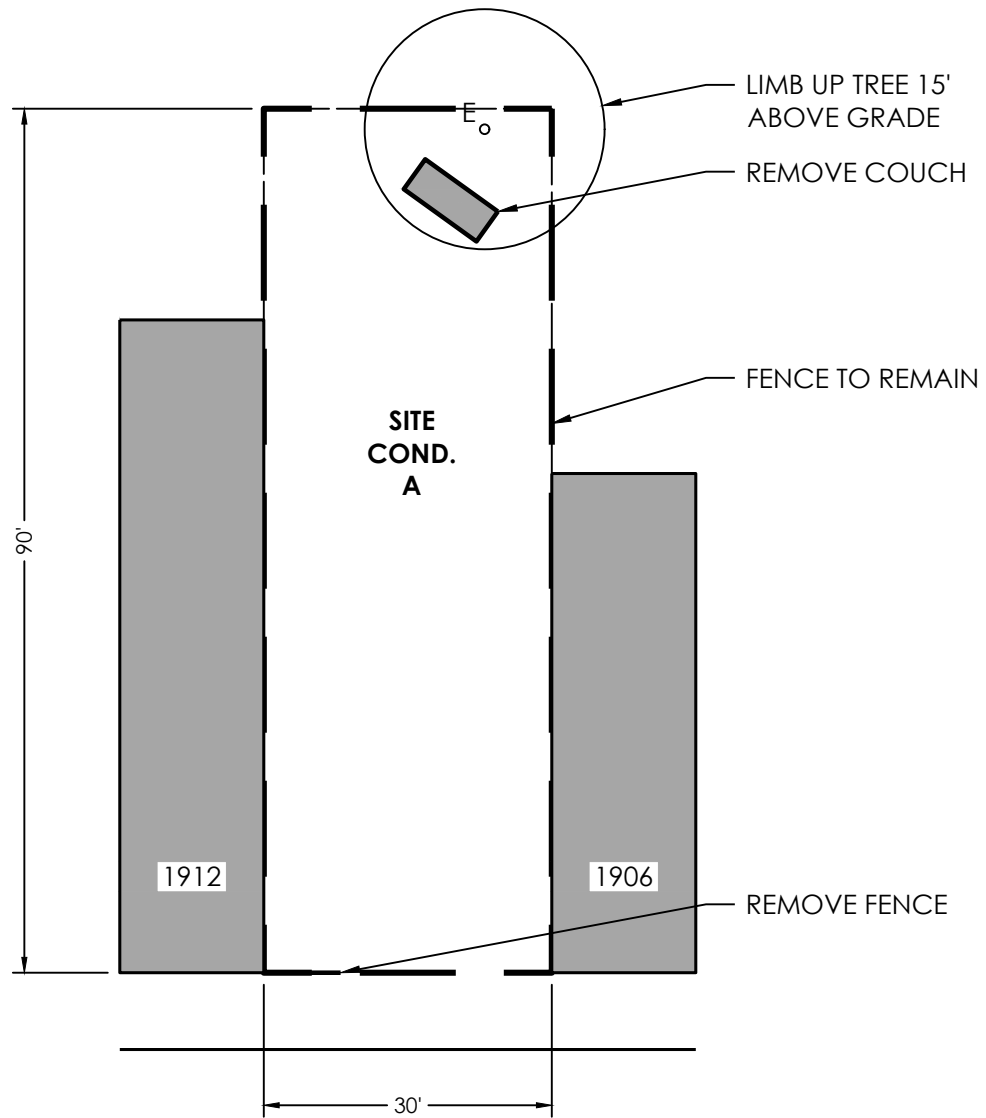
Initial Date	7/27/2024
Scale	1" = 20'
Group E	
VL11495EN_CLP	



FENCE & TREE LAYOUT

1901 EAST CUMBERLAND STREET





EAST YORK STREET

Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>1908-1910 EAST YORK STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11496EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
7/27/2024

Scale
1" = 20'

Group E

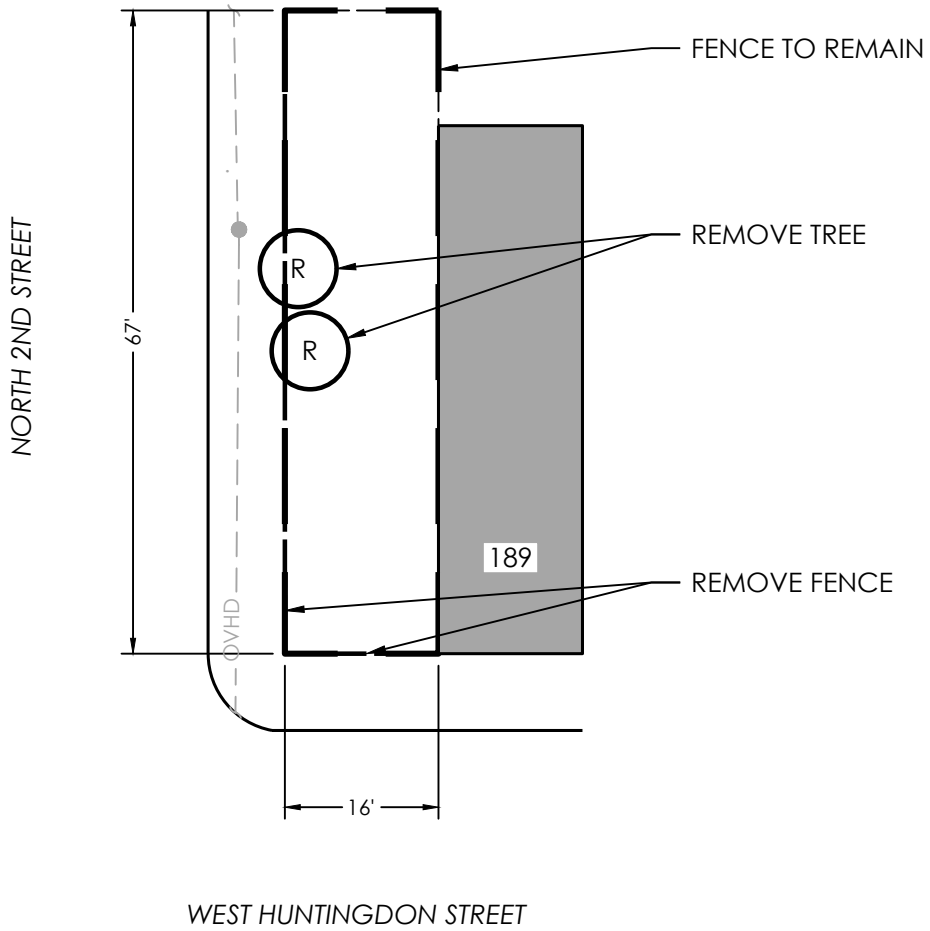
VL11496EN_CLP



FENCE & TREE LAYOUT

1908-1910 EAST YORK STREET





Initial Date
7/28/2024

Scale
1" = 20'

Group E

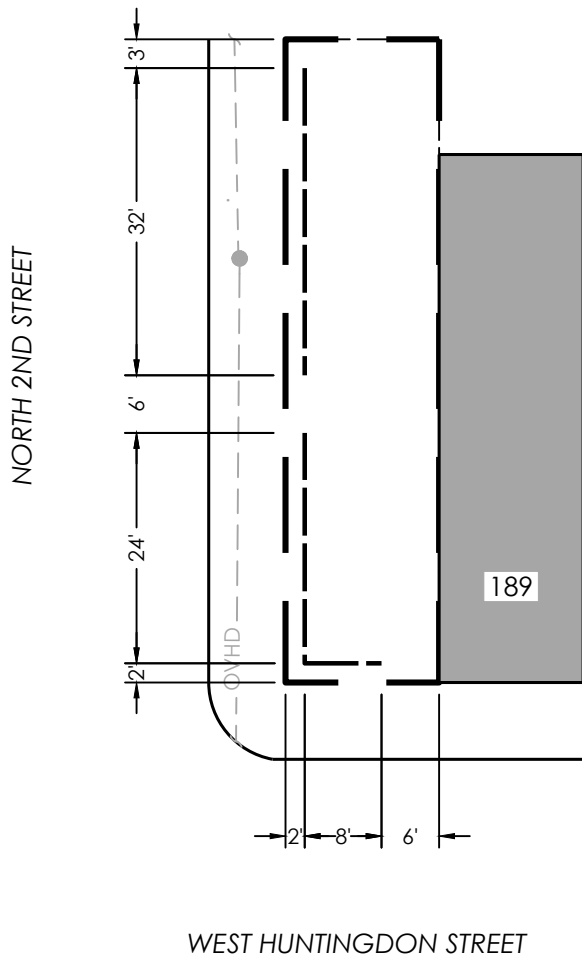


EXISTING CONDITIONS

191 WEST HUNTINGDON STREET



VL11498EN_CLP



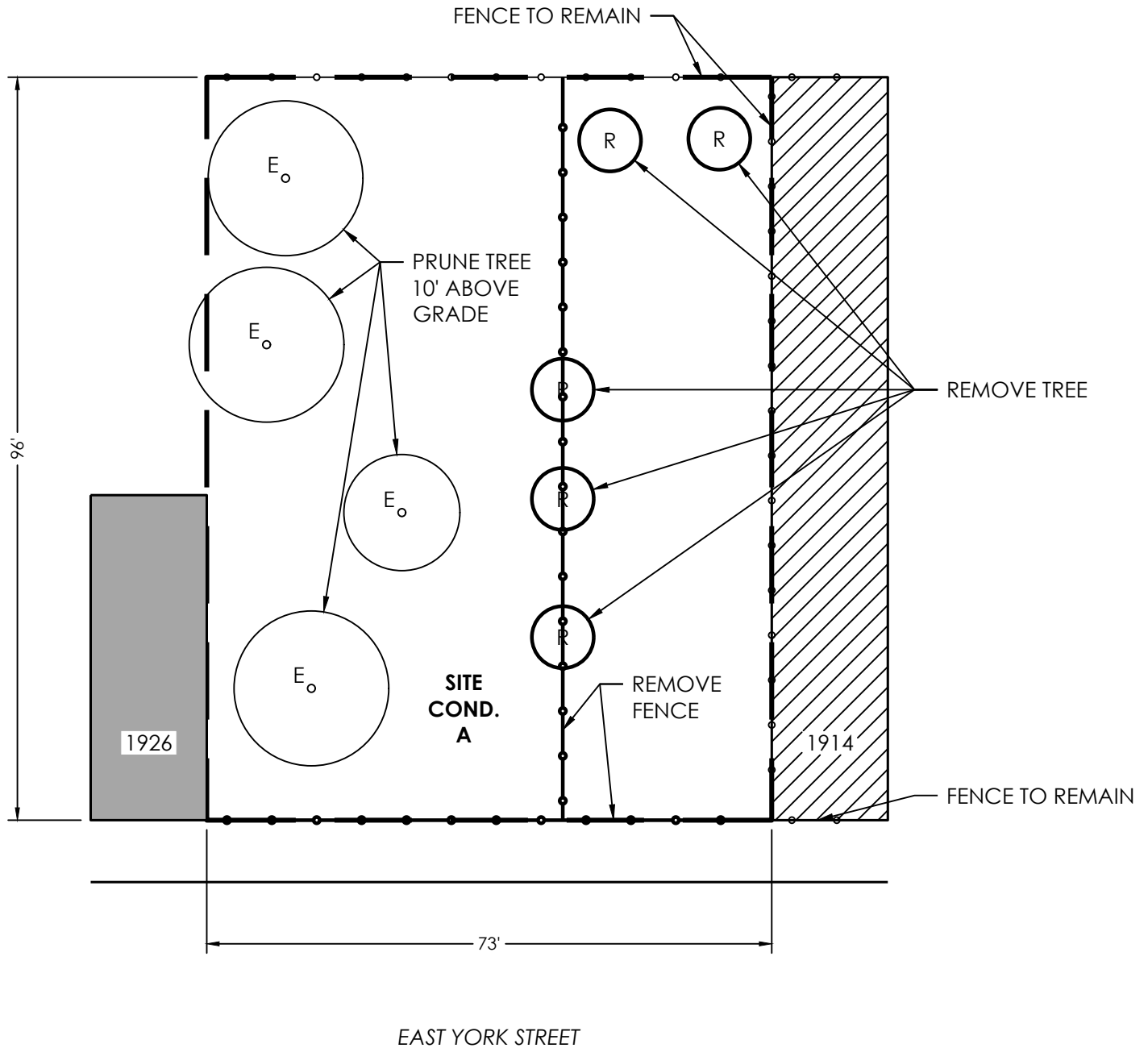
Initial Date	7/28/2024
Scale	1" = 20'
Group E	
VL11498EN_CLP	



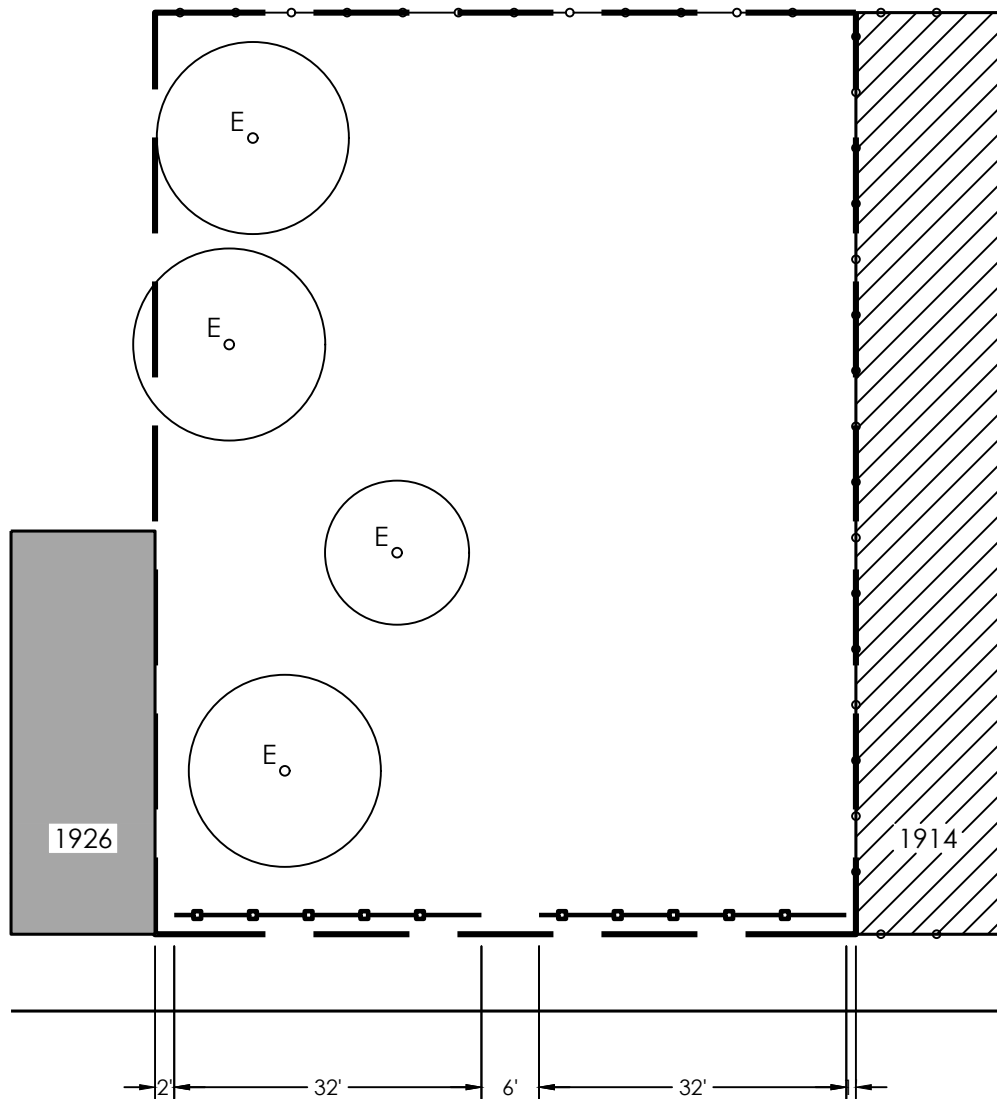
FENCE & TREE LAYOUT

191 WEST HUNTINGDON STREET



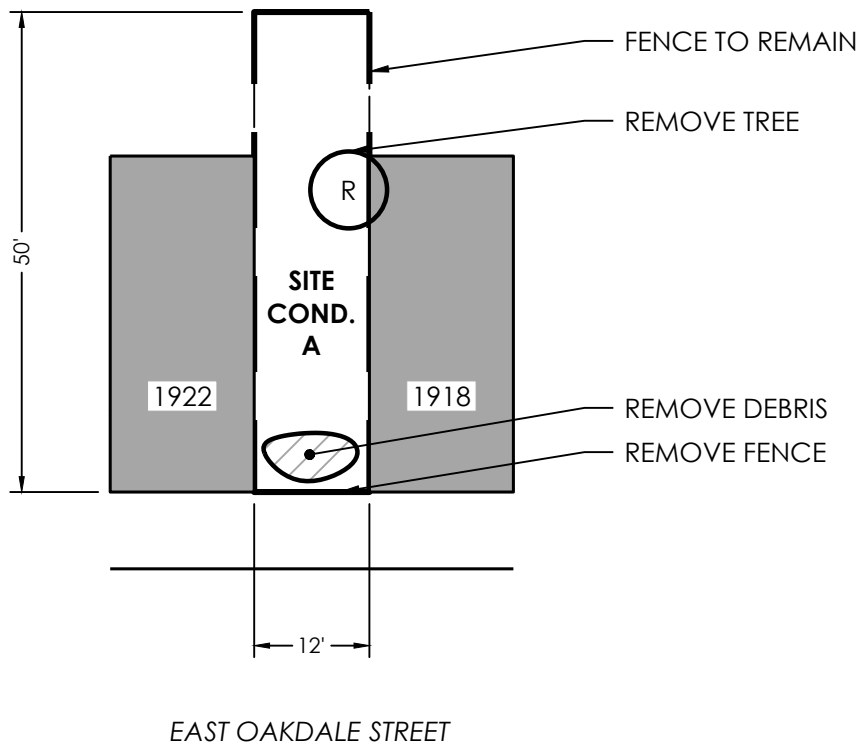


Initial Date 7/27/2024		EXISTING CONDITIONS 1916-1924 EAST YORK STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11499EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

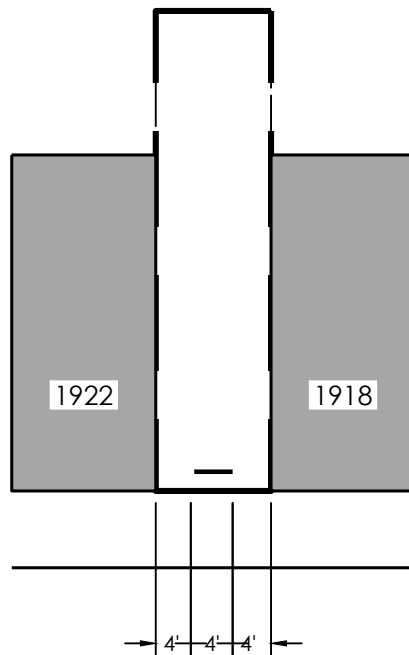


EAST YORK STREET

Initial Date 7/27/2024		<h1>FENCE & TREE LAYOUT</h1> <p>1916-1924 EAST YORK STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11499EN_CLP	THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800			



Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>1920 EAST OAKDALE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11500EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



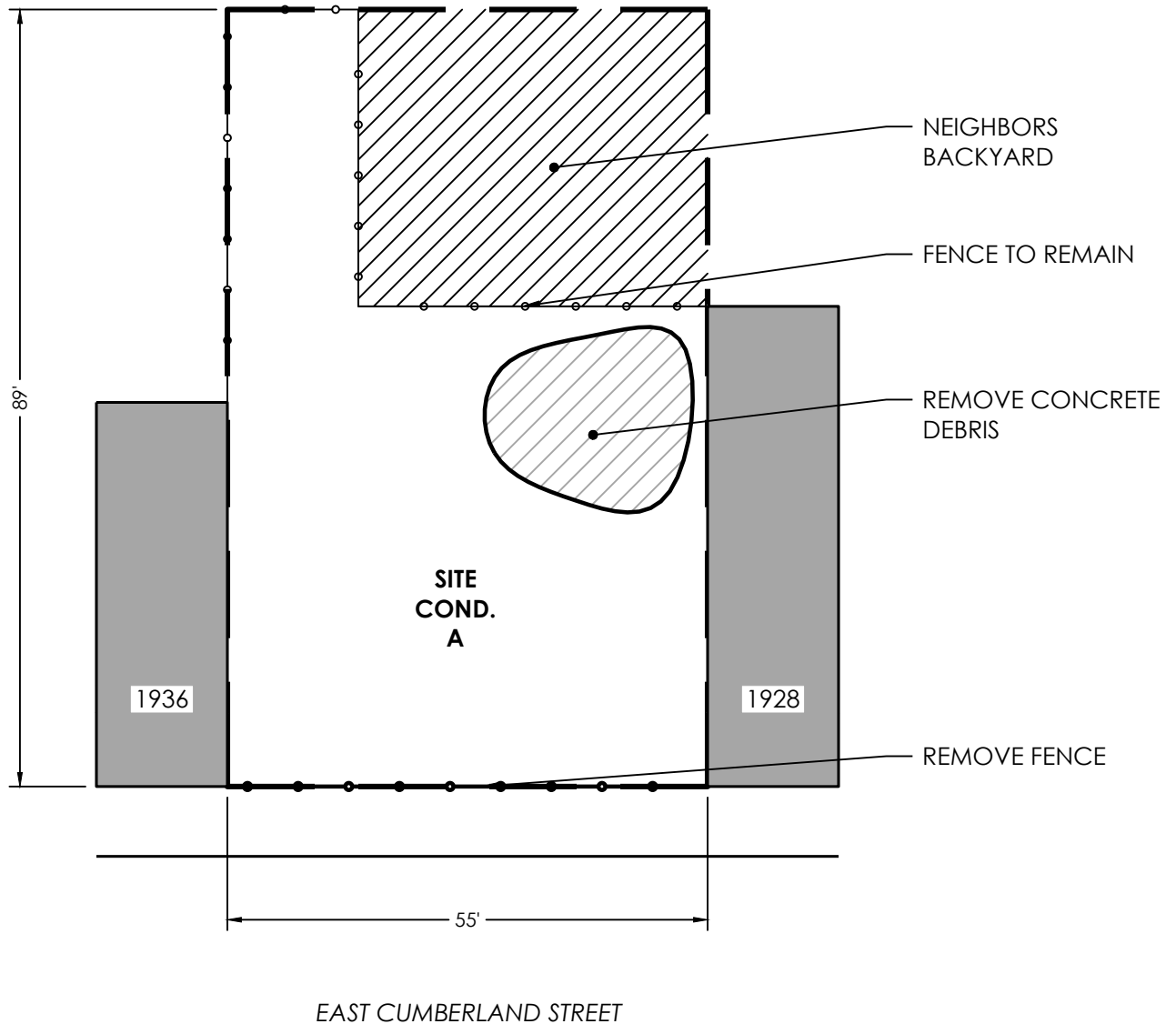
EAST OAKDALE STREET

Initial Date
7/27/2024
Scale
1" = 20'
Group E

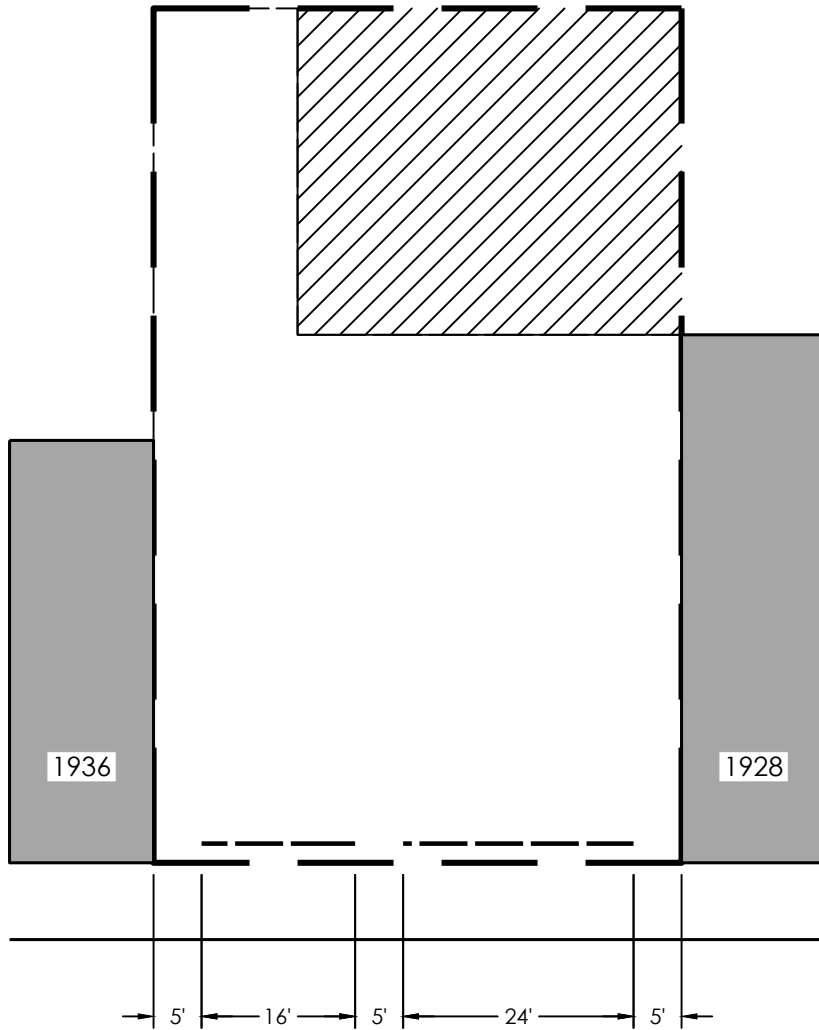


FENCE & TREE LAYOUT
1920 EAST OAKDALE STREET





Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>1930-1934 EAST CUMBERLAND STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11503EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



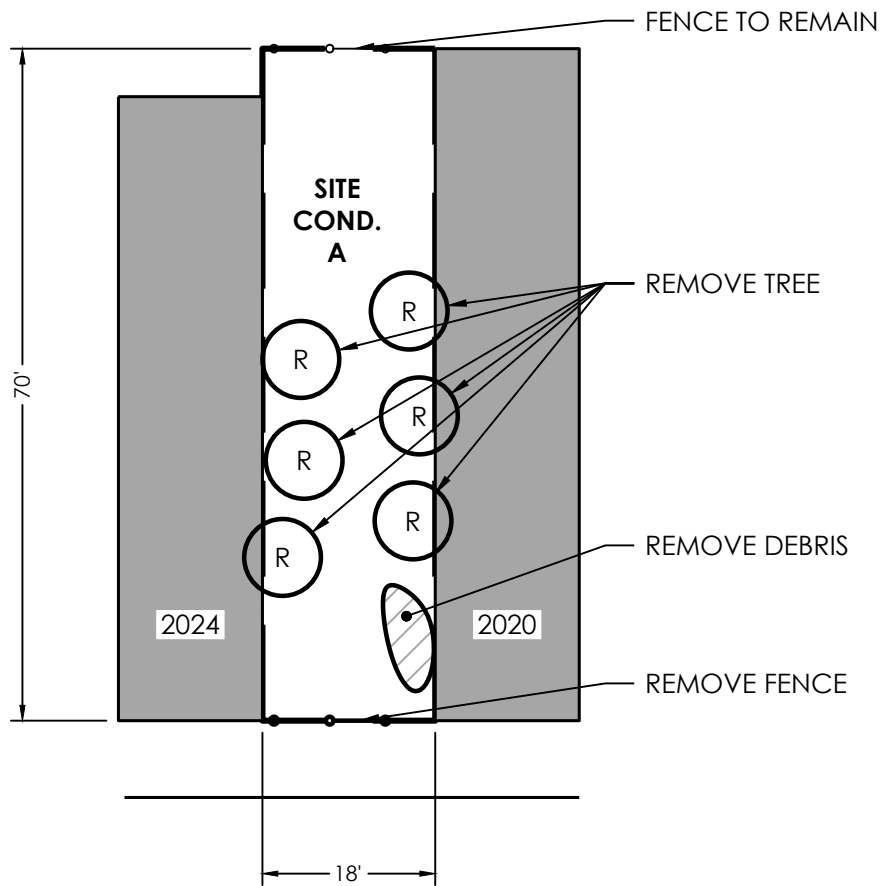
EAST CUMBERLAND STREET

Initial Date
7/27/2024
Scale
1" = 20'
Group E



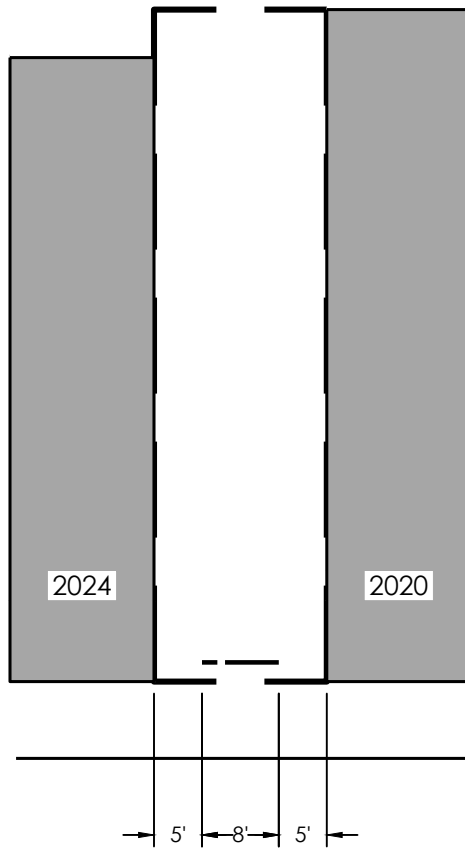
FENCE & TREE LAYOUT
1930-1934 EAST CUMBERLAND STREET





EAST FLETCHER STREET

Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2022 EAST FLETCHER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11506EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



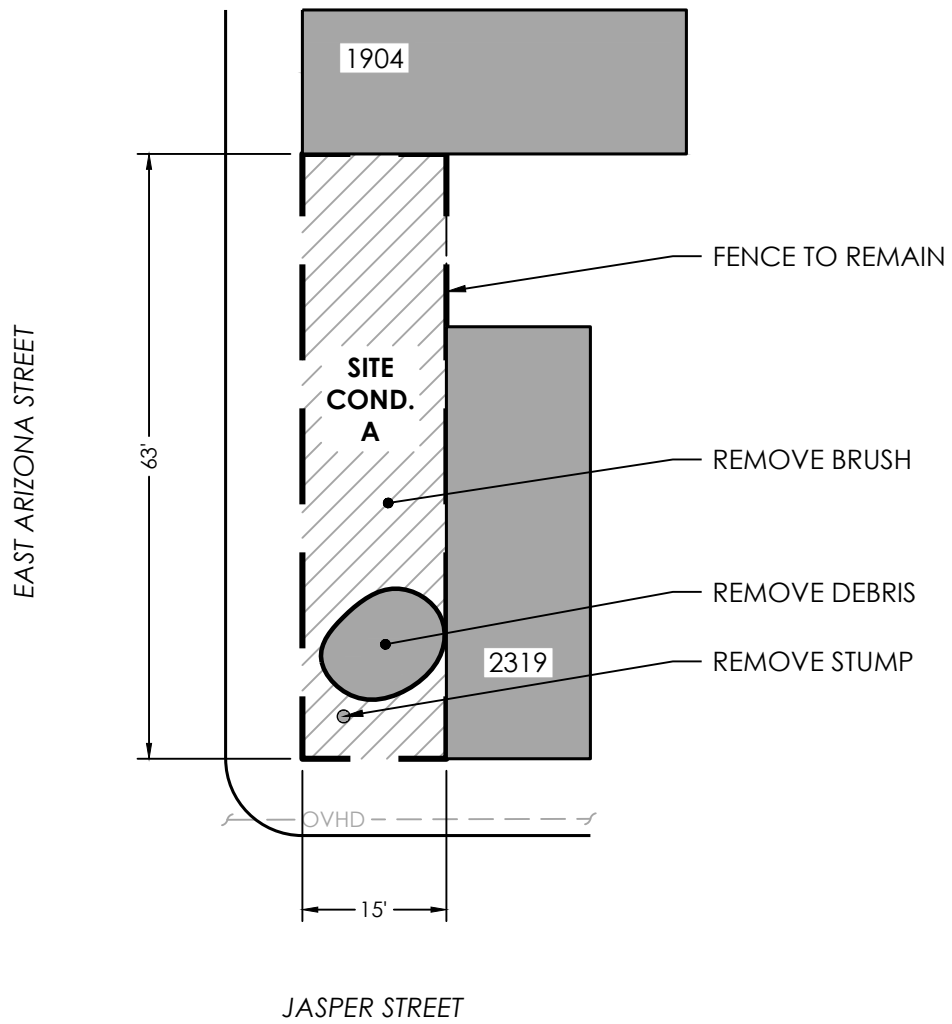
EAST FLETCHER STREET

Initial Date	7/27/2024
Scale	1" = 20'
Group E	
VL11506EN_CLP	

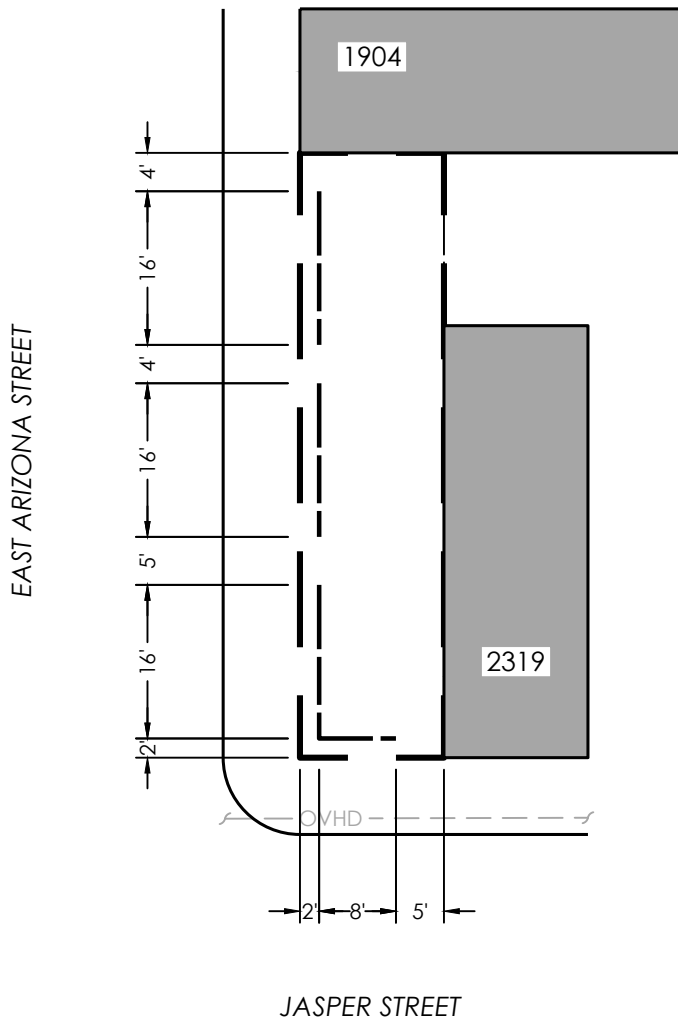
FENCE & TREE LAYOUT

2022 EAST FLETCHER STREET

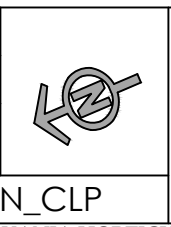




Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2321 JASPER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11519EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

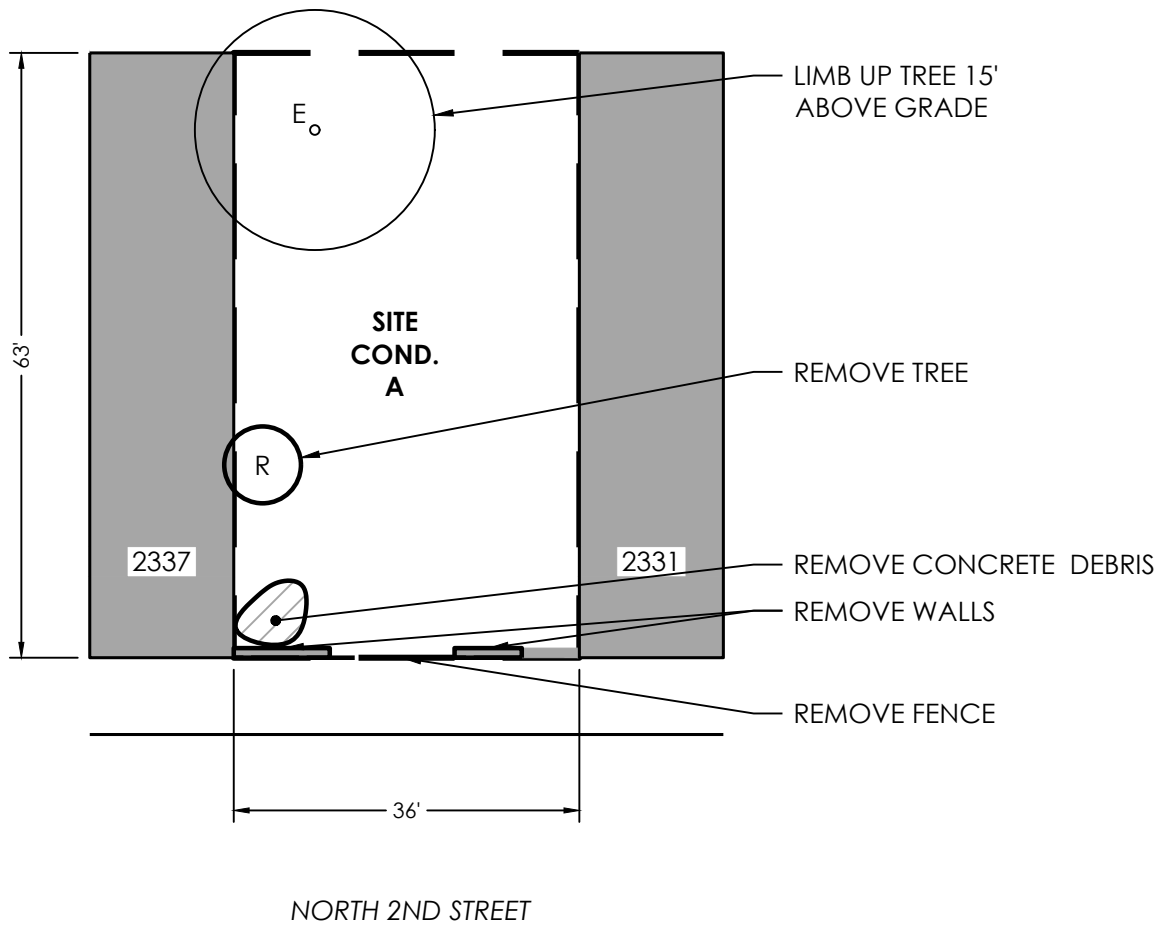


Initial Date	7/27/2024
Scale	1" = 20'
Group	Group E
Project ID	VL11519EN_CLP

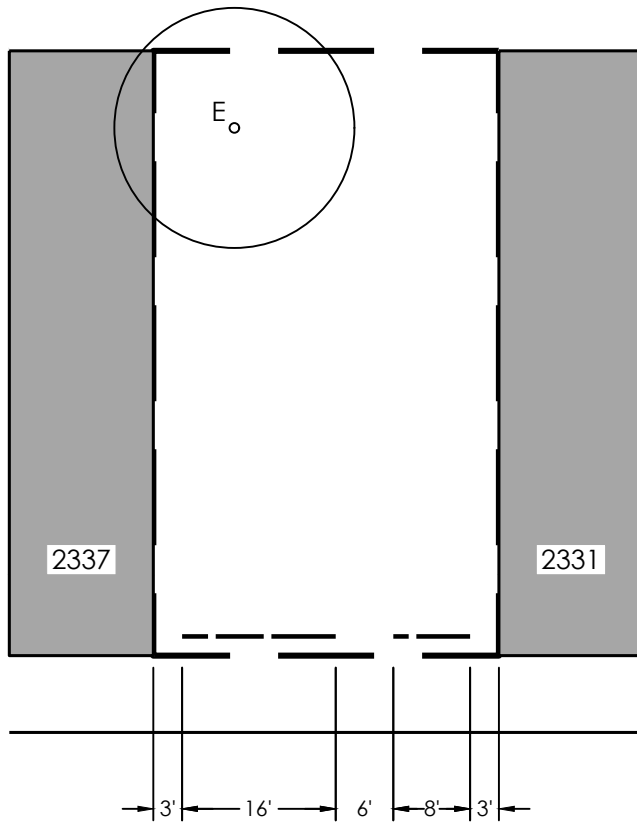


FENCE & TREE LAYOUT
 2321 JASPER STREET





Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2333-2335 NORTH 2ND STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11520EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



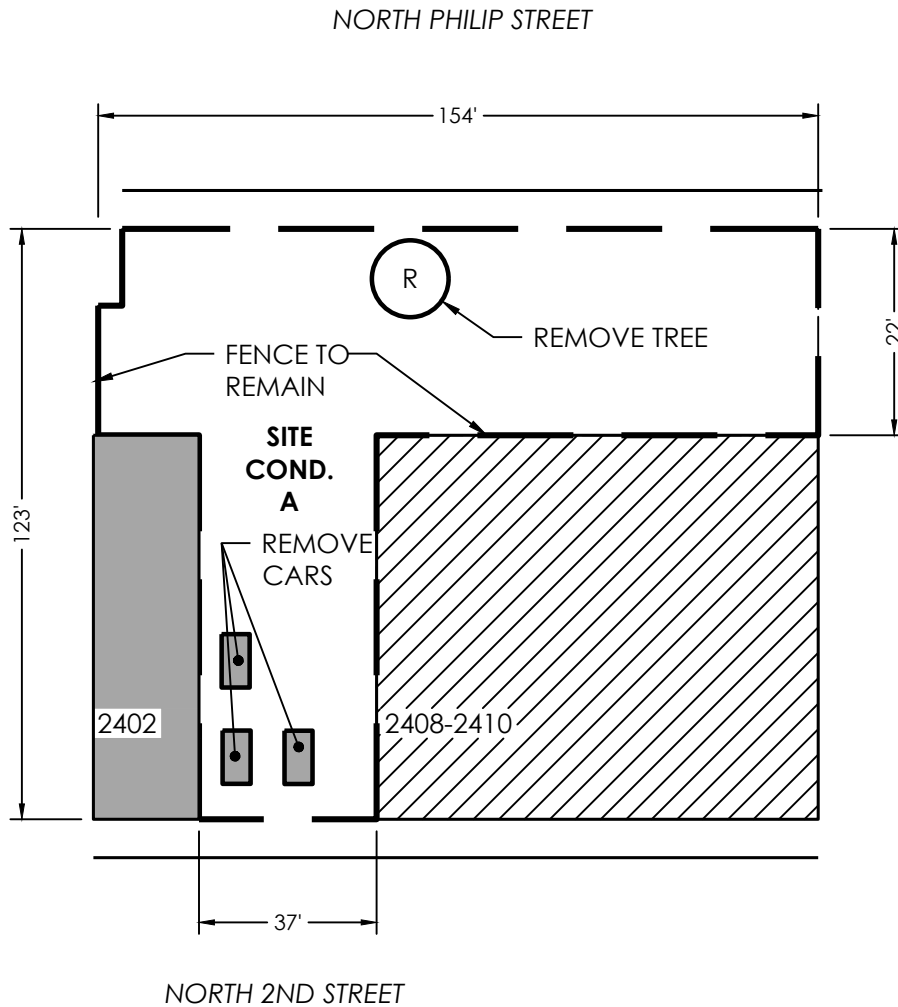
NORTH 2ND STREET

Initial Date
7/27/2024
Scale
1" = 20'
Group E



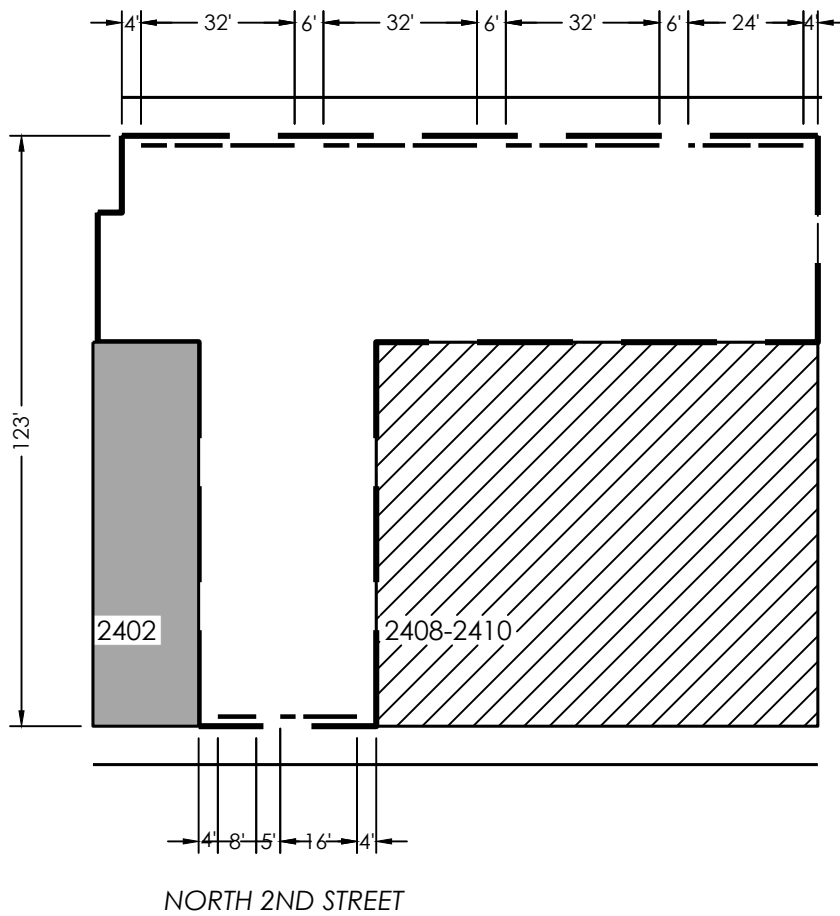
FENCE & TREE LAYOUT
2333-2335 NORTH 2ND STREET





Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> 2404-2406 NORTH 2ND STREET; 2413-2427 N PHILIP STREET	Project Of: 	Project Manager:
Scale 1" = 40'				
Group E				
VL11523EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

NORTH PHILIP STREET



Initial Date
7/28/2024

Scale
1" = 40'

Group E



FENCE & TREE LAYOUT

2404-2406 NORTH 2ND STREET; 2413-2427 N PHILIP STREET

Project Of:

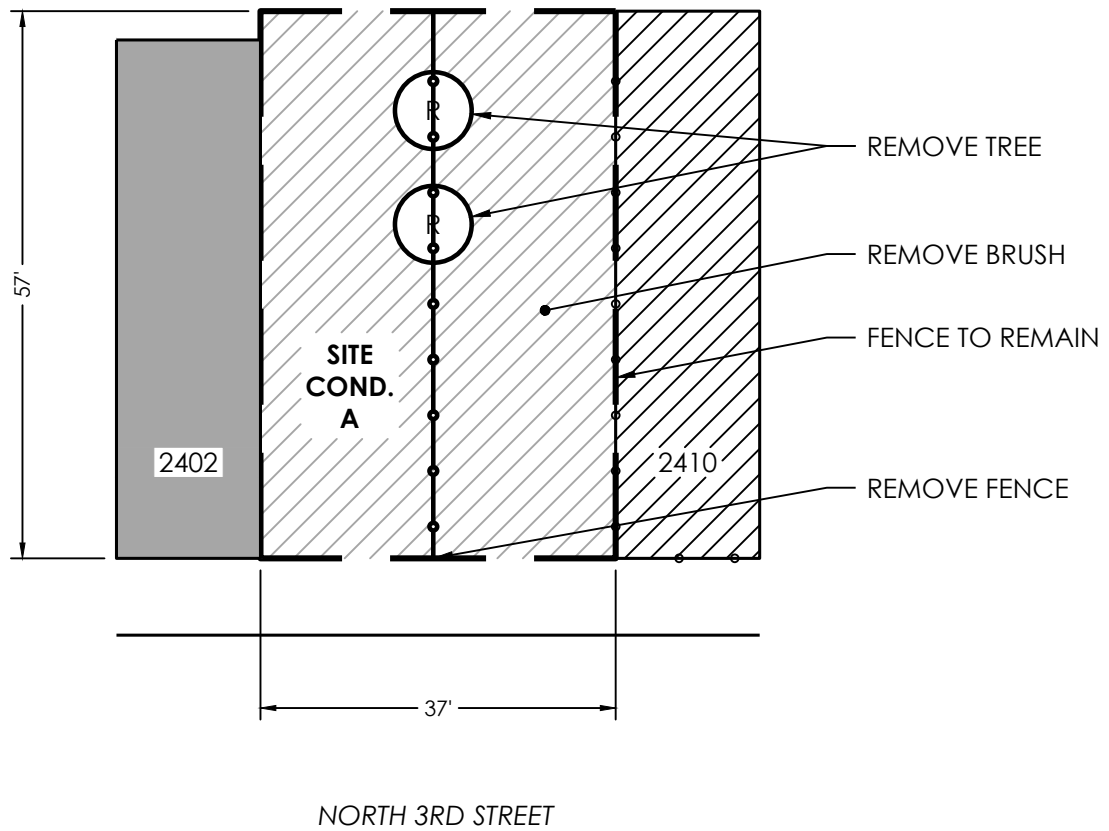


Project Manager:

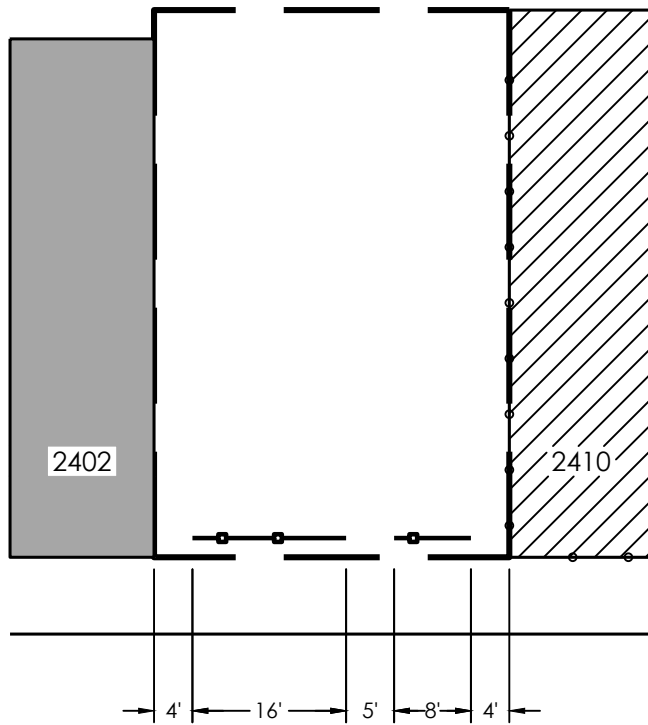


PHS

VL11523EN_CLP



Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>24024-2406 NORTH 3RD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11524EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



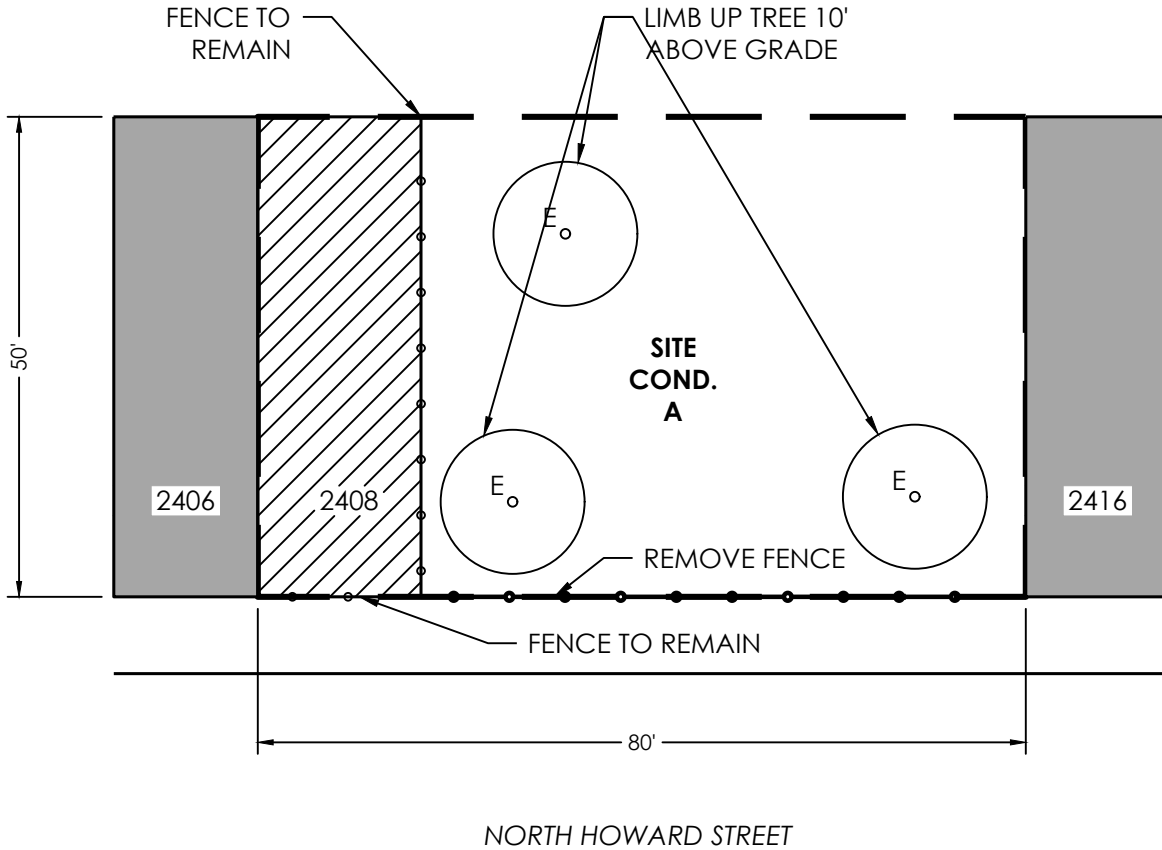
NORTH 3RD STREET

Initial Date	7/28/2024
Scale	1" = 20'
Group E	
VL11524EN_CLP	

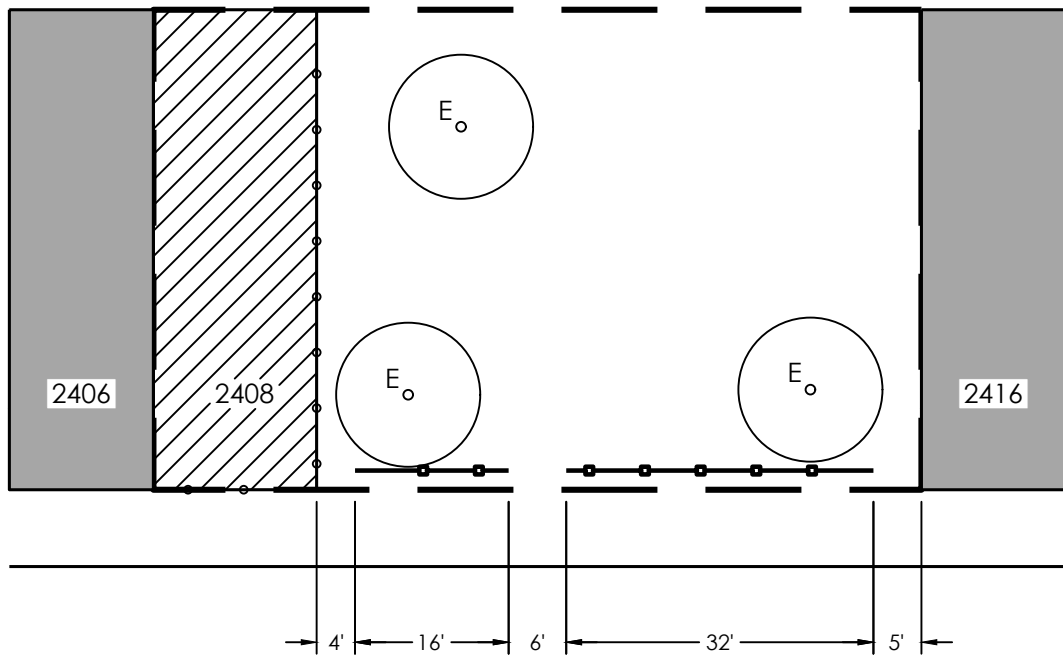
FENCE & TREE LAYOUT

24024-2406 NORTH 3RD STREET





Initial Date 7/27/2024		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">2408-2410 NORTH HOWARD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11525EN_CLP		<small>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</small>		



NORTH HOWARD STREET

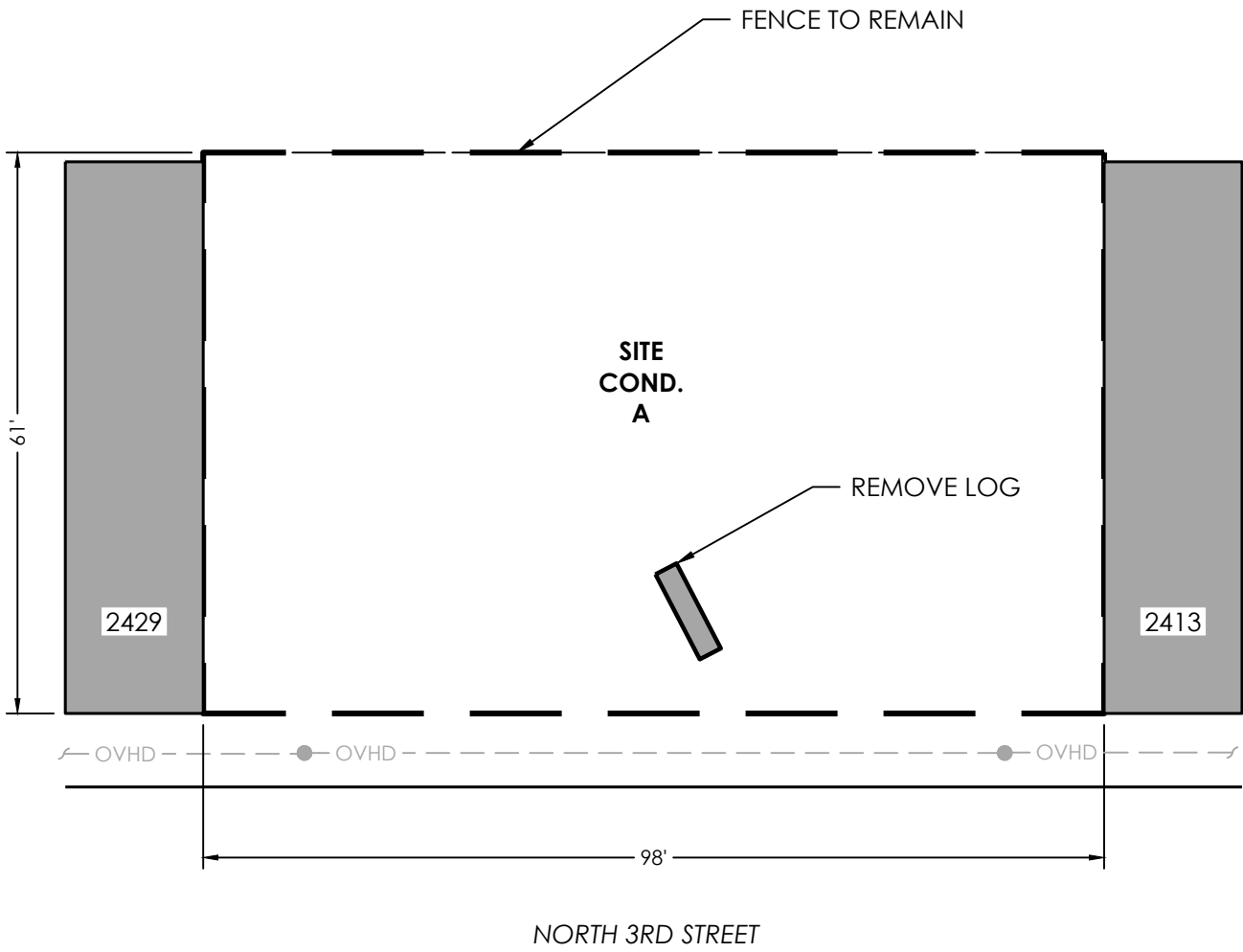
Initial Date	7/27/2024
Scale	1" = 20'
Group	Group E
Project ID	VL11525EN_CLP



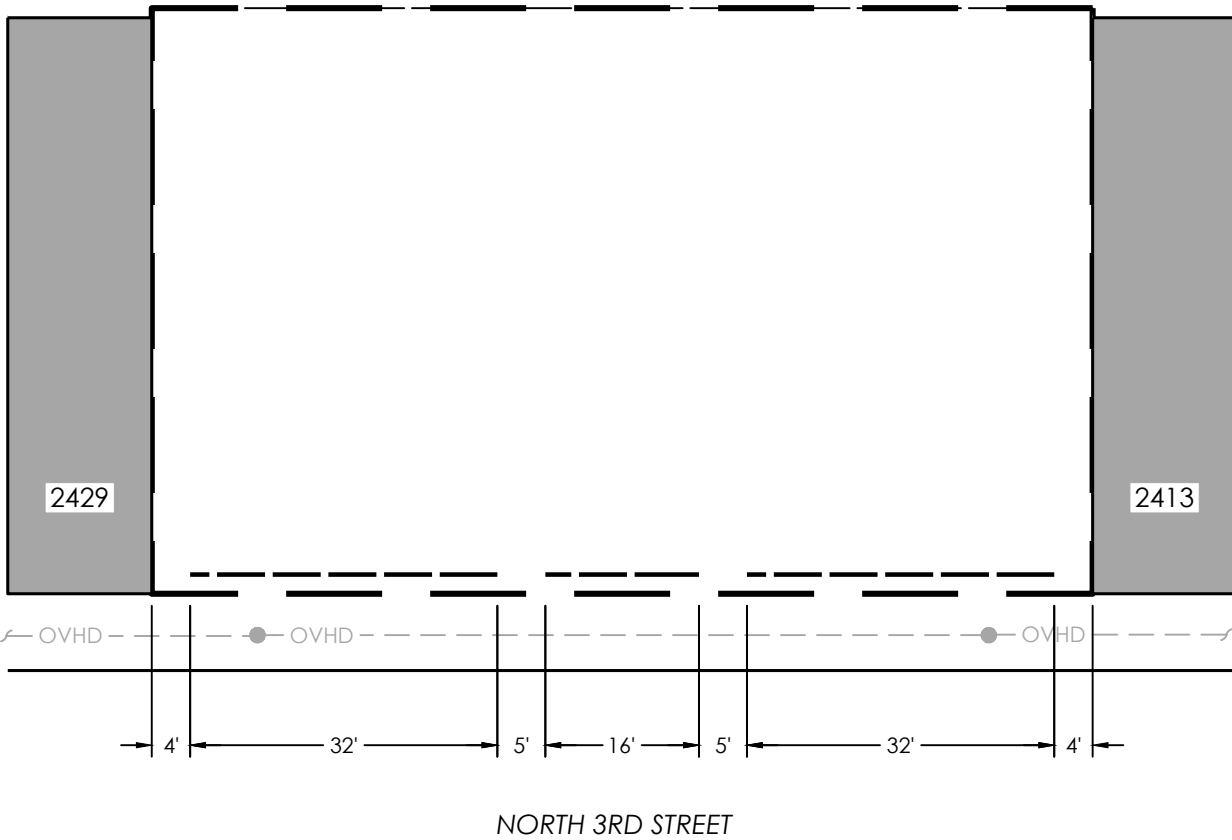
FENCE & TREE LAYOUT

2408-2410 NORTH HOWARD STREET

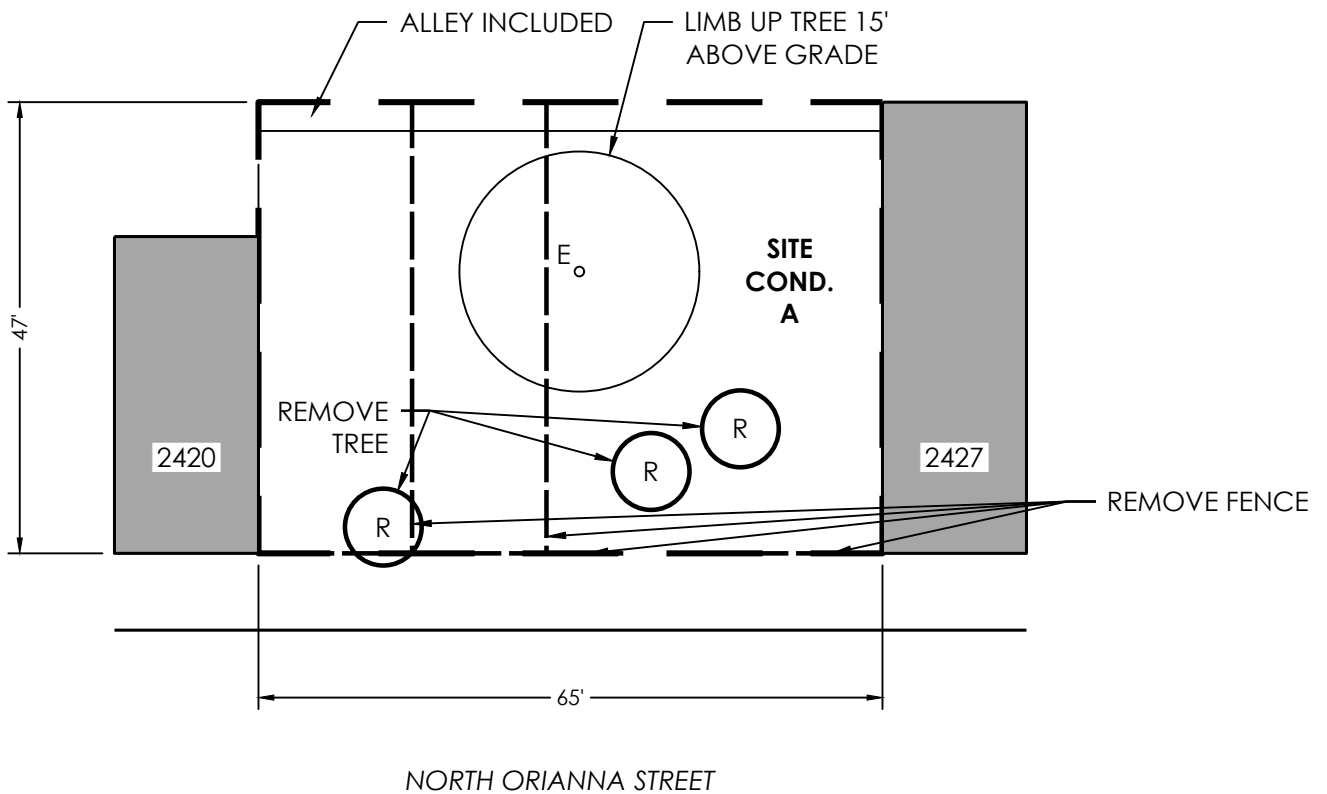




Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2415-2427 NORTH 3RD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11526EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		

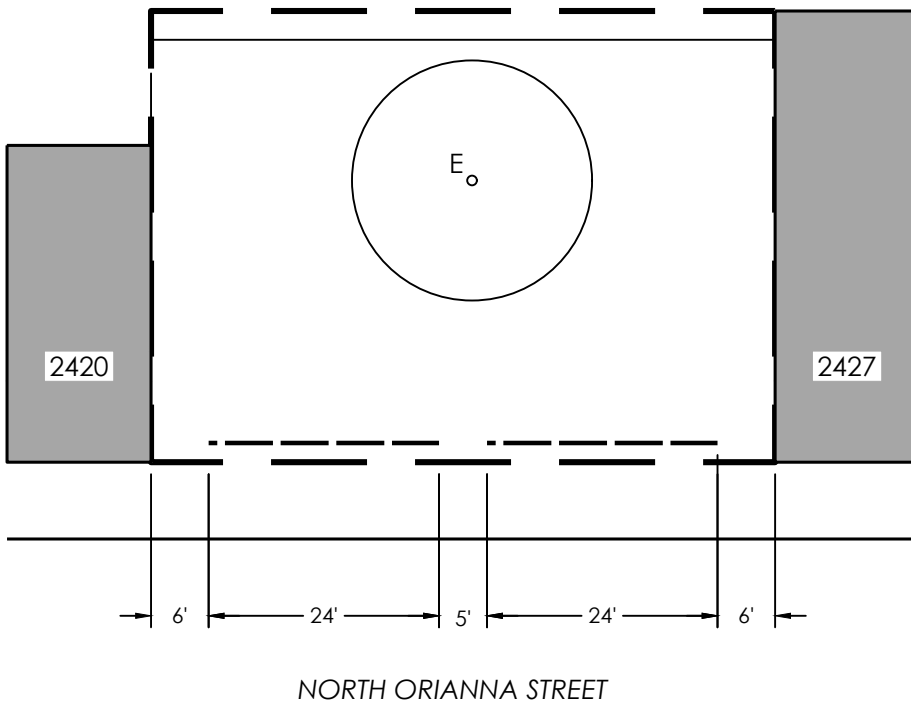


Initial Date 7/28/2024		<h1>FENCE & TREE LAYOUT</h1> <p>2415-2427 NORTH 3RD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11526EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



NORTH ORIANNA STREET

Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>2422-2430 NORTH ORIANNA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E			<p>THE CITY OF PHILADELPHIA LIFE • LIBERTY • AND YOU</p>	<p>PHS</p>
VL11527EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH ORIANNA STREET

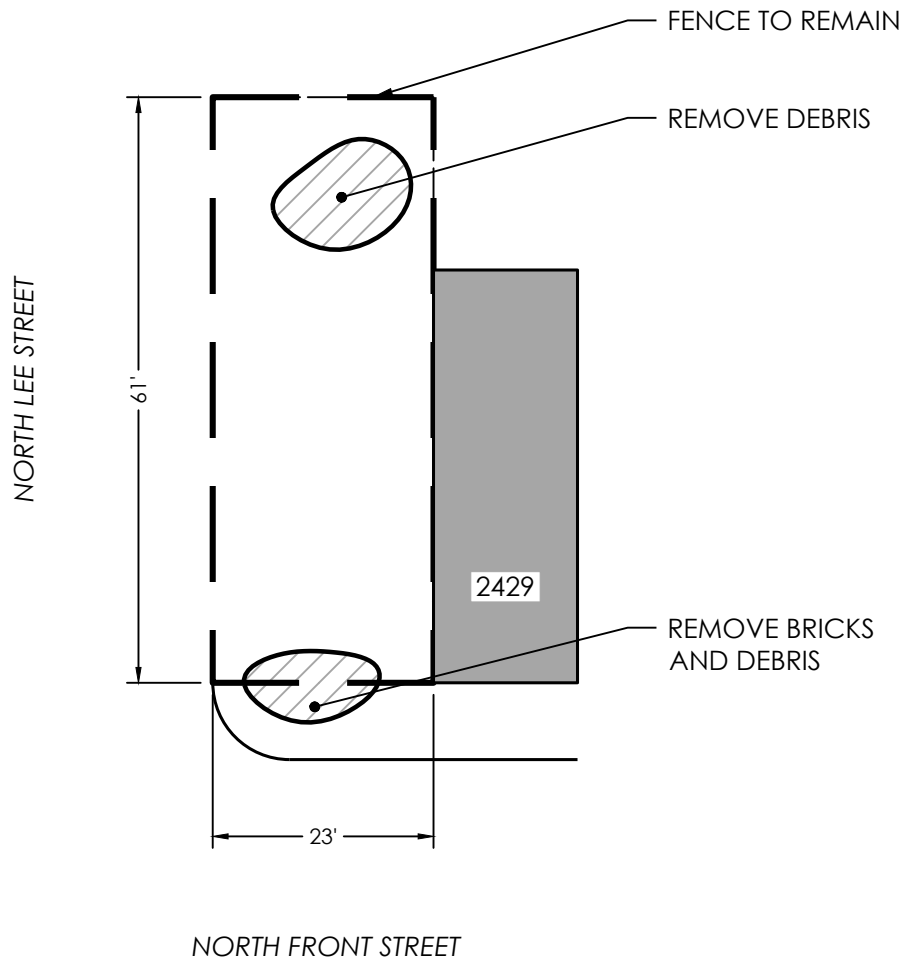
Initial Date	7/28/2024
Scale	1" = 20'
Group	E
Project ID	VL11527EN_CLP



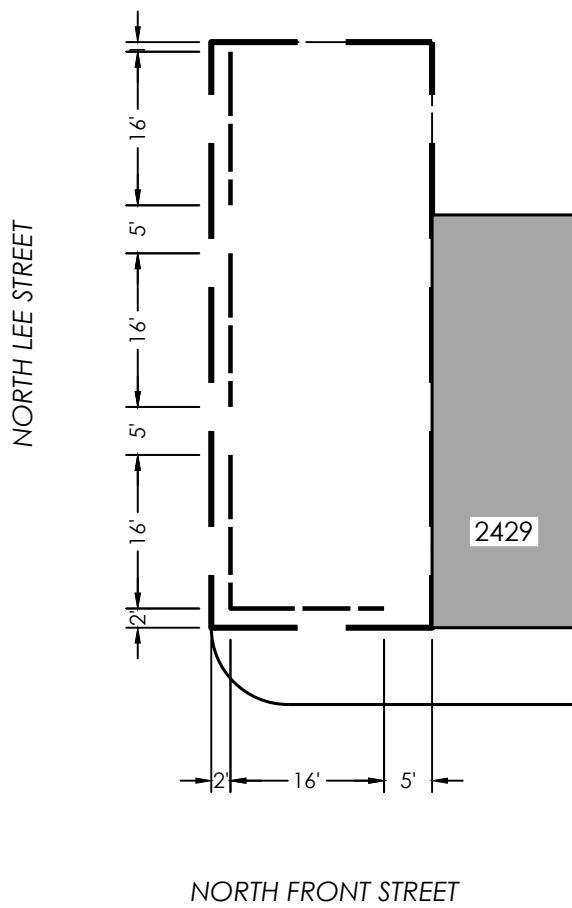
FENCE & TREE LAYOUT

2422-2430 NORTH ORIANNA STREET

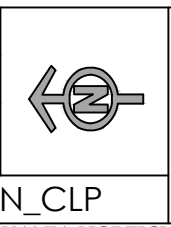




Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2431 NORTH FRONT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11529EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

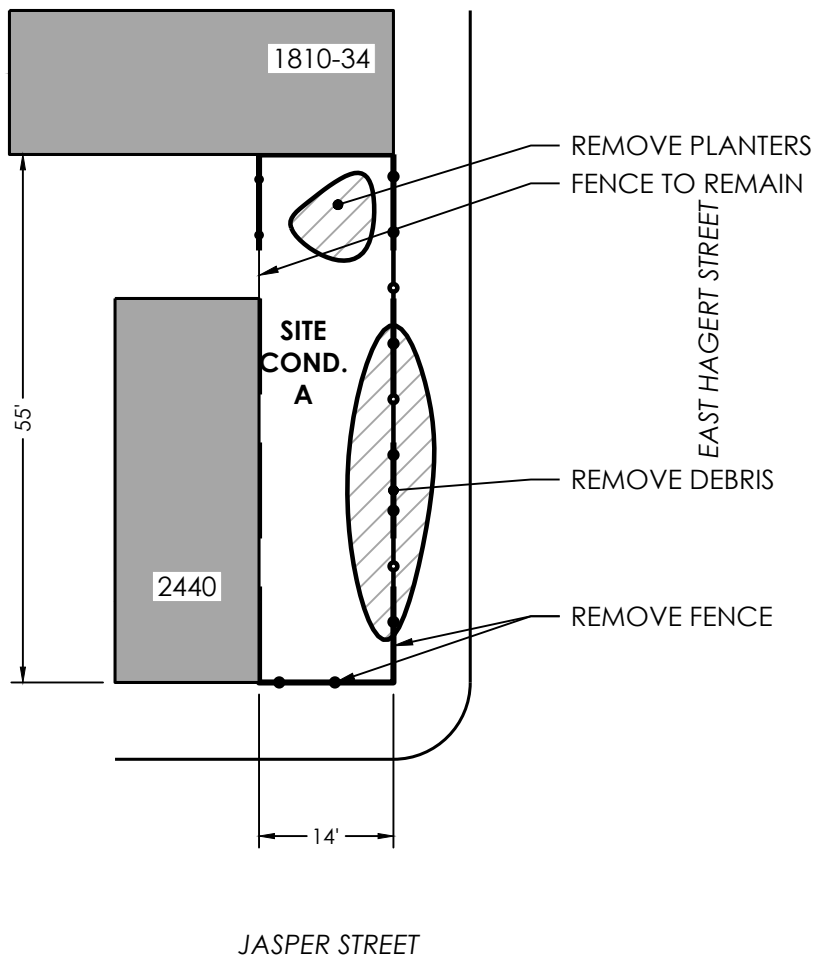


Initial Date	7/27/2024
Scale	1" = 20'
Group	Group E
Project ID	VL11529EN_CLP

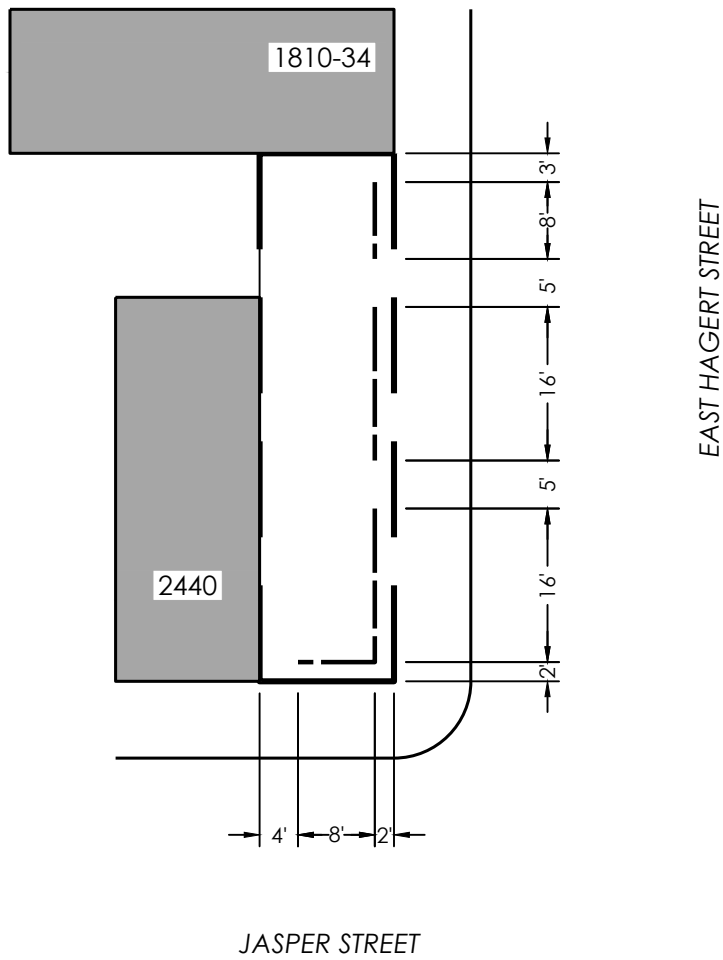


FENCE & TREE LAYOUT
 2431 NORTH FRONT STREET





Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2442 JASPER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11532EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



EAST HAGERT STREET

JASPER STREET

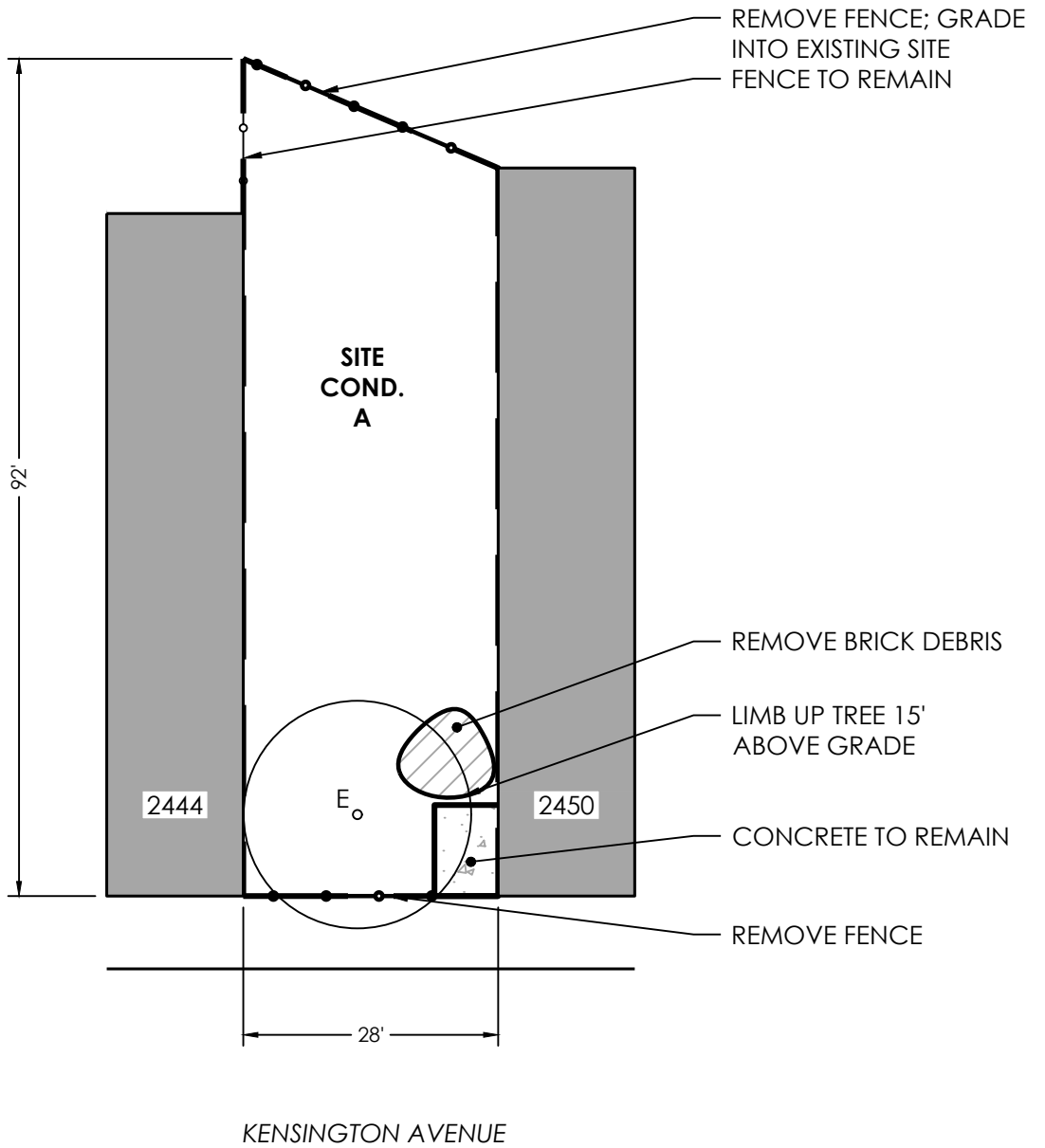
Initial Date	7/27/2024
Scale	1" = 20'
Group	Group E
Project ID	VL11532EN_CLP



FENCE & TREE LAYOUT

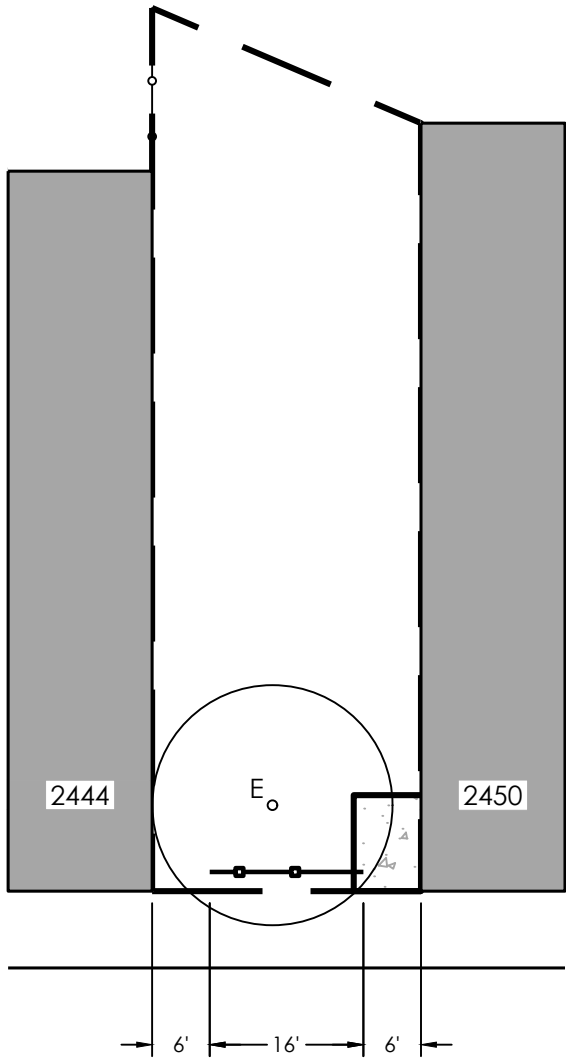
2442 JASPER STREET





KENSINGTON AVENUE

Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2446-2448 KENSINGTON AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11533EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



KENSINGTON AVENUE

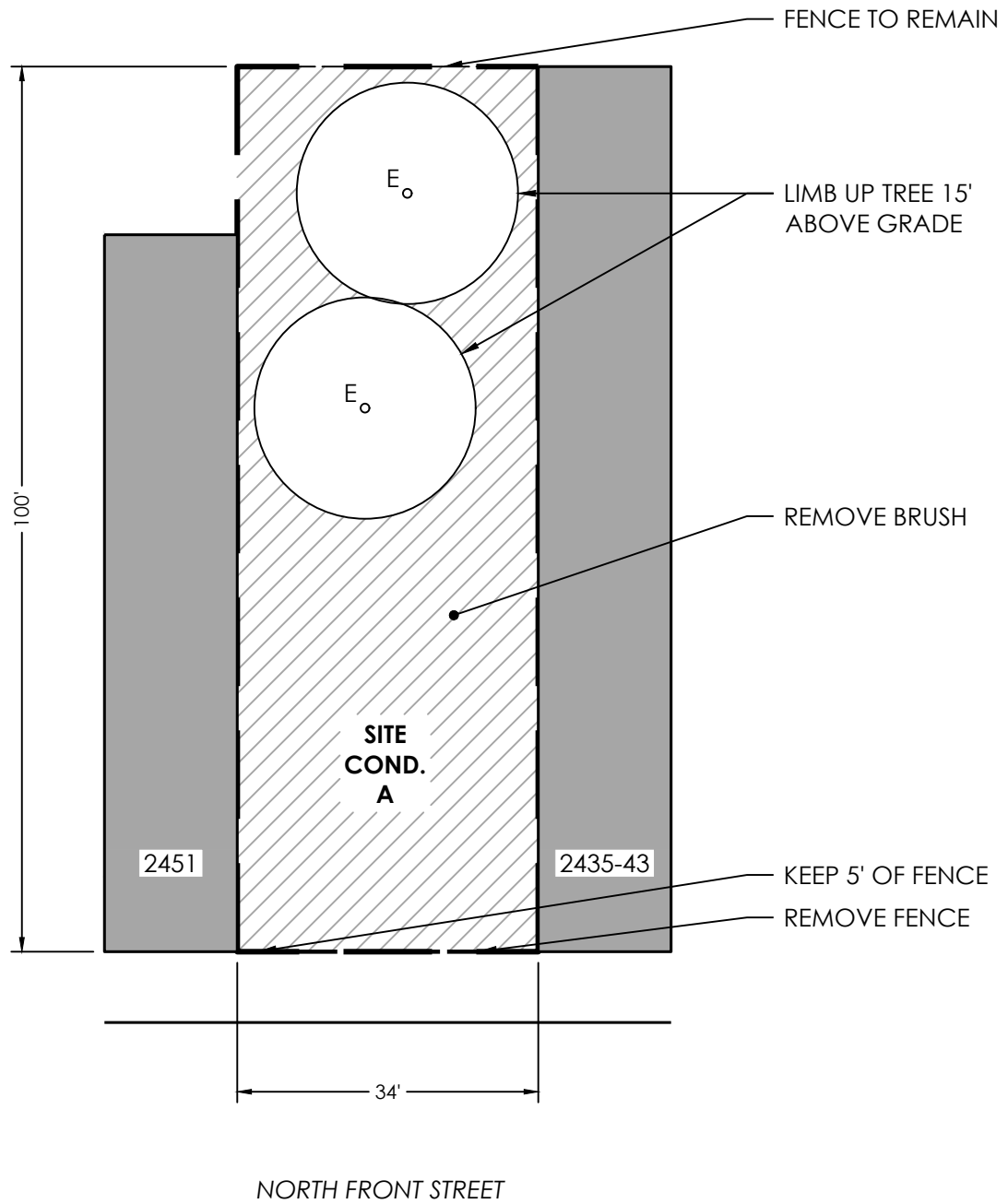
Initial Date	7/27/2024
Scale	1" = 20'
Group E	
VL11533EN_CLP	



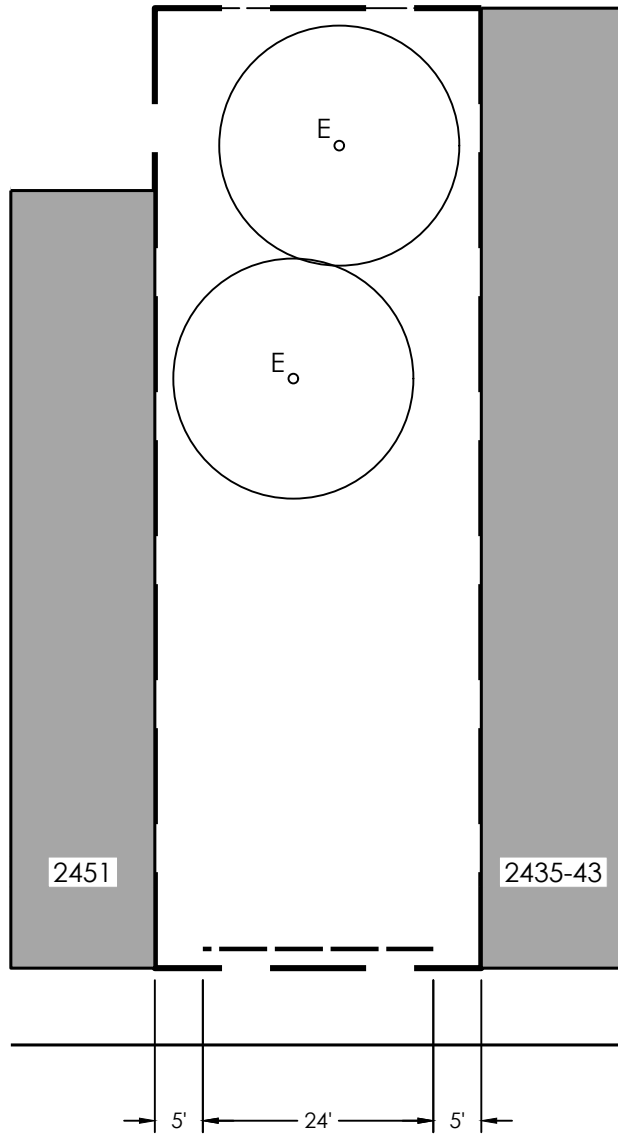
FENCE & TREE LAYOUT

2446-2448 KENSINGTON AVENUE



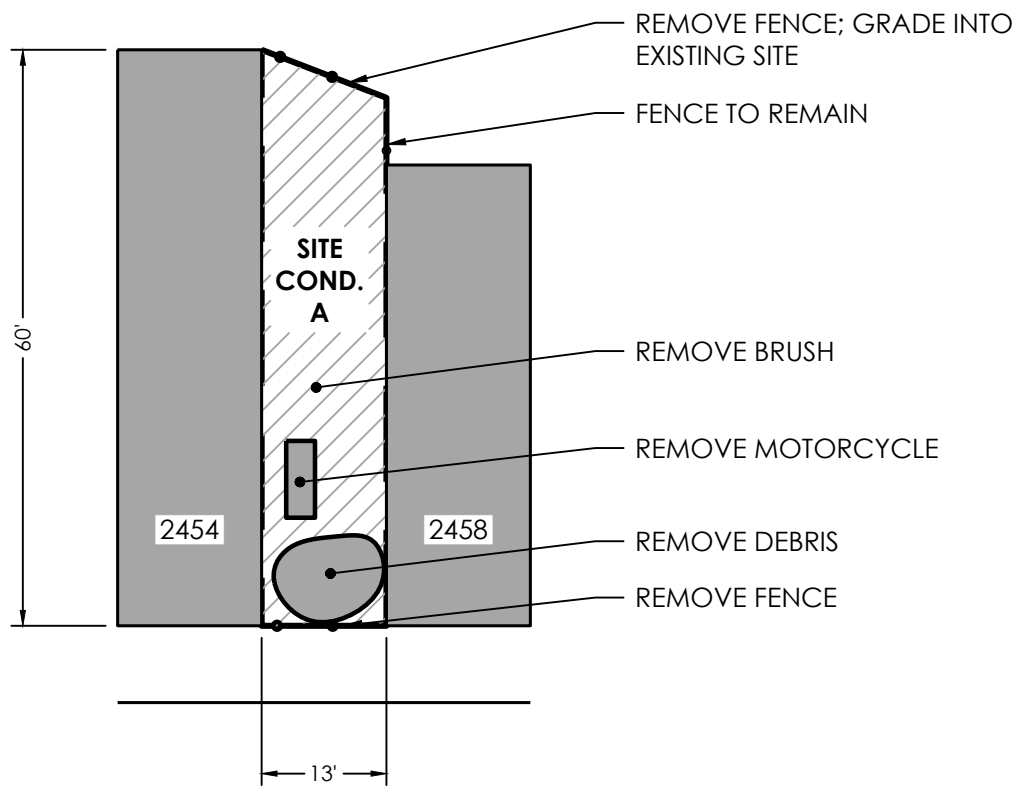


Initial Date 7/27/2024		<h2>EXISTING CONDITIONS</h2> <p>2447-2449 NORTH FRONT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11534EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



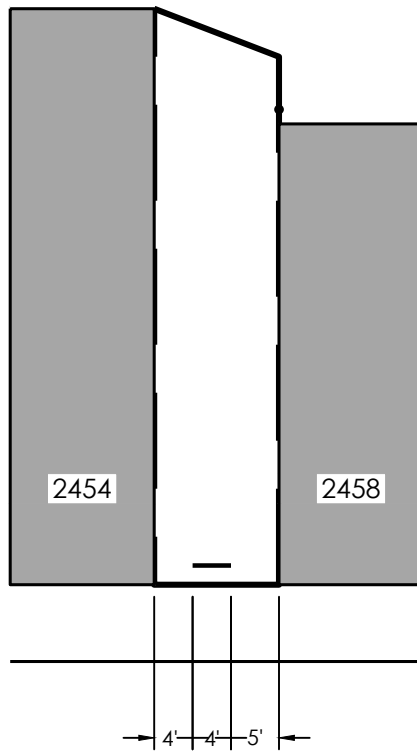
NORTH FRONT STREET

Initial Date 7/27/2024		<h2>FENCE & TREE LAYOUT</h2> <p>2447-2449 NORTH FRONT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11534EN_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



KENSINGTON AVENUE

Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>2456 KENSINGTON AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11536EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



KENSINGTON AVENUE

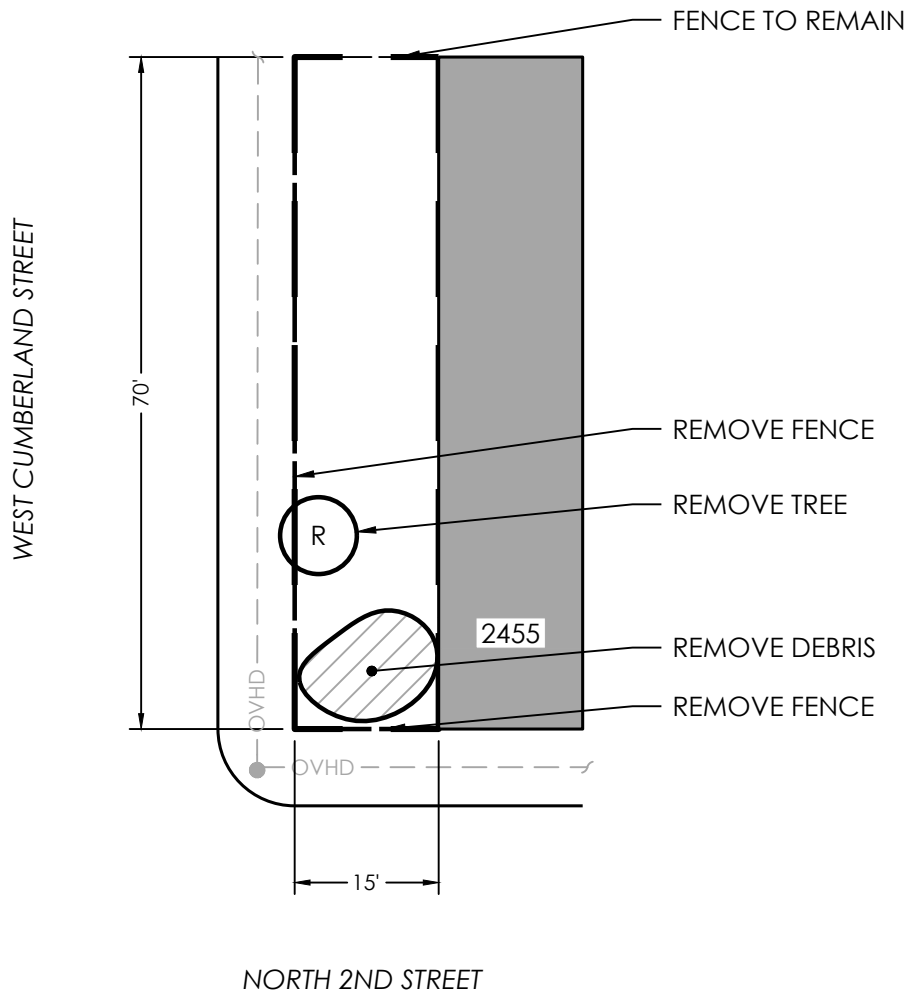
Initial Date	7/28/2024
Scale	1" = 20'
Group E	
VL11536EN_CLP	



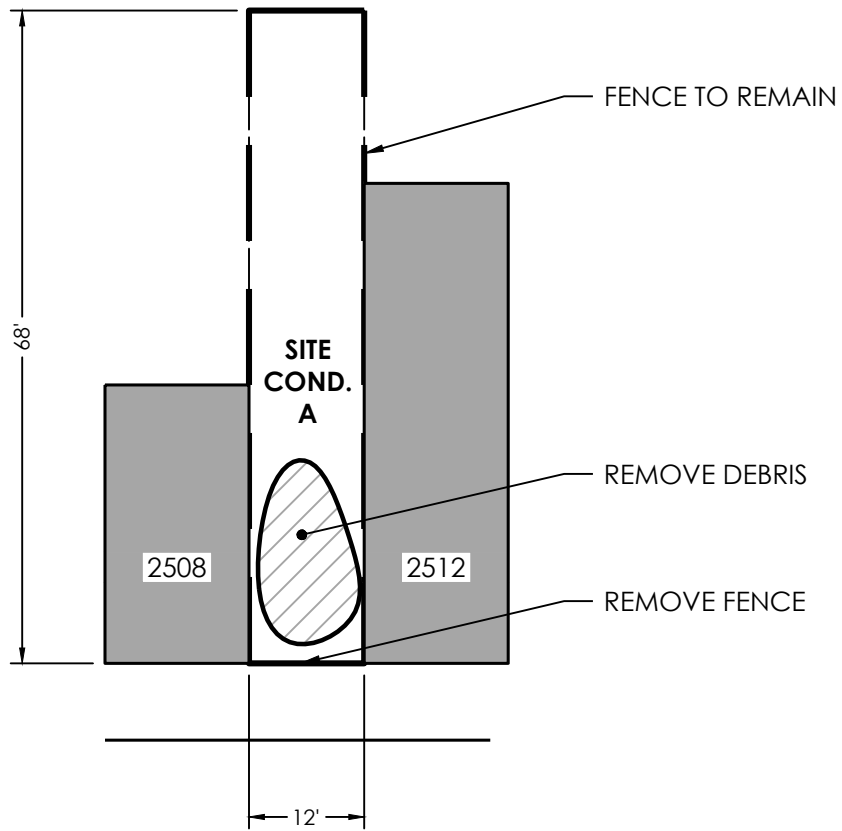
FENCE & TREE LAYOUT

2456 KENSINGTON AVENUE



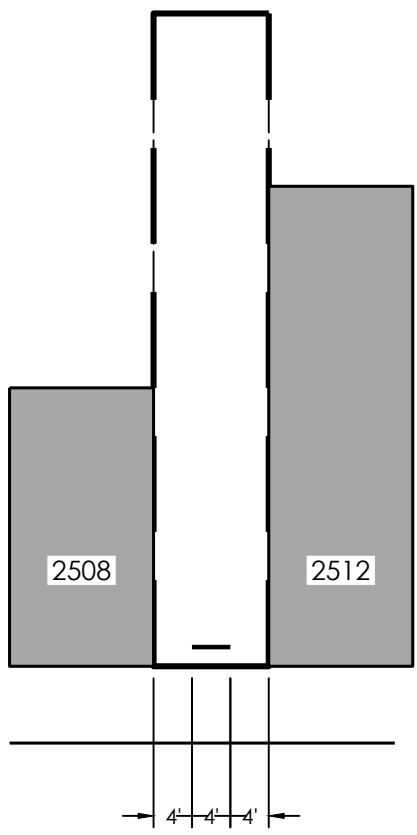


Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2457 NORTH 2ND STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11537EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



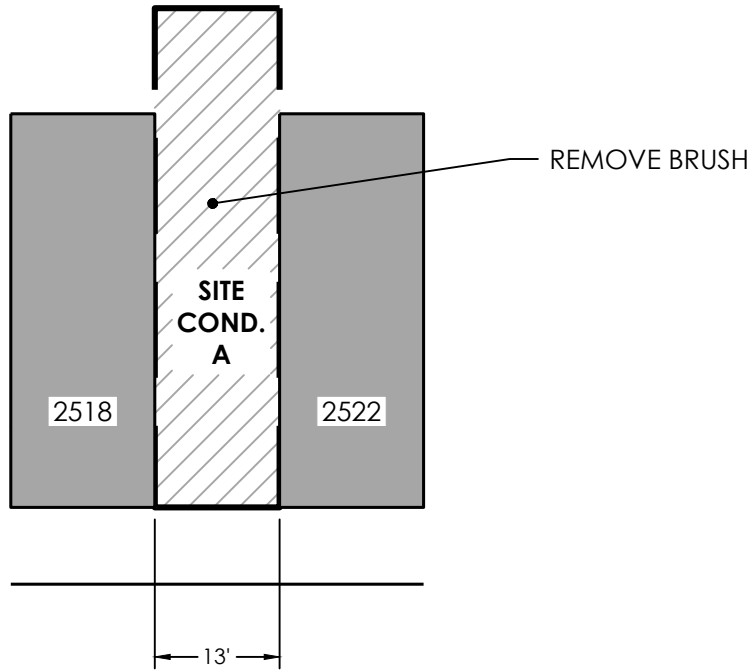
NORTH WATER STREET

Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>2510 NORTH WATER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11539ENCLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



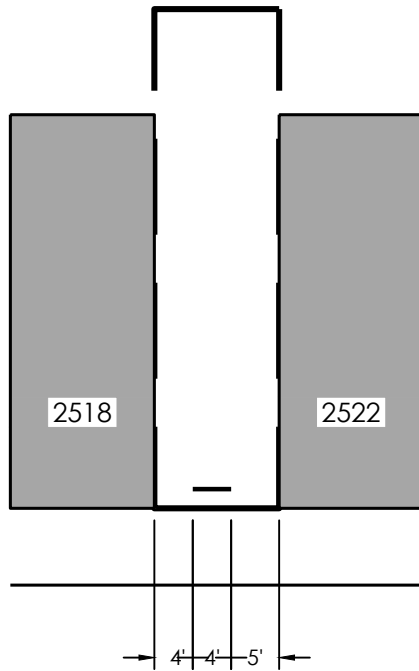
NORTH WATER STREET

Initial Date 7/28/2024		<h1>FENCE & TREE LAYOUT</h1> <p>2510 NORTH WATER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11539ENCLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



NORTH HOWARD STREET

Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2520 NORTH HOWARD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11540EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH HOWARD STREET

Initial Date
7/27/2024

Scale
1" = 20'

Group E

VL11540EN_CLP



FENCE & TREE LAYOUT

2520 NORTH HOWARD STREET

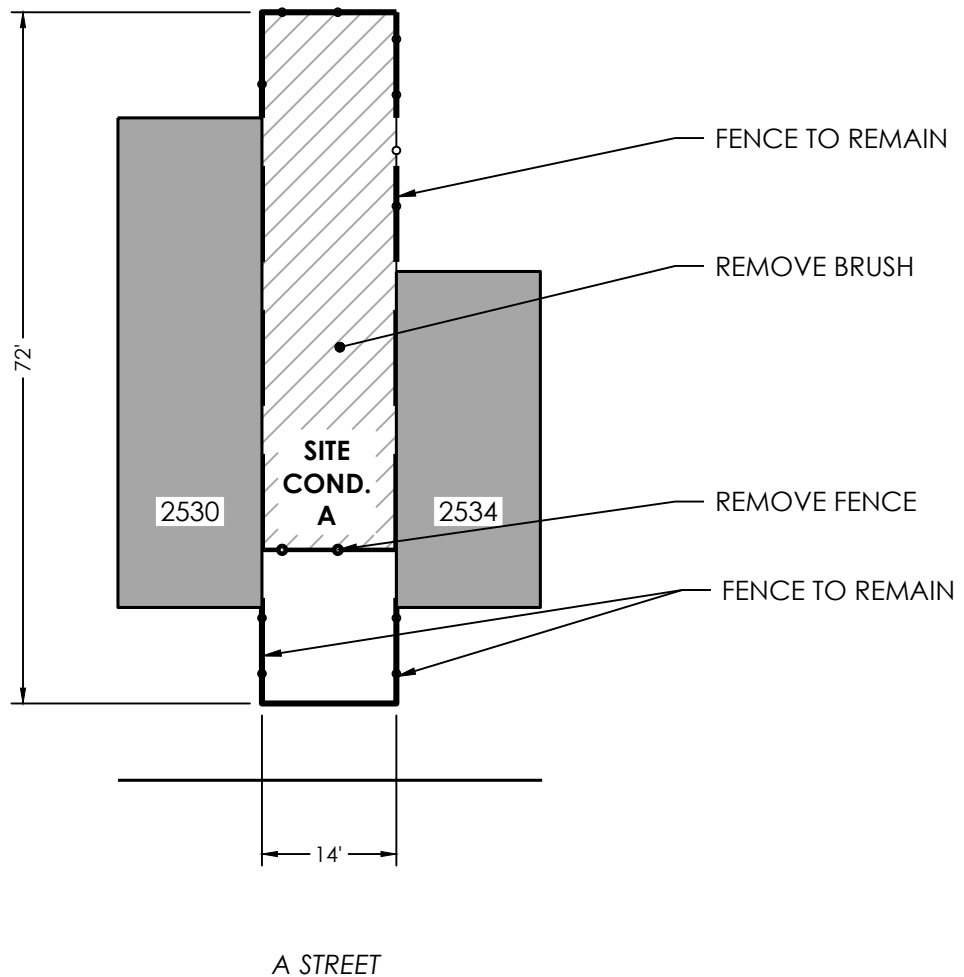
Project Of:



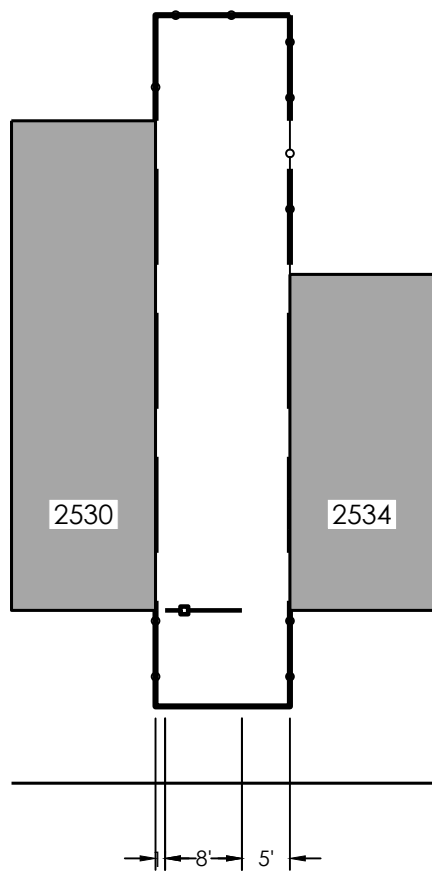
Project Manager:



PHS



Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2532 A STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11542EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



A STREET

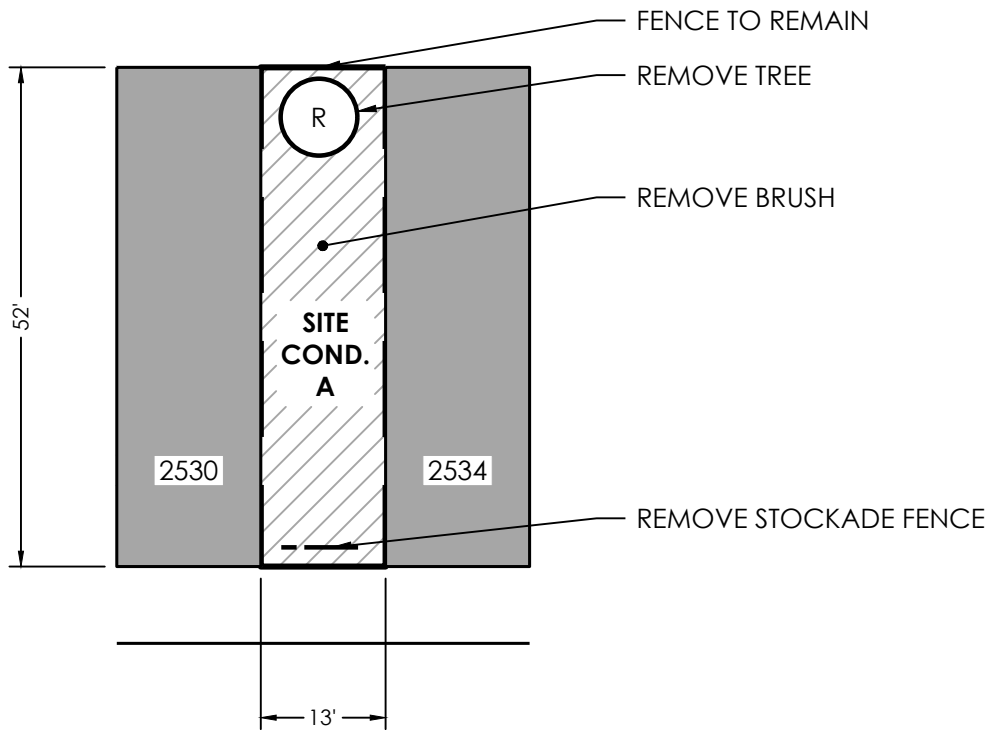
Initial Date	7/27/2024
Scale	1" = 20'
Group E	
VL11542EN_CLP	



FENCE & TREE LAYOUT

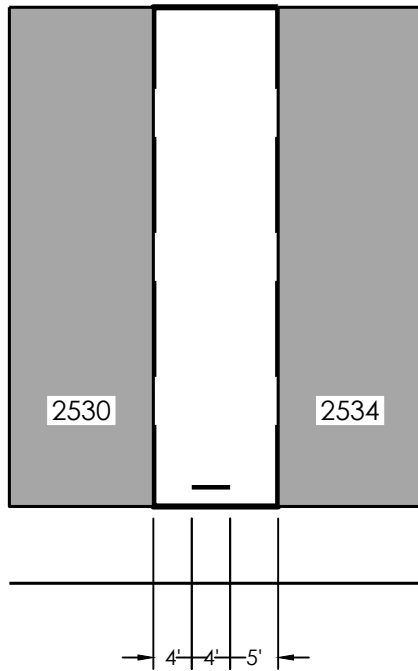
2532 A STREET





NORTH HOWARD STREET

Initial Date 7/27/2024		<h1>EXISTING CONDITIONS</h1> <p>2532 NORTH HOWARD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11543EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH HOWARD STREET

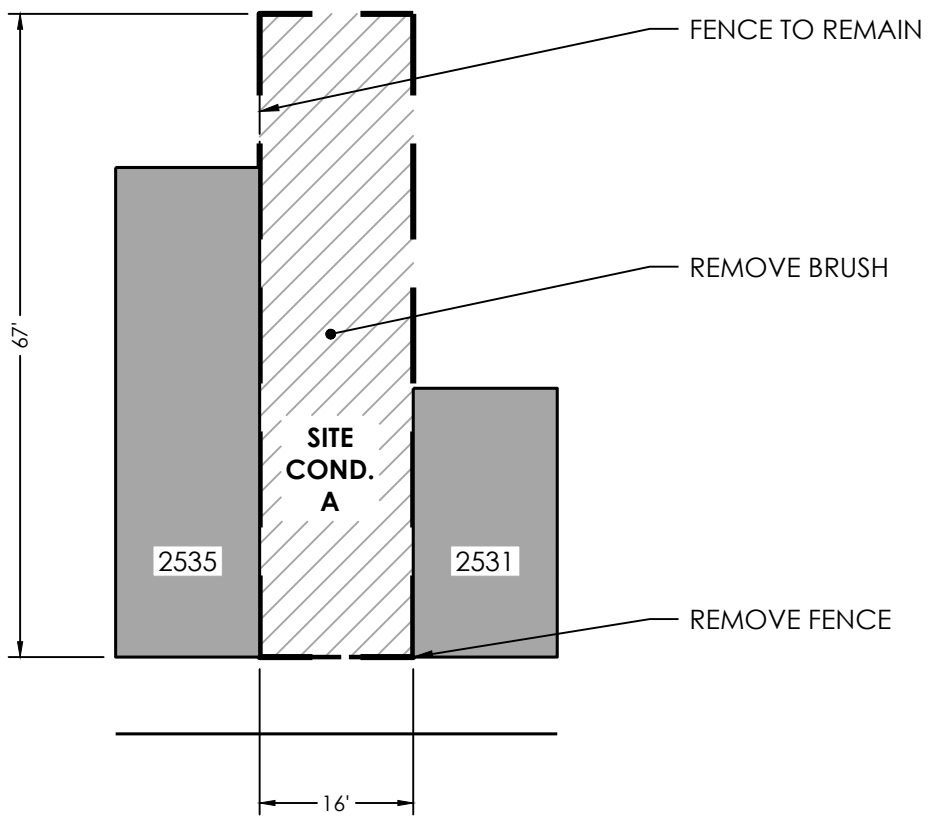
Initial Date
7/27/2024
Scale
1" = 20'
Group E
VL11543EN_CLP



FENCE & TREE LAYOUT

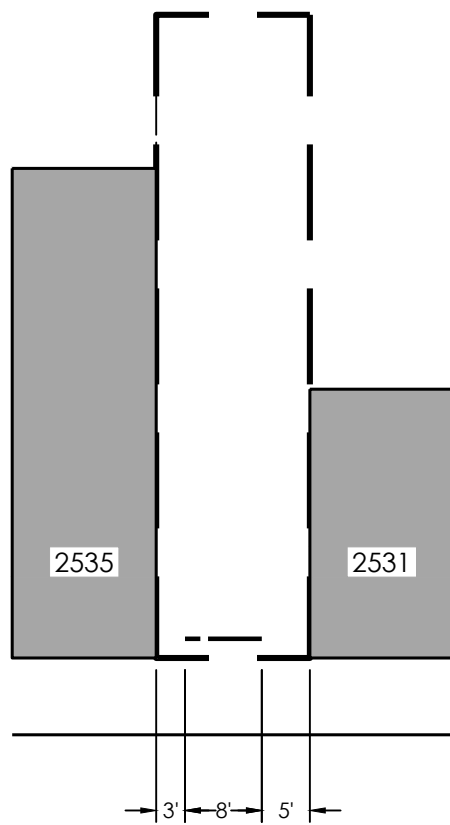
2532 NORTH HOWARD STREET





NORTH FRONT STREET

Initial Date 7/27/2024		<h2>EXISTING CONDITIONS</h2> <p>2533 NORTH FRONT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11544EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



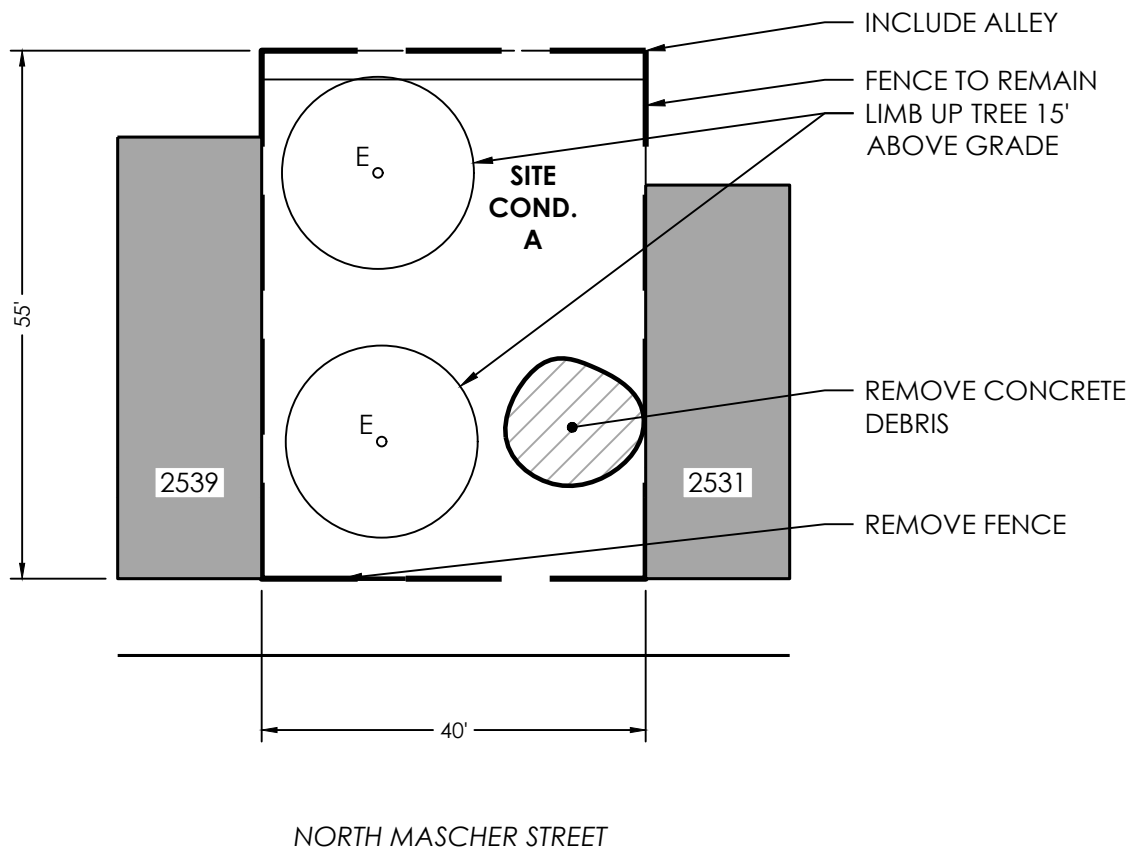
NORTH FRONT STREET

Initial Date
7/27/2024
Scale
1" = 20'
Group E

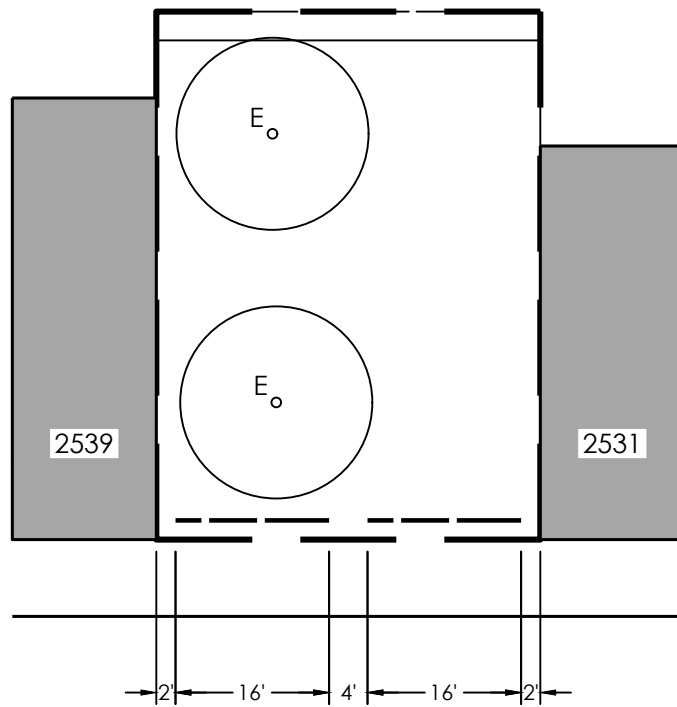


FENCE & TREE LAYOUT
2533 NORTH FRONT STREET





Initial Date 7/27/2024		<h2>EXISTING CONDITIONS</h2> <p>2533-2537 NORTH MASCHER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11545EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



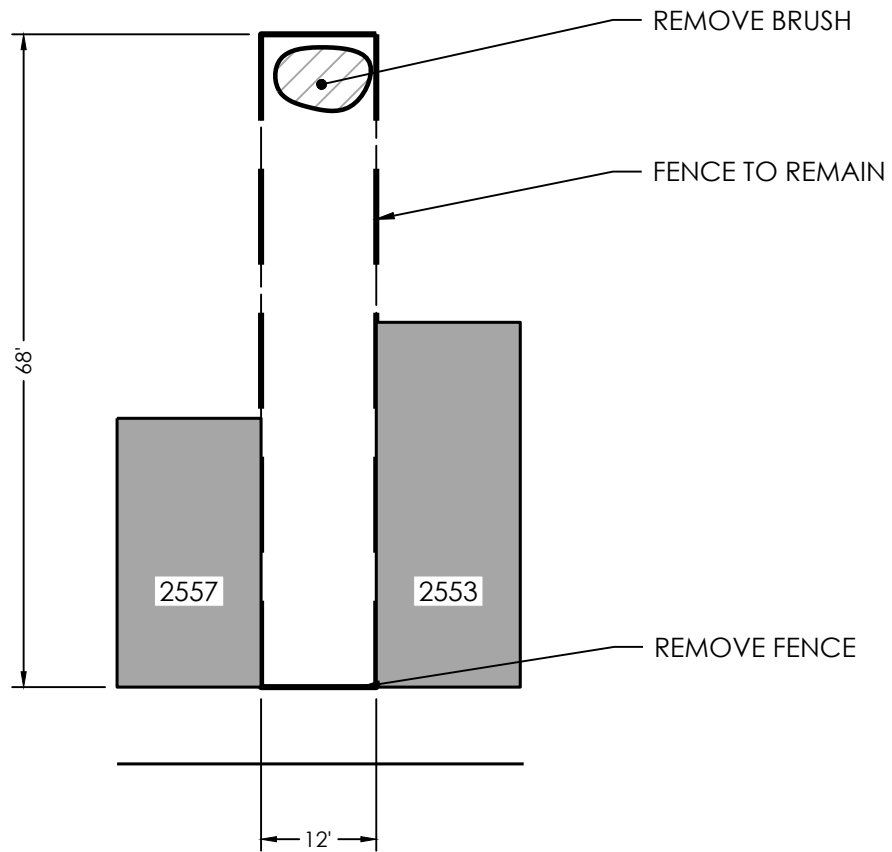
NORTH MASCHER STREET

Initial Date	7/27/2024
Scale	1" = 20'
Group E	
VL11545EN_CLP	

FENCE & TREE LAYOUT

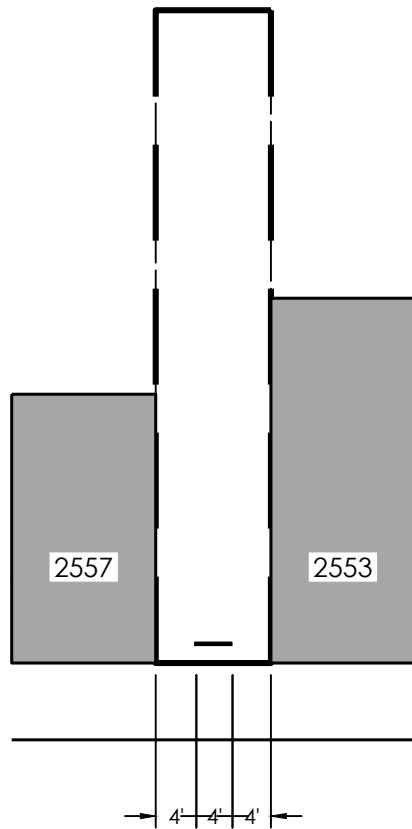
2533-2537 NORTH MASCHER STREET





NORH LEE STREET

Initial Date 7/27/2024		<h2>EXISTING CONDITIONS</h2> <p>2555 NORT LEE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11547EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



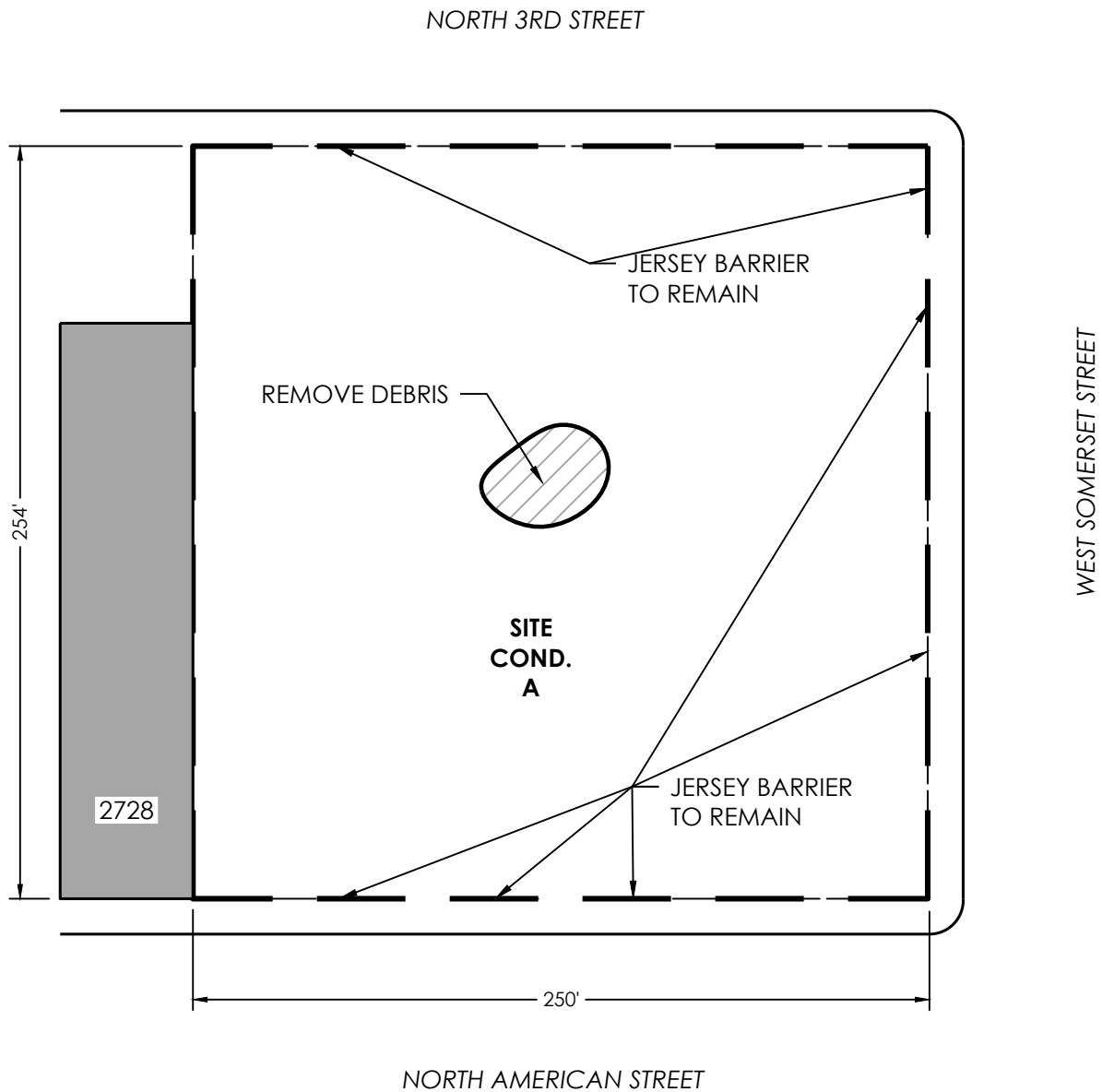
NORH LEE STREET

Initial Date
7/27/2024
Scale
1" = 20'
Group E



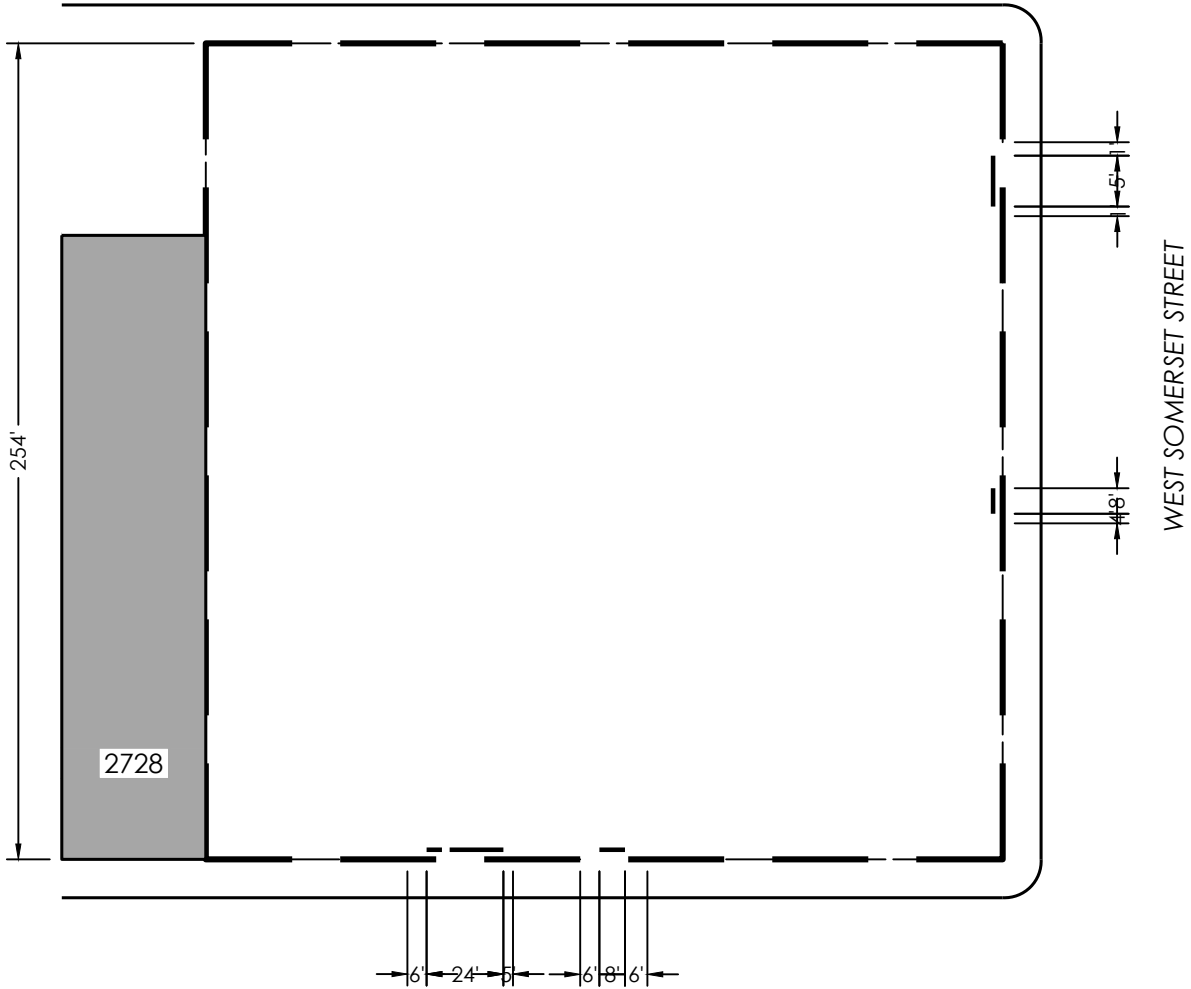
FENCE & TREE LAYOUT
2555 NORT LEE STREET





Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2730-2770 NORTH AMERICAN STREET</p>	Project Of:	Project Manager:
Scale 1" = 60'				
Group E				
VL11551EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

NORTH 3RD STREET



NORTH AMERICAN STREET

WEST SOMERSET STREET

2728



FENCE & TREE LAYOUT

2730-2770 NORTH AMERICAN STREET

Project Of:



Project Manager:



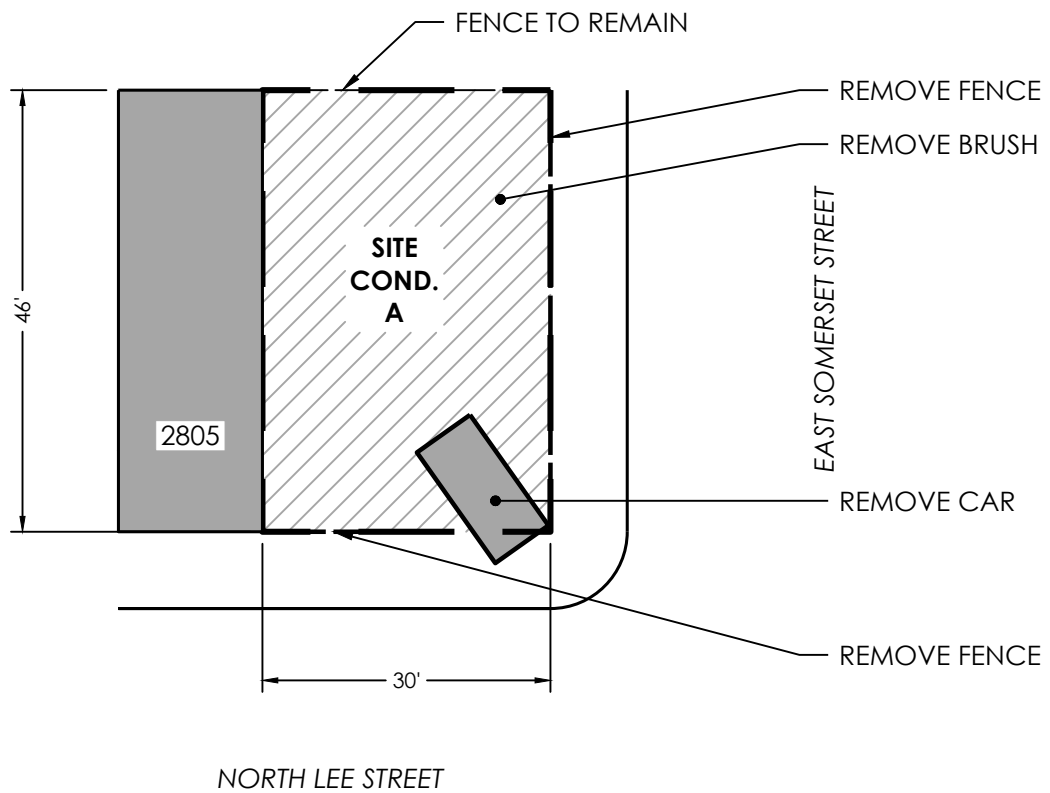
PHS

VL11551EN_CLP

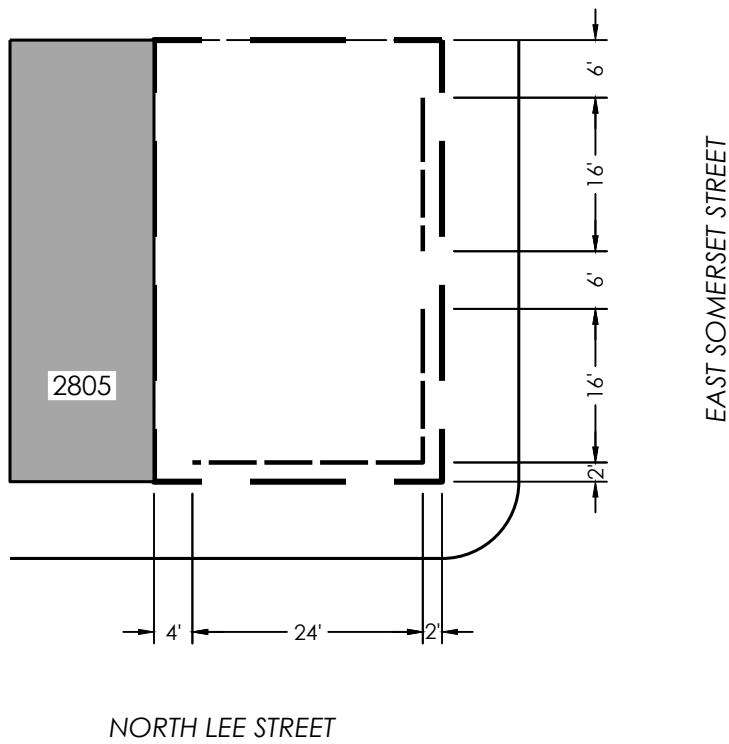
Initial Date
7/28/2024

Scale
1" = 60'

Group E



Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>2801-2803 NORTH LEE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11555EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



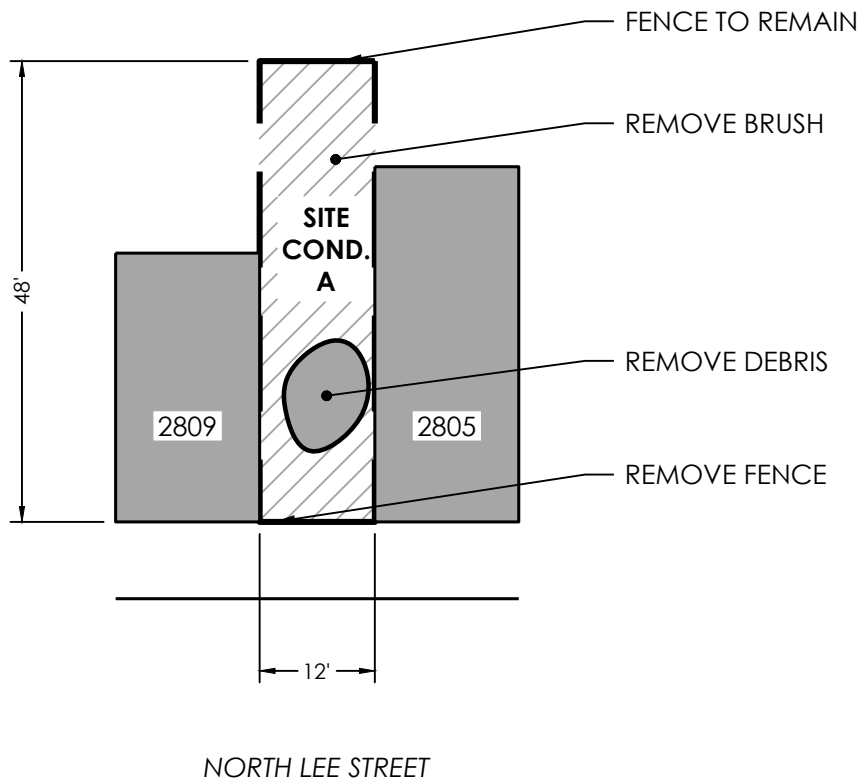
Initial Date	7/28/2024
Scale	1" = 20'
Group	E
Project ID	VL11555EN_CLP



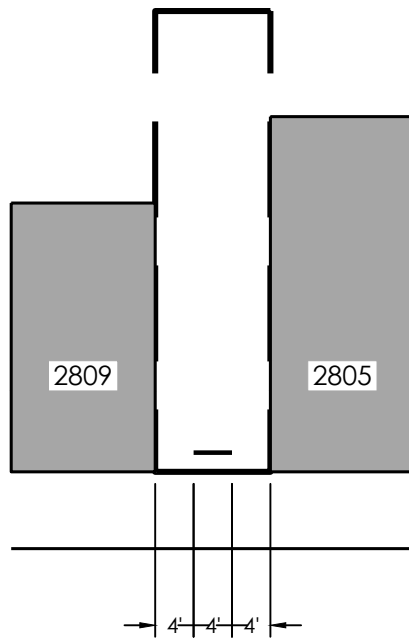
FENCE & TREE LAYOUT

2801-2803 NORTH LEE STREET





Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2807 NORTH LEE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11556EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH LEE STREET

Initial Date
7/28/2024

Scale
1" = 20'

Group E

VL11556EN_CLP



FENCE & TREE LAYOUT

2807 NORTH LEE STREET

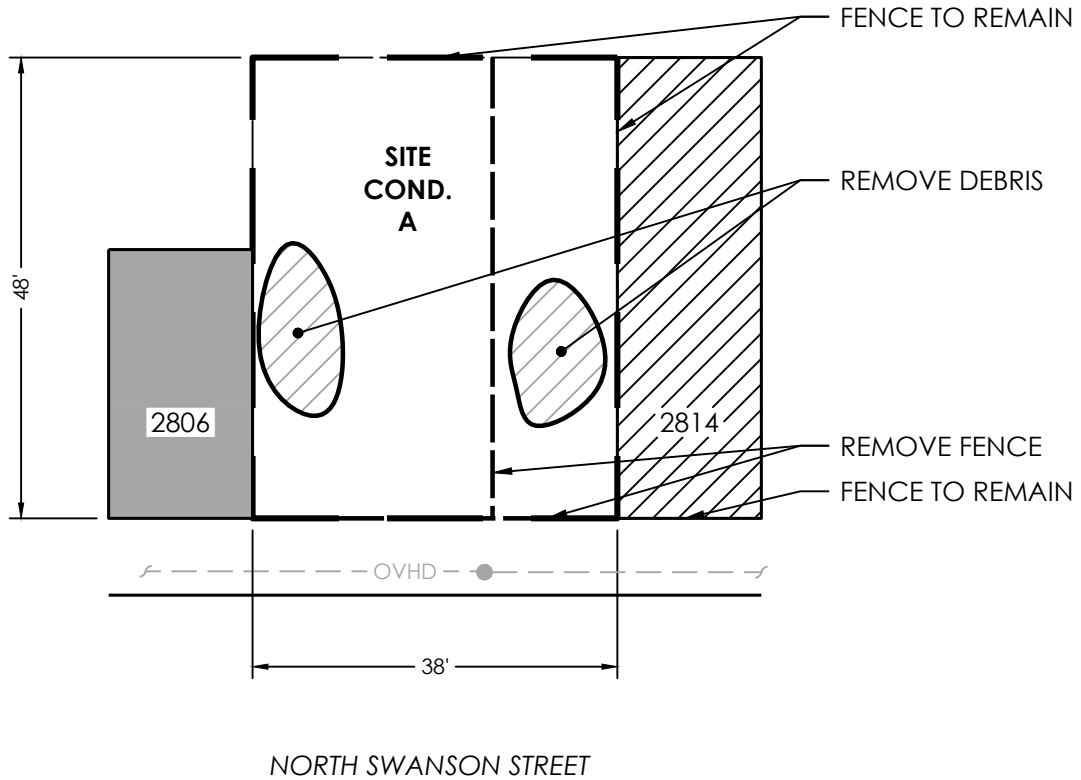
Project Of:



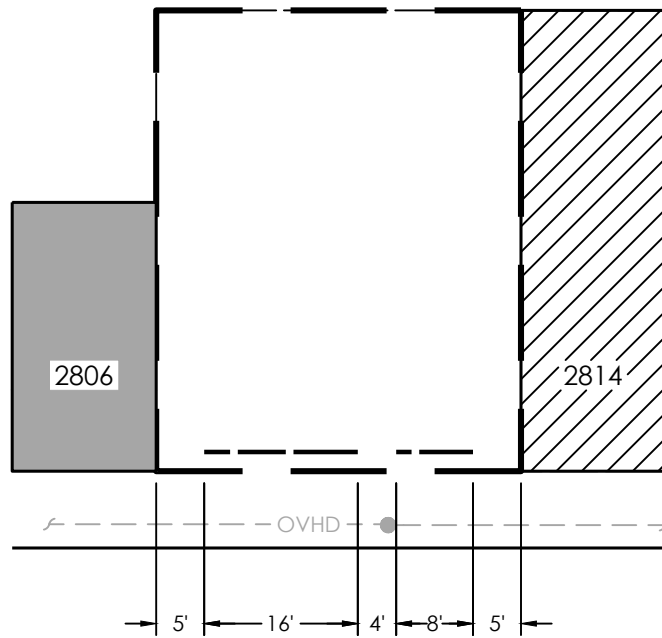
Project Manager:



PHS



Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>2808-2812 NORTH SWANSON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11557EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH SWANSON STREET

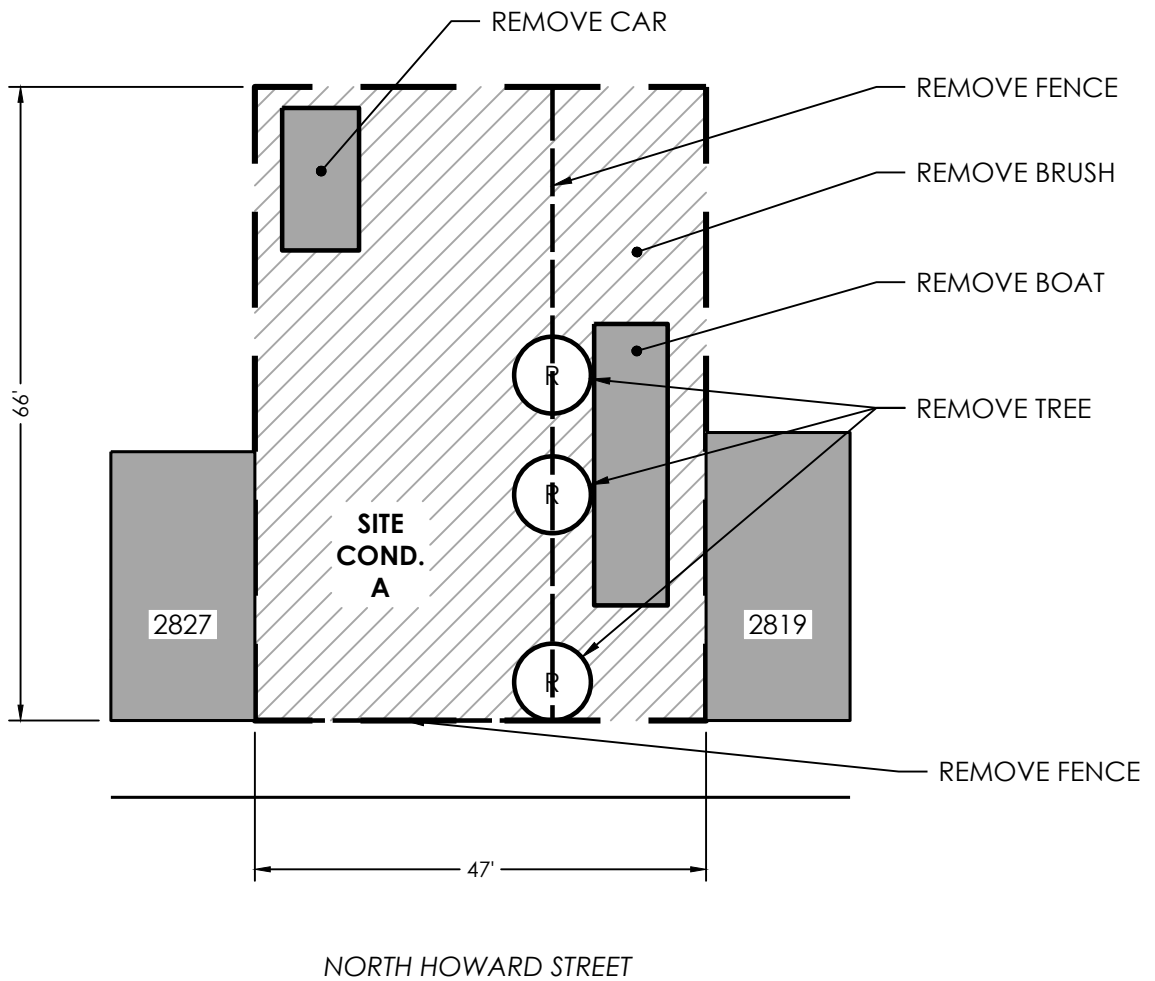
Initial Date	7/28/2024
Scale	1" = 20'
Group	E
Project ID	VL11557EN_CLP



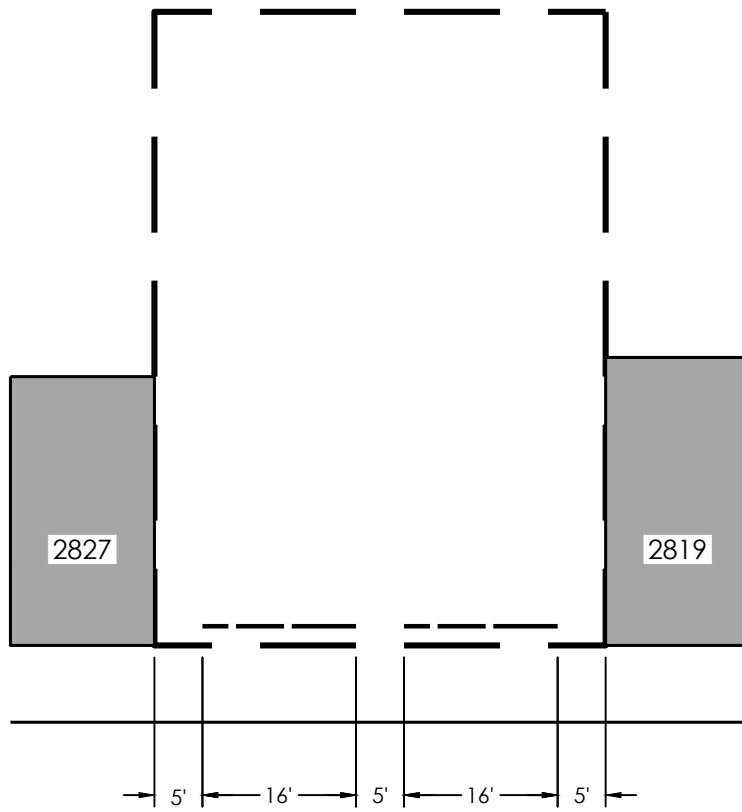
FENCE & TREE LAYOUT

2808-2812 NORTH SWANSON STREET





Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>2821-2825 NORTH HOWARD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11560EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH HOWARD STREET

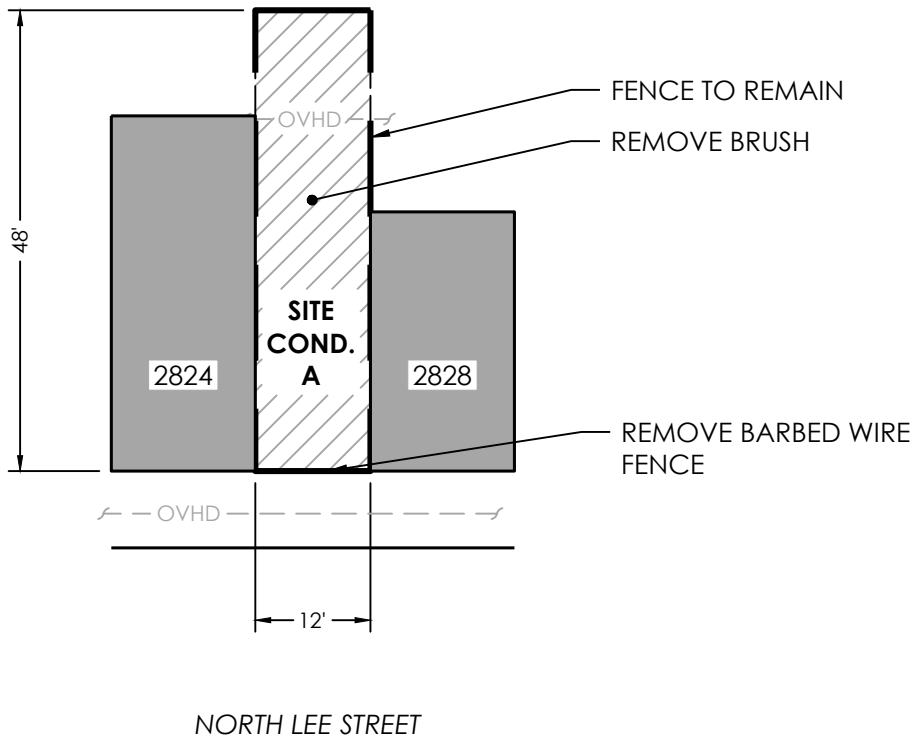
Initial Date	7/28/2024
Scale	1" = 20'
Group	E
Project ID	VL11560EN_CLP



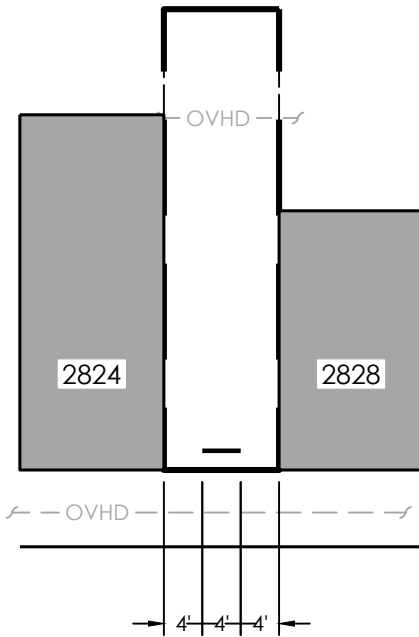
FENCE & TREE LAYOUT

2821-2825 NORTH HOWARD STREET





Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2826 NORTH LEE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11561EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH LEE STREET

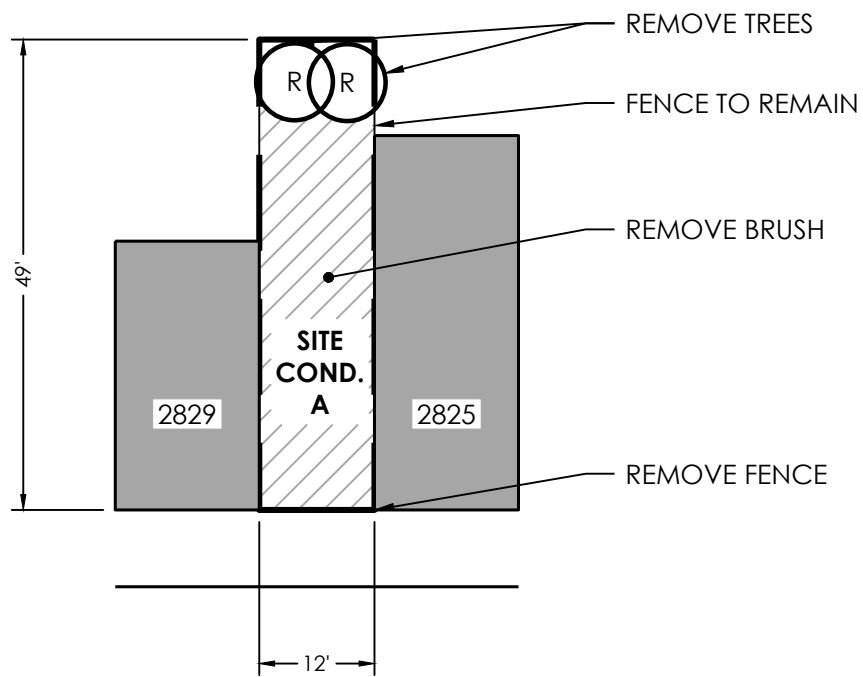
Initial Date	7/28/2024
Scale	1" = 20'
Group E	
VL11561EN_CLP	



FENCE & TREE LAYOUT

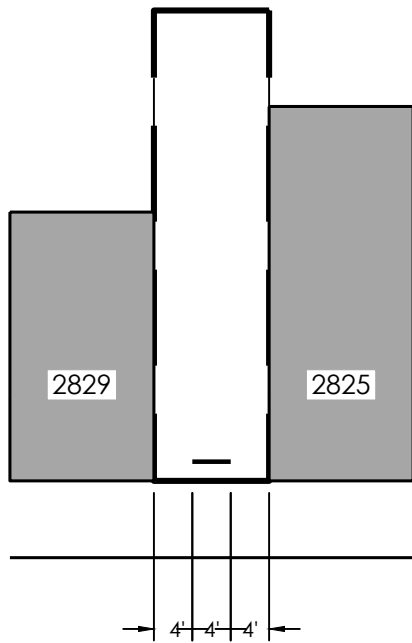
2826 NORTH LEE STREET





NORTH LEE STREET

Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2827 NORTH LEE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11562EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



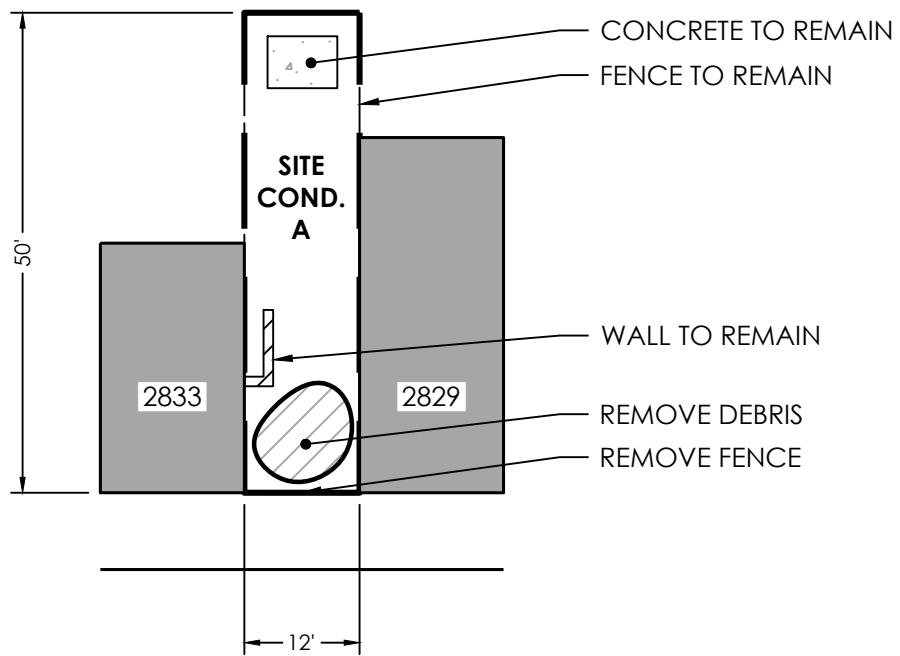
NORTH LEE STREET

Initial Date
7/28/2024
Scale
1" = 20'
Group E



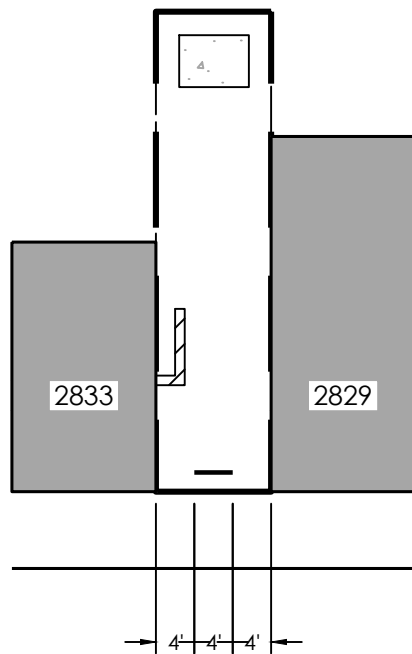
FENCE & TREE LAYOUT
2827 NORTH LEE STREET





NORTH WATER STREET

Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2831 NORTH WATER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11563EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

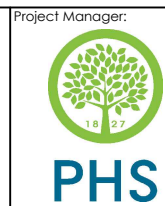


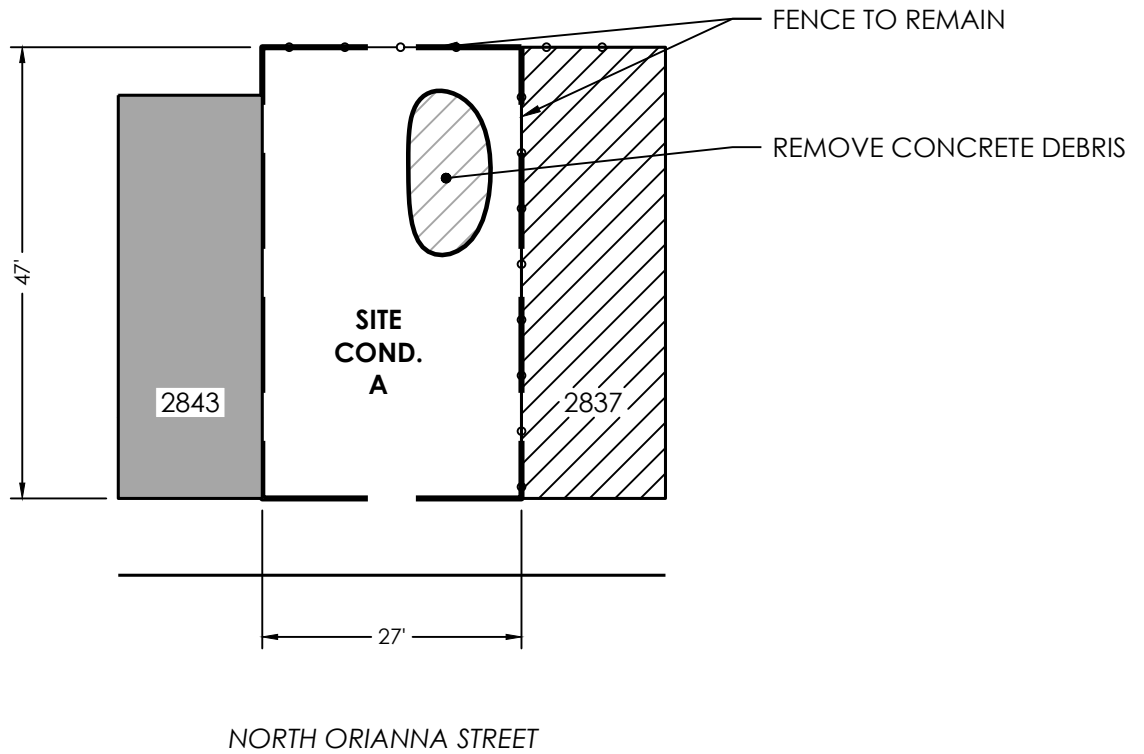
NORTH WATER STREET

Initial Date
7/28/2024
Scale
1" = 20'
Group E

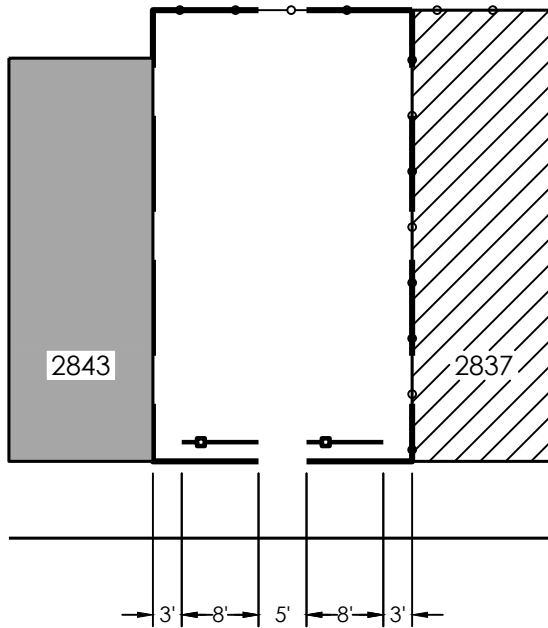


FENCE & TREE LAYOUT
2831 NORTH WATER STREET





Initial Date 7/27/2024		EXISTING CONDITIONS 2839-2841 NORTH ORIANNA STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11564EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



NORTH ORIANNA STREET

Initial Date
7/27/2024
Scale
1" = 20'
Group E



FENCE & TREE LAYOUT

2839-2841 NORTH ORIANNA STREET

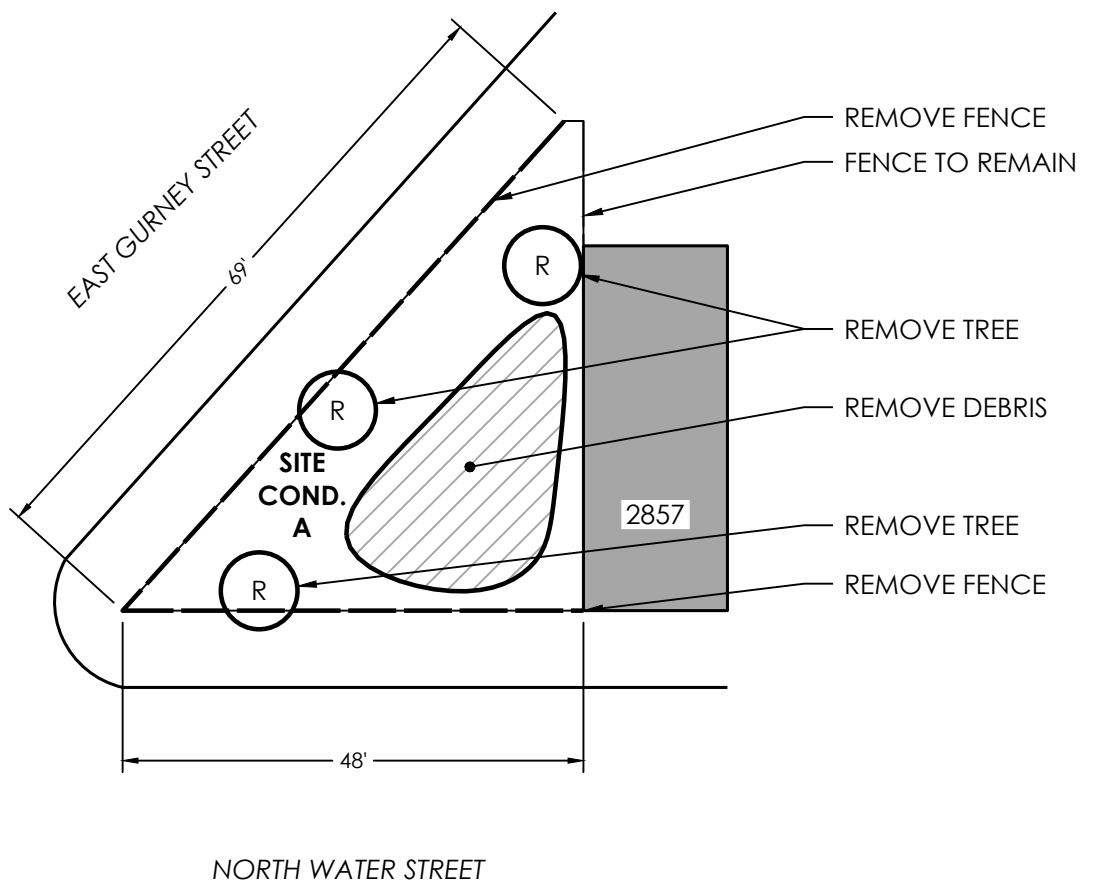
Project Of:



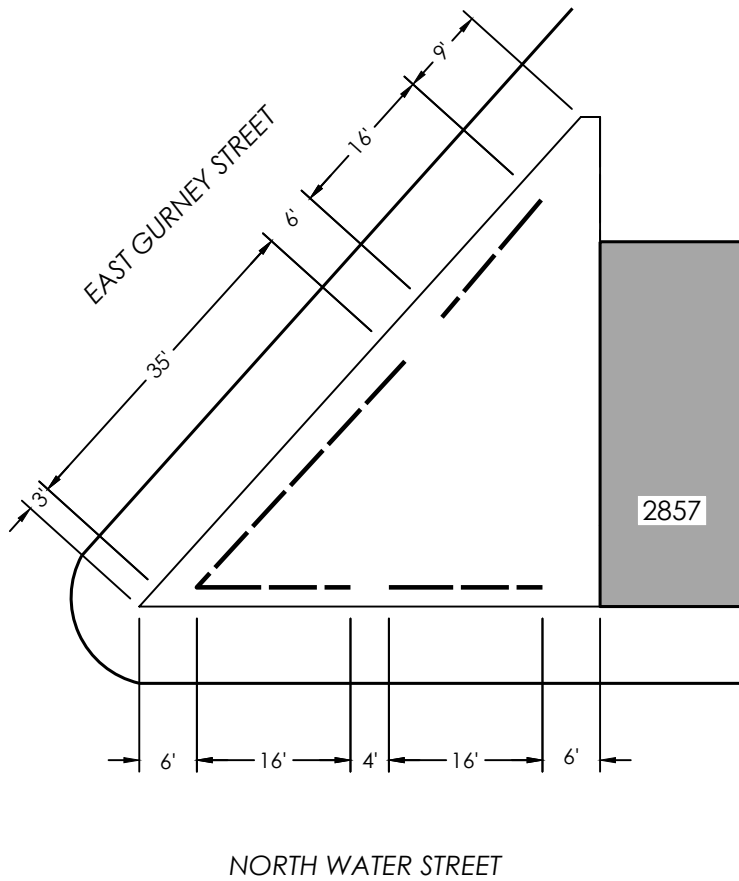
Project Manager:



VL11564EN_CLP



Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2859 NORTH WATER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11565EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
7/28/2024

Scale
1" = 20'

Group E

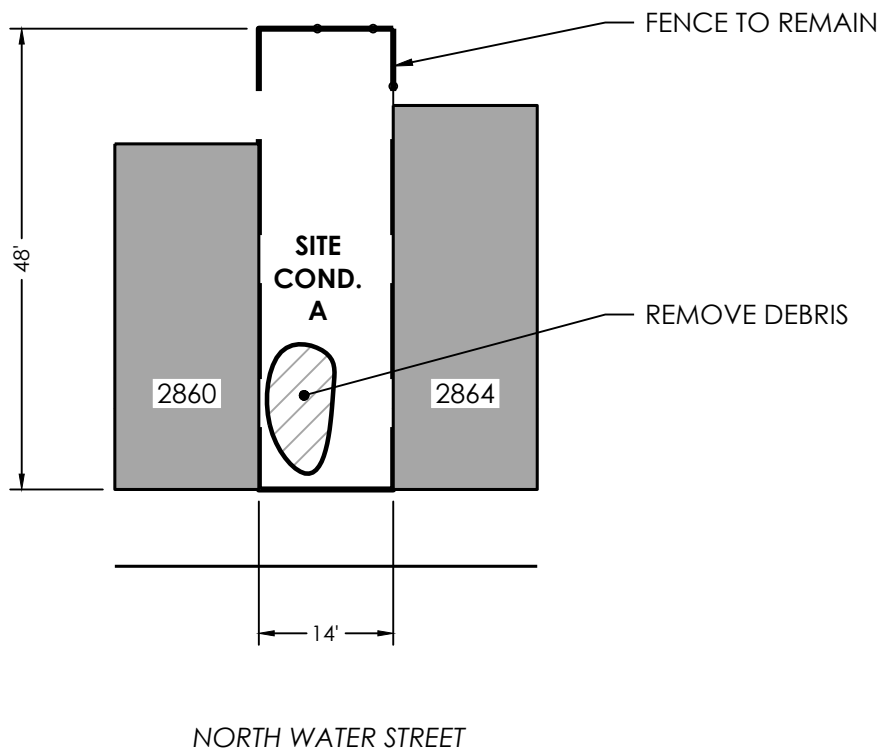
VL11565EN_CLP



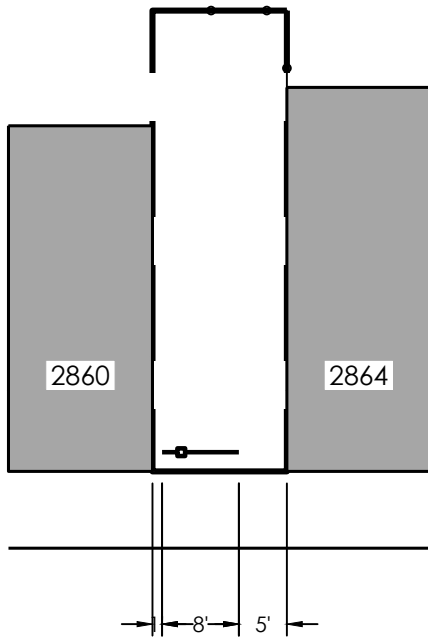
FENCE & TREE LAYOUT

2859 NORTH WATER STREET





Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>2862 NORTH WATER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11566EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH WATER STREET

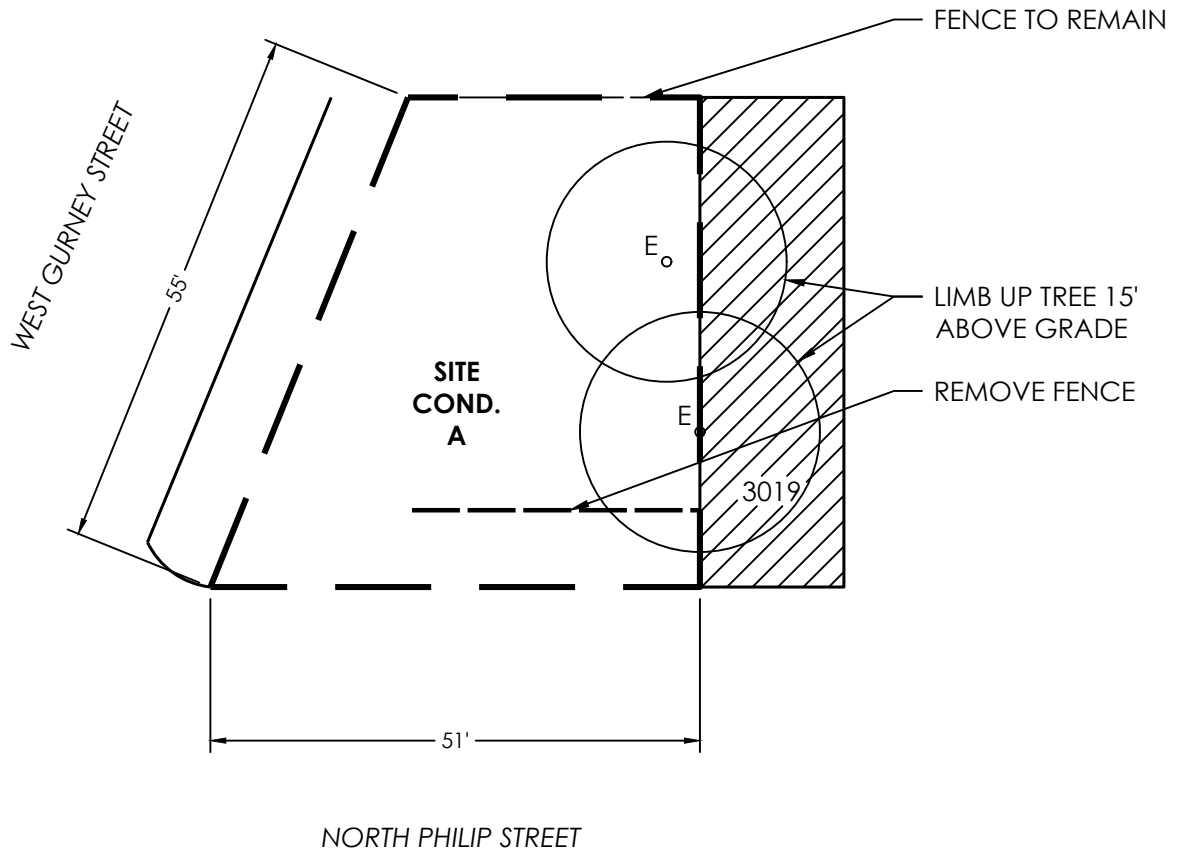
Initial Date	7/28/2024
Scale	1" = 20'
Group E	
VL11566EN_CLP	



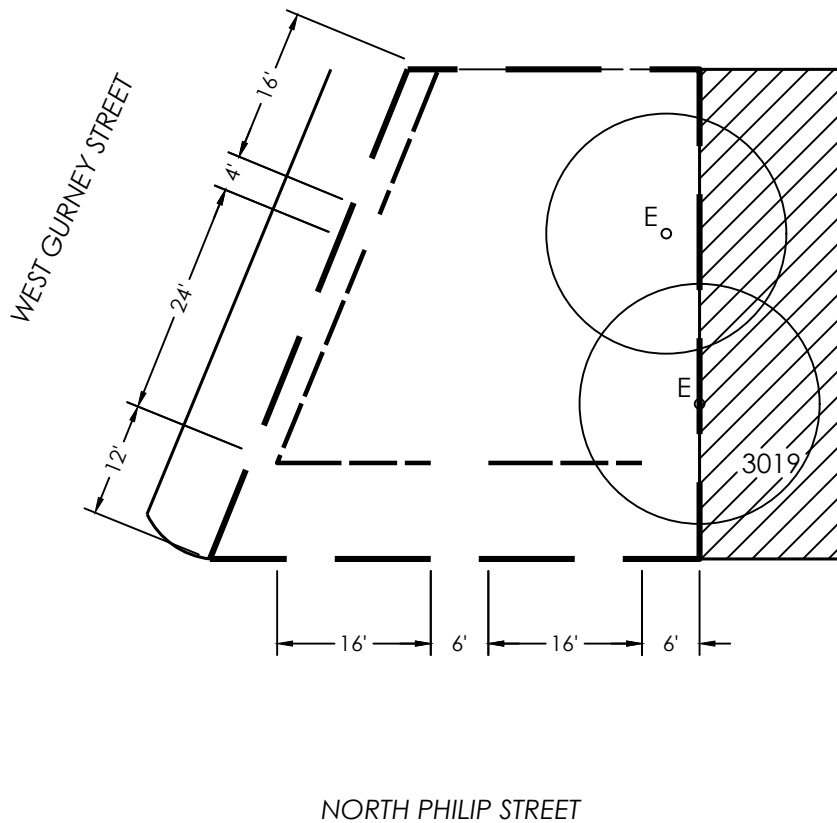
FENCE & TREE LAYOUT

2862 NORTH WATER STREET

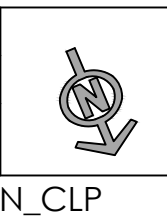




Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>3021-3025 N PHILIP STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11568EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

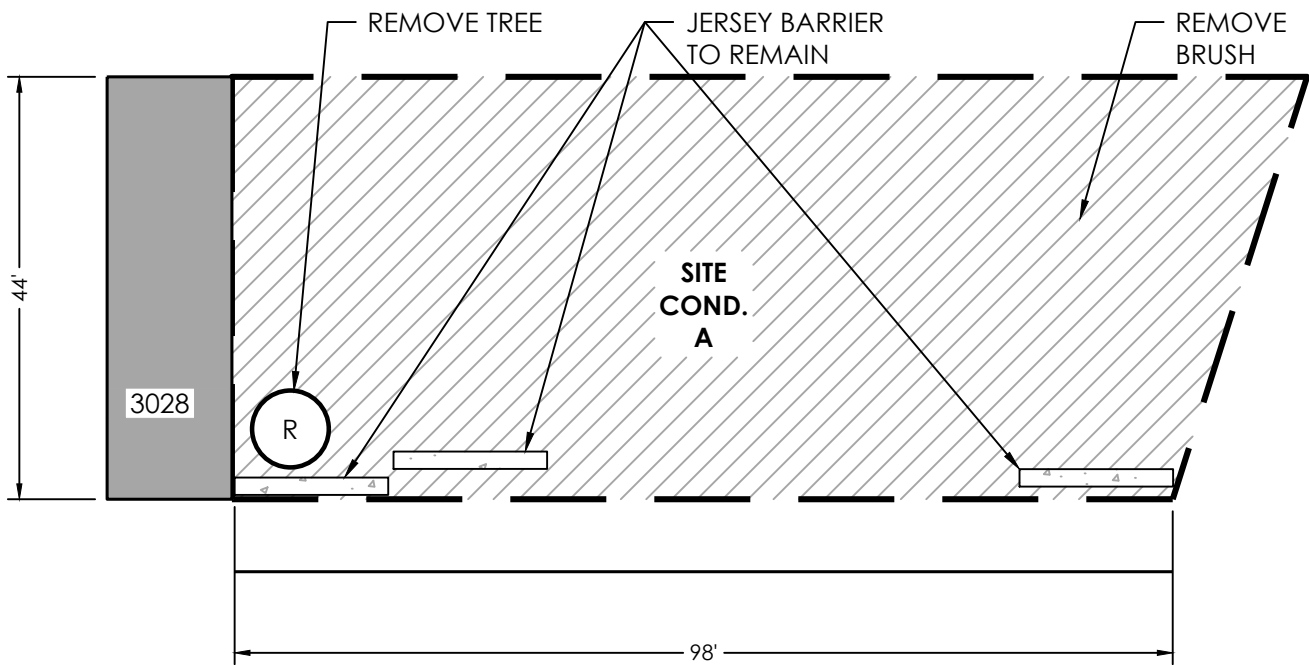


Initial Date	7/28/2024
Scale	1" = 20'
Group	E
Project ID	VL11568EN_CLP



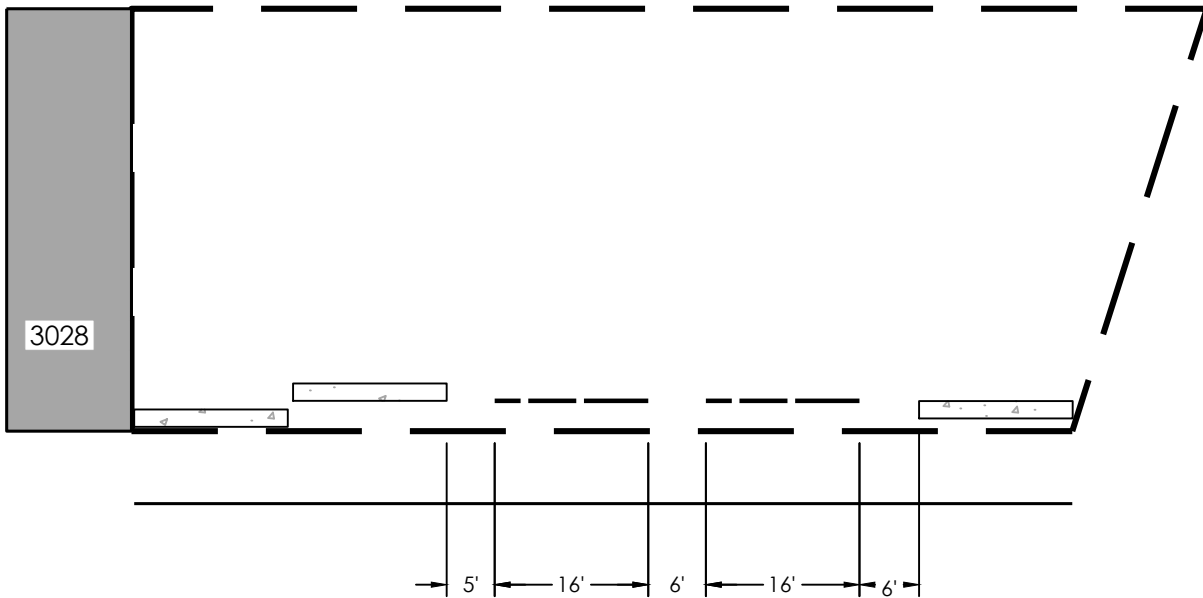
FENCE & TREE LAYOUT
 3021-3025 N PHILIP STREET





NORTH AMERICAN STREET

Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>3030-3042 NORTH AMERICAN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11569EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH AMERICAN STREET

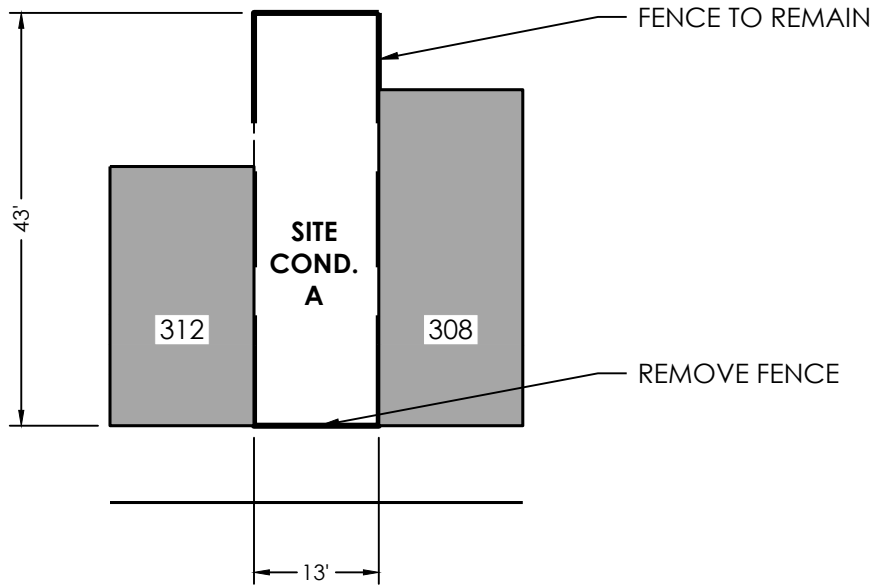
Initial Date	7/28/2024
Scale	1" = 20'
Group E	
VL11569EN_CLP	



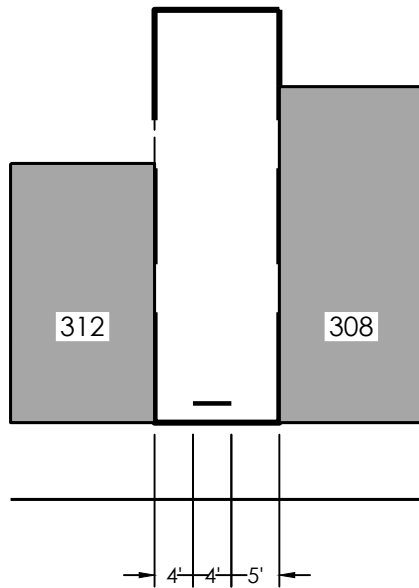
FENCE & TREE LAYOUT

3030-3042 NORTH AMERICAN STREET





Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>310 EAST STERNER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11570EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



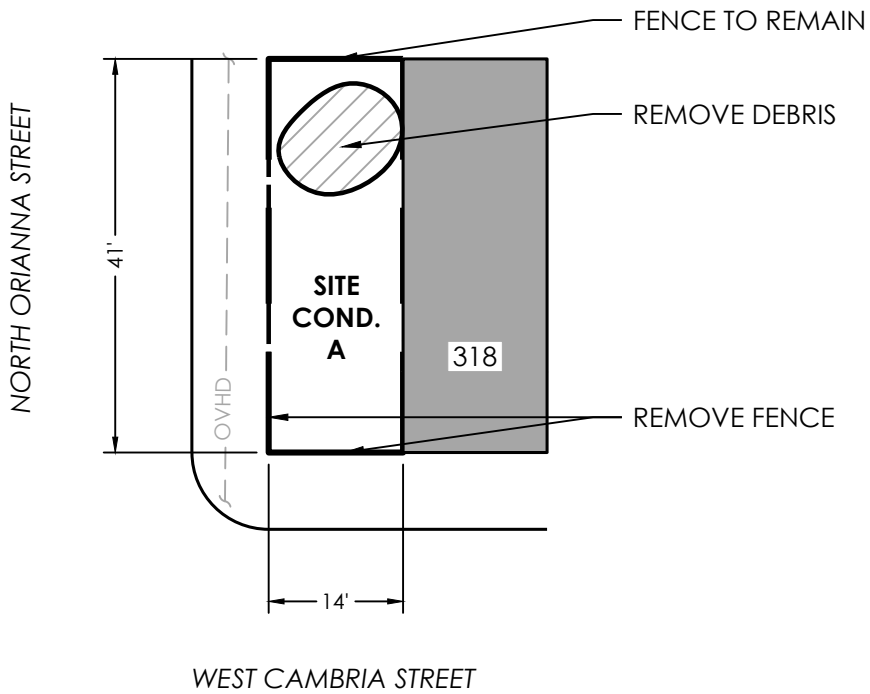
EAST STERNER STREET

Initial Date
7/28/2024
Scale
1" = 20'
Group E

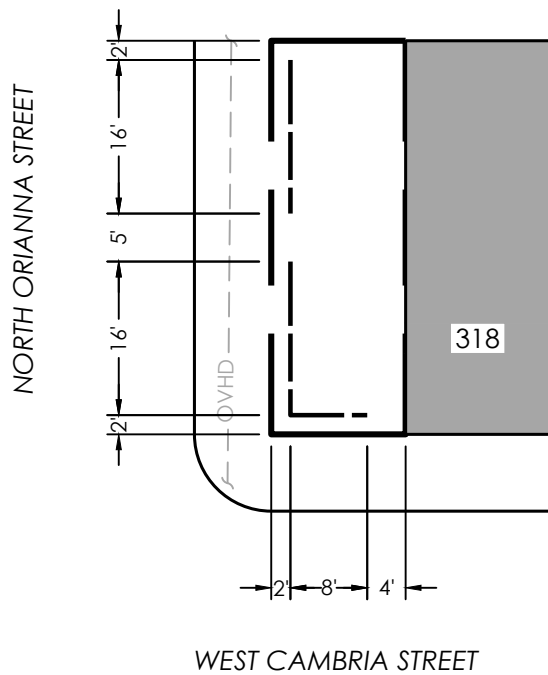


FENCE & TREE LAYOUT
310 EAST STERNER STREET

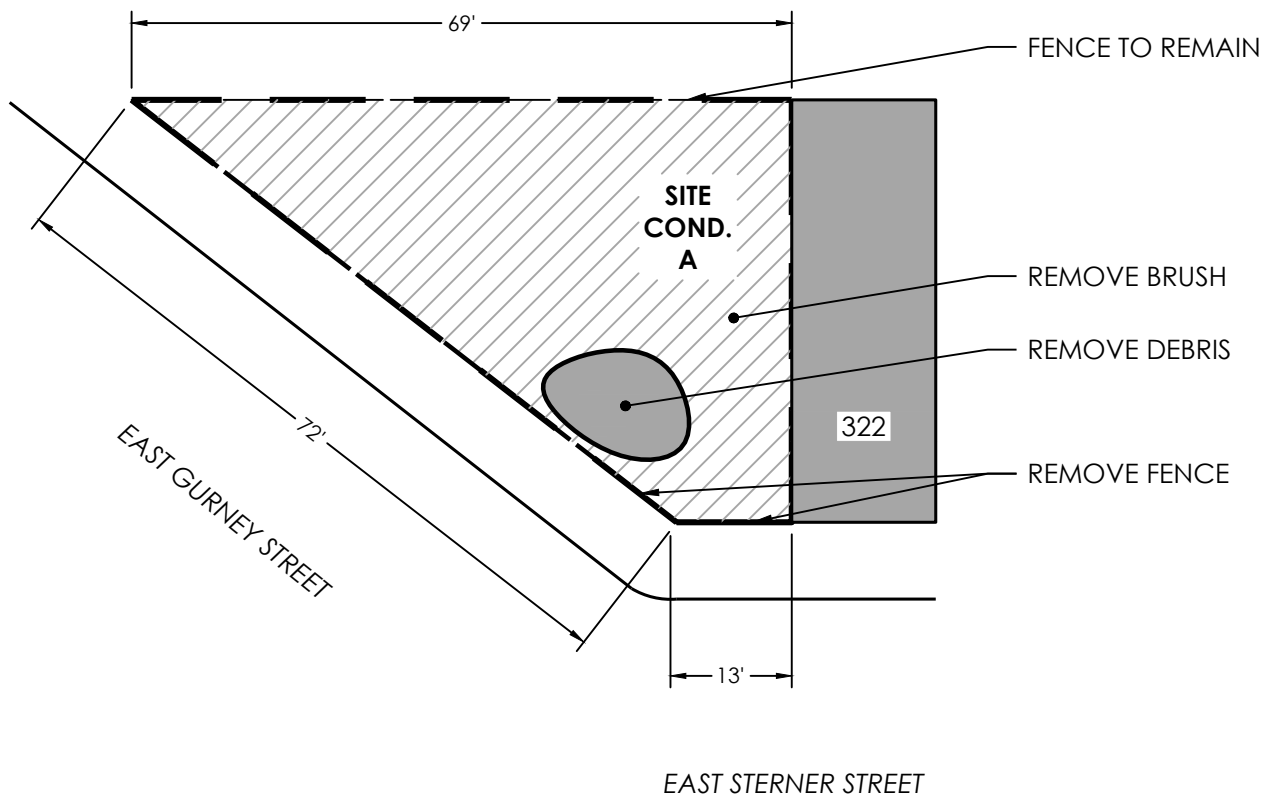




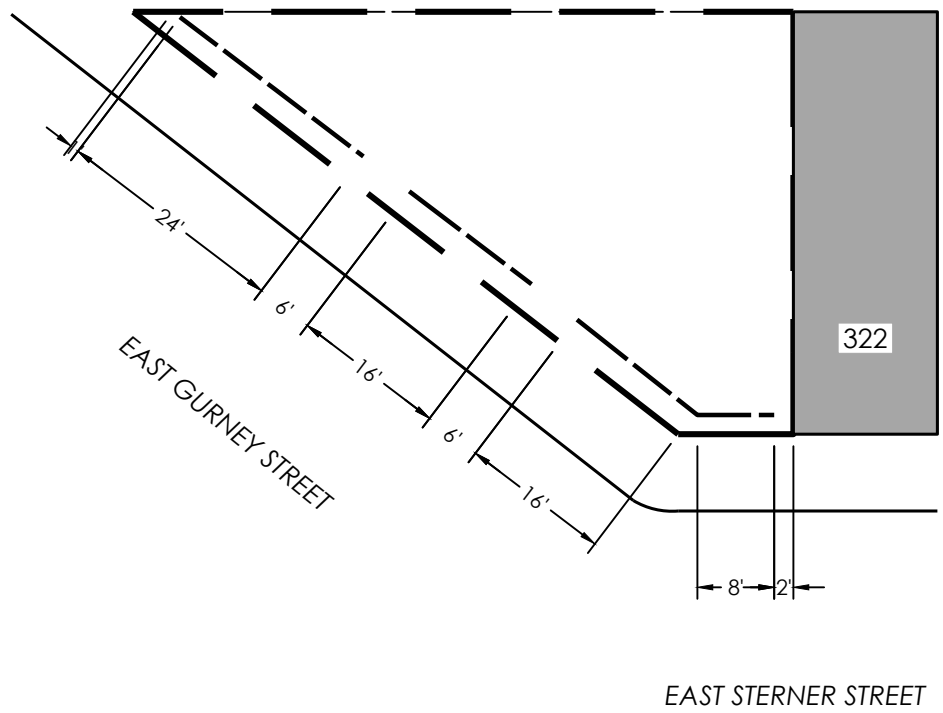
Initial Date 7/28/2024		<h1>EXISTING CONDITIONS</h1> <p>316 WEST CAMBRIA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11571EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date 7/28/2024		<h1>FENCE & TREE LAYOUT</h1> <p>316 WEST CAMBRIA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11571EN_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date 7/28/2024		<h2>EXISTING CONDITIONS</h2> <p>322 EAST GURNEY STREET; 324 EAST STERNER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group E				
VL11572EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
7/28/2024

Scale
1" = 20'

Group E

VL11572EN_CLP

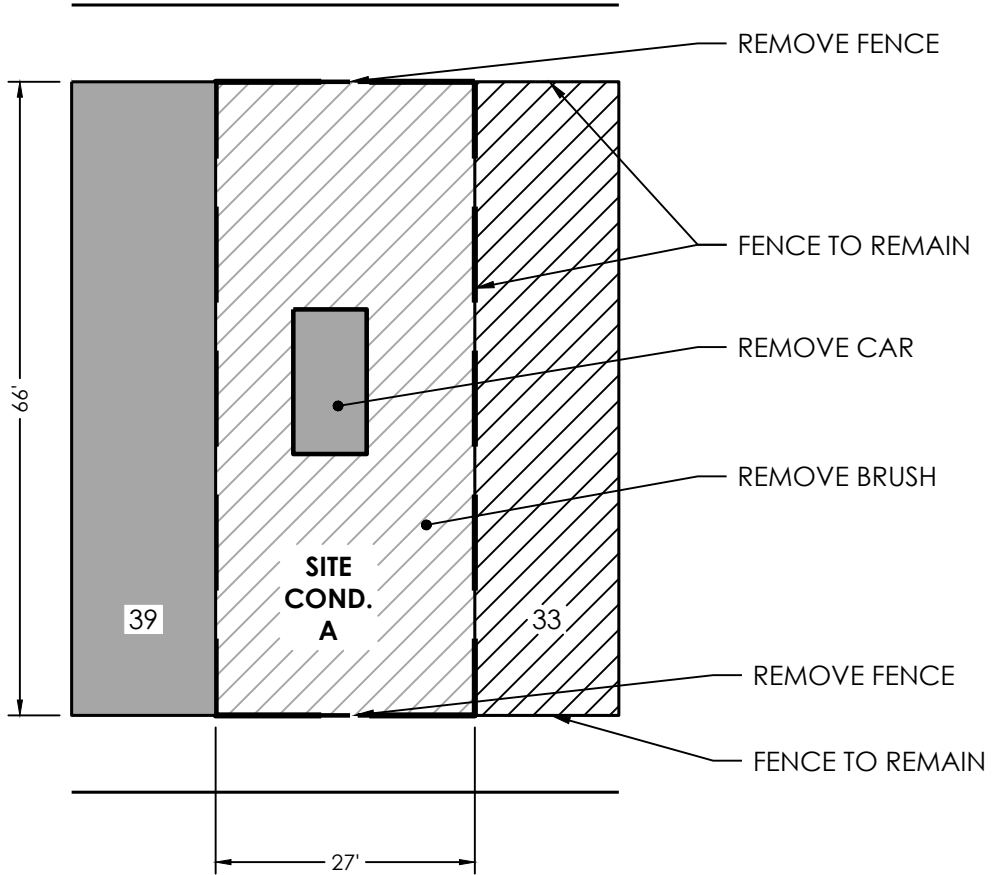


FENCE & TREE LAYOUT

322 EAST GURNEY STREET; 324 EAST STERNER STREET

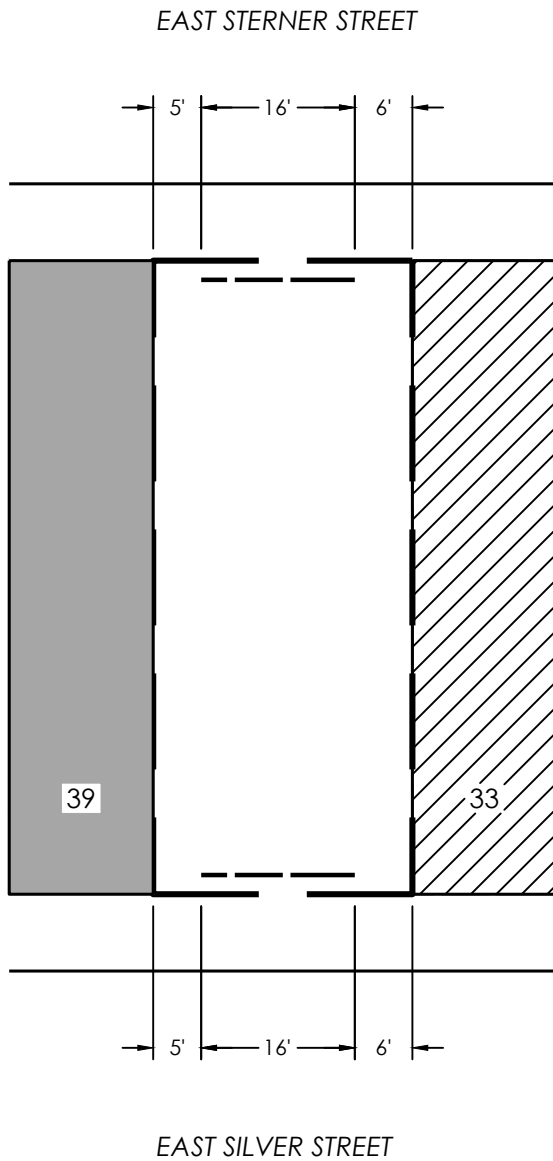


EAST STERNER STREET



EAST SILVER STREET

Initial Date 7/28/2024		EXISTING CONDITIONS 35-37 EAST SILVER STREET	Project Of: 	Project Manager:
Scale 1" = 20'				
Group E				
VL11574EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date
7/28/2024

Scale
1" = 20'

Group E

VL11574EN_CLP



FENCE & TREE LAYOUT

35-37 EAST SILVER STREET





THE PENNSYLVANIA HORTICULTURAL SOCIETY

PHILADELPHIA LANDCARE STABILIZATION
Fall 2024

Group F
Richmond

Rosehill St, E Tusculum St, Amber St, E Allegheny Ave, Kensington Ave, Ontario St



*Project funded by the City of Philadelphia
Division of Housing and Community Development*



Group F Site List
Fall 2024
Richmond
Page 1 of 3

<u>VL#</u>	<u>Address Range</u>
VL11581EN_CLP	1950 HART LN
VL11584EN_CLP	2022 E STELLA ST
VL11585EN_CLP	2025-2027 E RUSH ST
VL11586EN_CLP	2028 E SOMERSET ST
VL11587EN_CLP	2031 E AUBURN ST
VL11588EN_CLP	2035 E BIRCH ST
VL11589EN_CLP	2040-2042 E RUSH ST
VL11590EN_CLP	2053-2055 E ORLEANS ST
VL11593EN_CLP	2061-2063 E ORLEANS ST
VL11594EN_CLP	2065 E ANN ST
VL11596EN_CLP	2078 E BIRCH ST
VL11597EN_CLP	2081 E ORLEANS ST
VL11599EN_CLP	2089-2091 E CLEMENTINE ST
VL11601EN_CLP	2100 E CLEMENTINE ST
VL11604EN_CLP	2808-2810 HELEN ST
VL11605EN_CLP	2809 JASPER ST
VL11606EN_CLP	2809-2813 HELEN ST
VL11611EN_CLP	2855-2857 STOUTON ST
VL11612EN_CLP	2860-2862 KENSINGTON AVE
VL11614EN_CLP	2868 AMBER ST



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Division of Housing and Community Development*



Group F Site List
Fall 2024
Richmond
Page 2 of 3

<u>VL#</u>	<u>Address Range</u>
VL11615EN_CLP	2869-2871 STOUTON ST
VL11618EN_CLP	2941 RUTH ST
VL11619EN_CLP	2943 - 2945 HARTVILLE ST
VL11623EN_CLP	3034-3036 HARTVILLE ST
VL11624EN_CLP	3039 HARTVILLE ST
VL11626EN_CLP	3046-3052 RUTH ST
VL11627EN_CLP	3086 FRANKFORD AVE
VL11628EN_CLP	3106 REACH ST
VL11629EN_CLP	3112-3114 REACH ST
VL11632EN_CLP	3138 CUSTER ST
VL11633EN_CLP	3143 CUSTER ST
VL11635EN_CLP	3202 HARTVILLE ST
VL11636EN_CLP	3208 POTTER ST
VL11637EN_CLP	3230 E ST
VL11638EN_CLP	3233 RORER ST
VL11640EN_CLP	3319-3321 RAND ST
VL11641EN_CLP	3335 RAND ST
VL11642EN_CLP	3336 MALTA ST
VL11643EN_CLP	426-430 E CAMBRIA ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*



Group F Site List
Fall 2024
Richmond
Page 2 of 3

<u>VL#</u>	<u>Address Range</u>
VL11649EN_CLP	658 E CLEMENTINE ST
VL11651EN_CLP	760 E HILTON ST
VL11652EN_CLP	764 E HILTON ST
VL11653EN_CLP	764 E WILLARD ST
VL11654EN_CLP	834 E MADISON ST
VL11655EN_CLP	840 E MADISON ST
VL11656EN_CLP	843 E HILTON ST
VL11658EN_CLP	932 E ONTARIO ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*





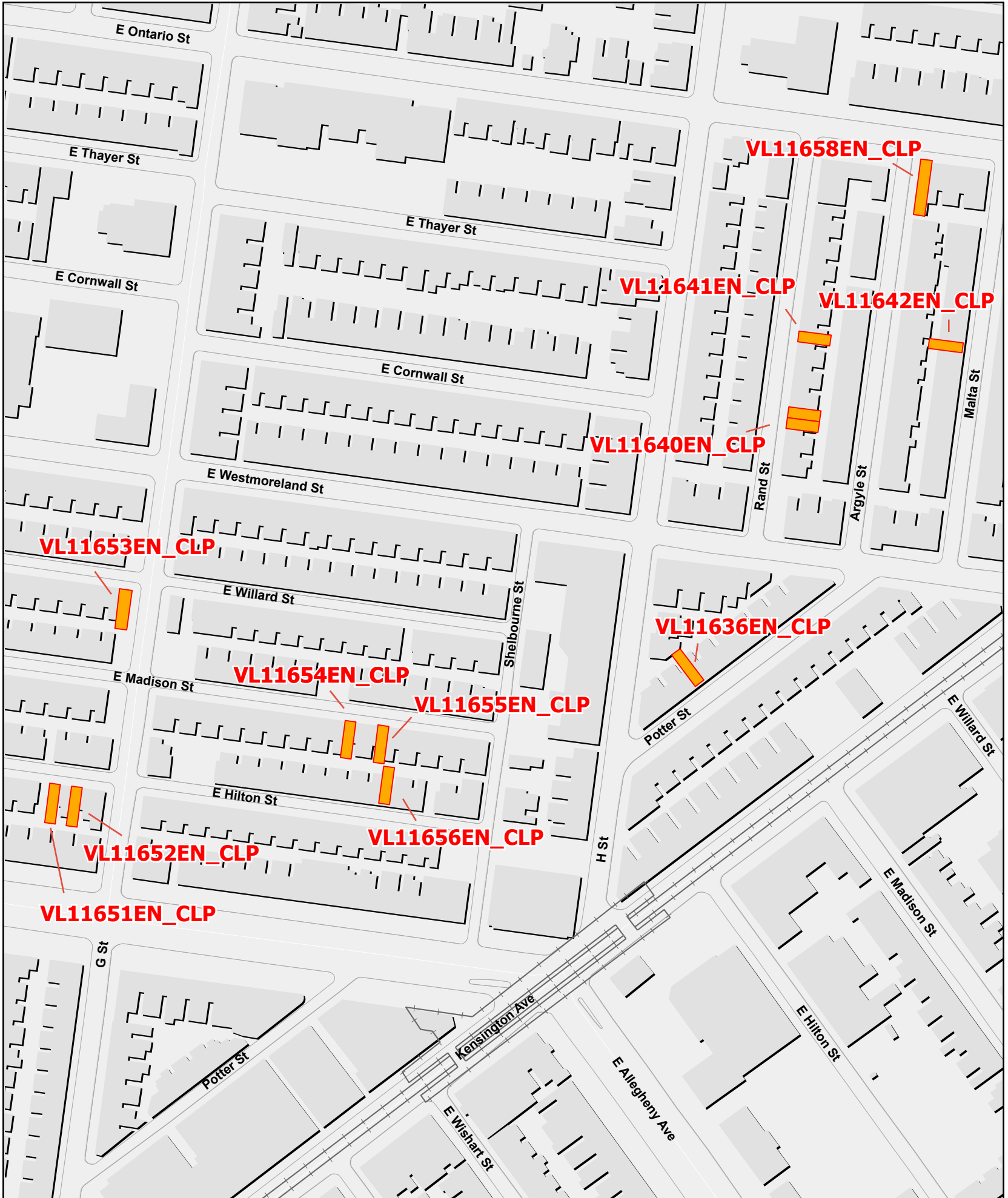
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group F:
Richmond - Fall 2024

-  Fall 2024 Parcels
-  Building







PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group F:
Richmond - Fall 2024

 Fall 2024 Parcels
 Building







PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group F:
Richmond - Fall 2024

-  Fall 2024 Parcels
-  Building







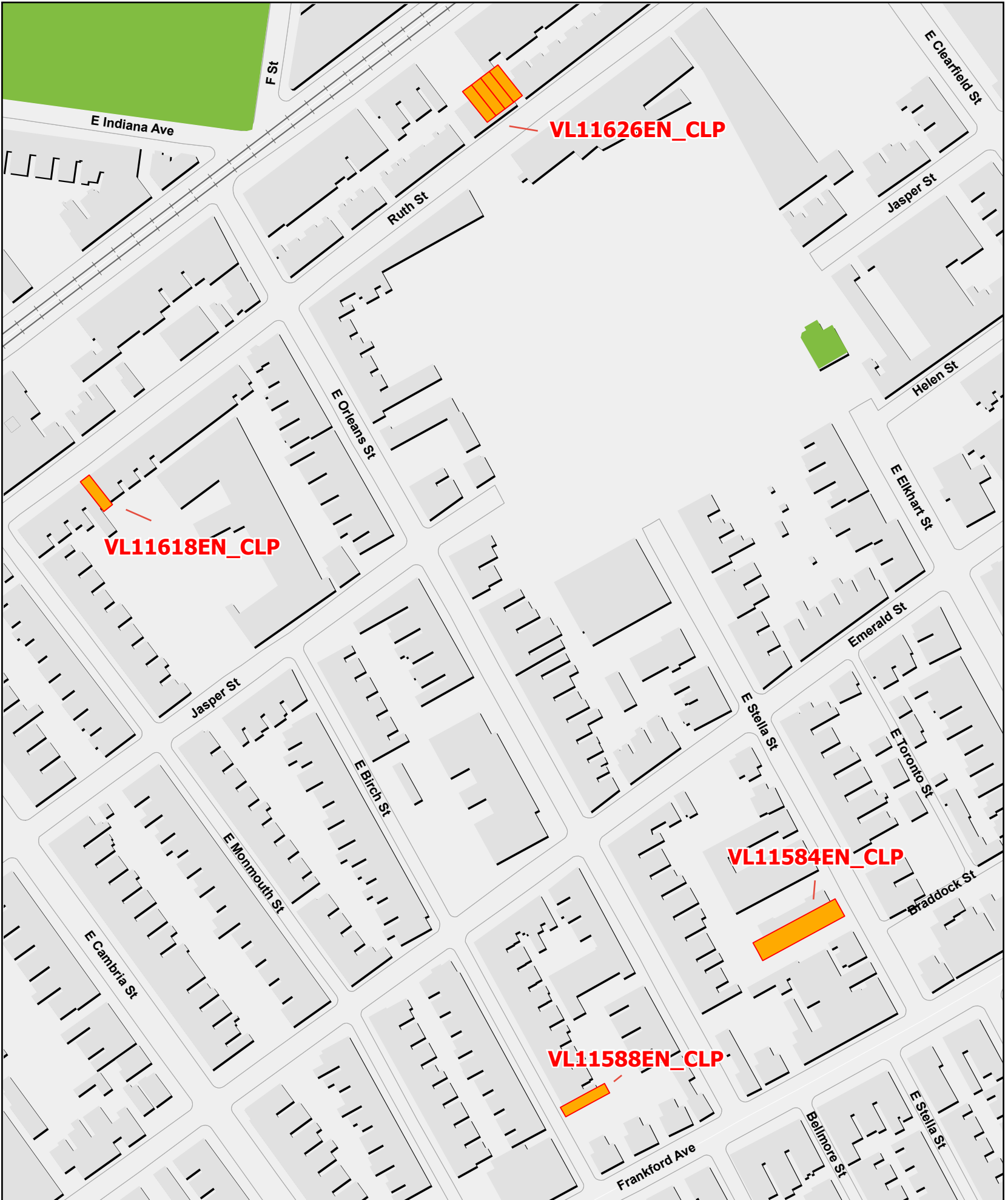
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group F:
Richmond - Fall 2024

 Fall 2024 Parcels
 Building







PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group F:
Richmond - Fall 2024

 Fall 2024 Parcels
 Building





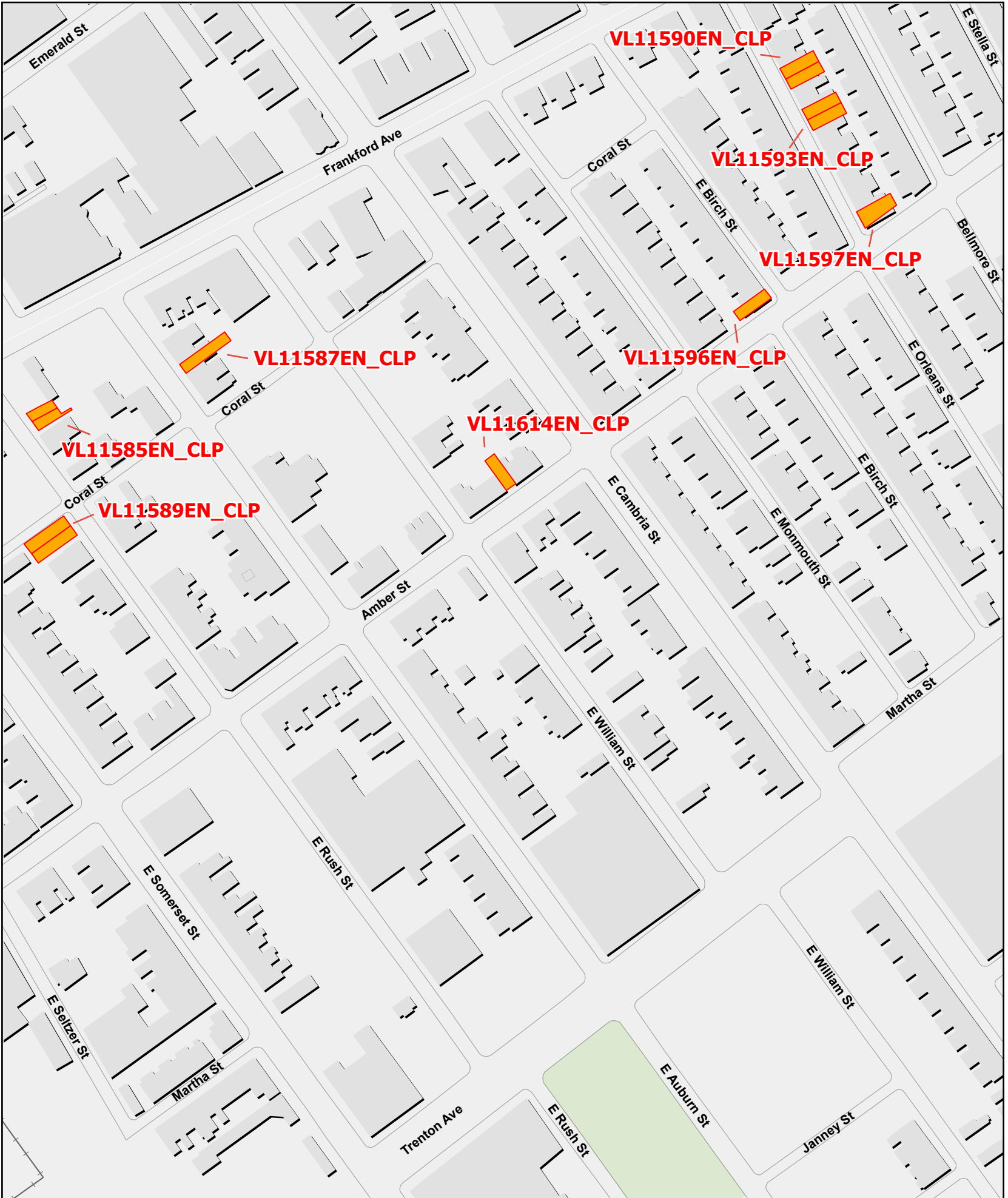
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group F:
Richmond - Fall 2024

- Fall 2024 Parcels
- Building







PHS

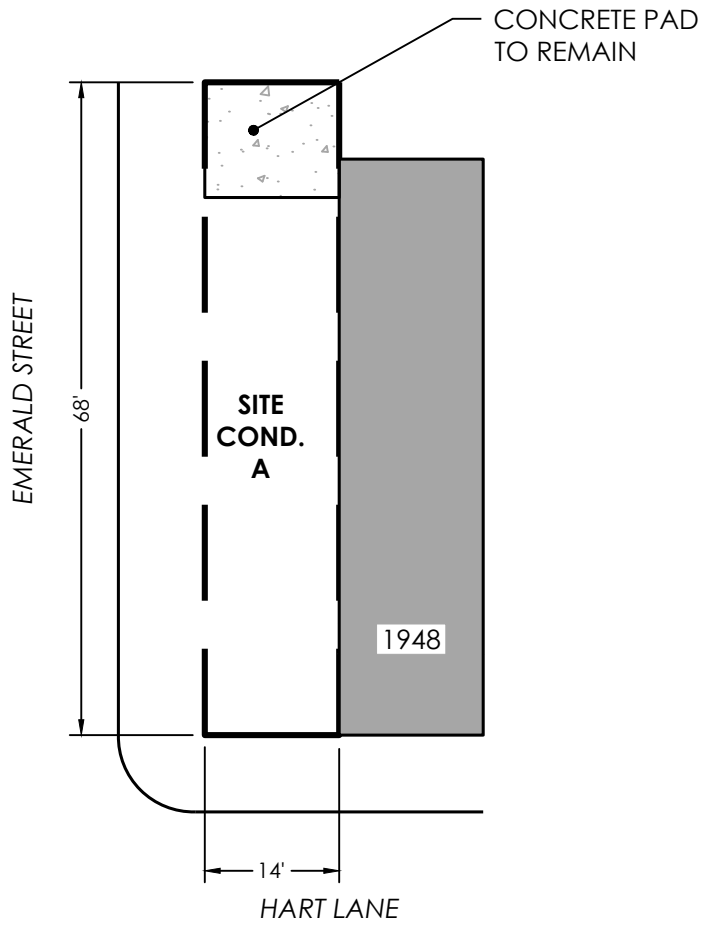


City of Philadelphia

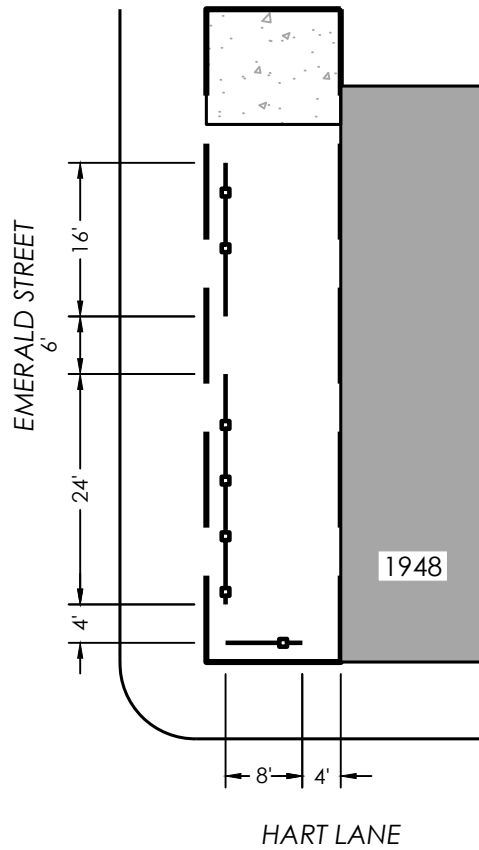
Philadelphia LandCare Sites
Proposed for Group F:
Richmond - Fall 2024

 Fall 2024 Parcels
 Building





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>1950 HART LANE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11581EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

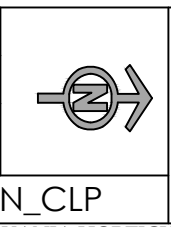


Initial Date
8/1/2024

Scale
1" = 20'

Group F

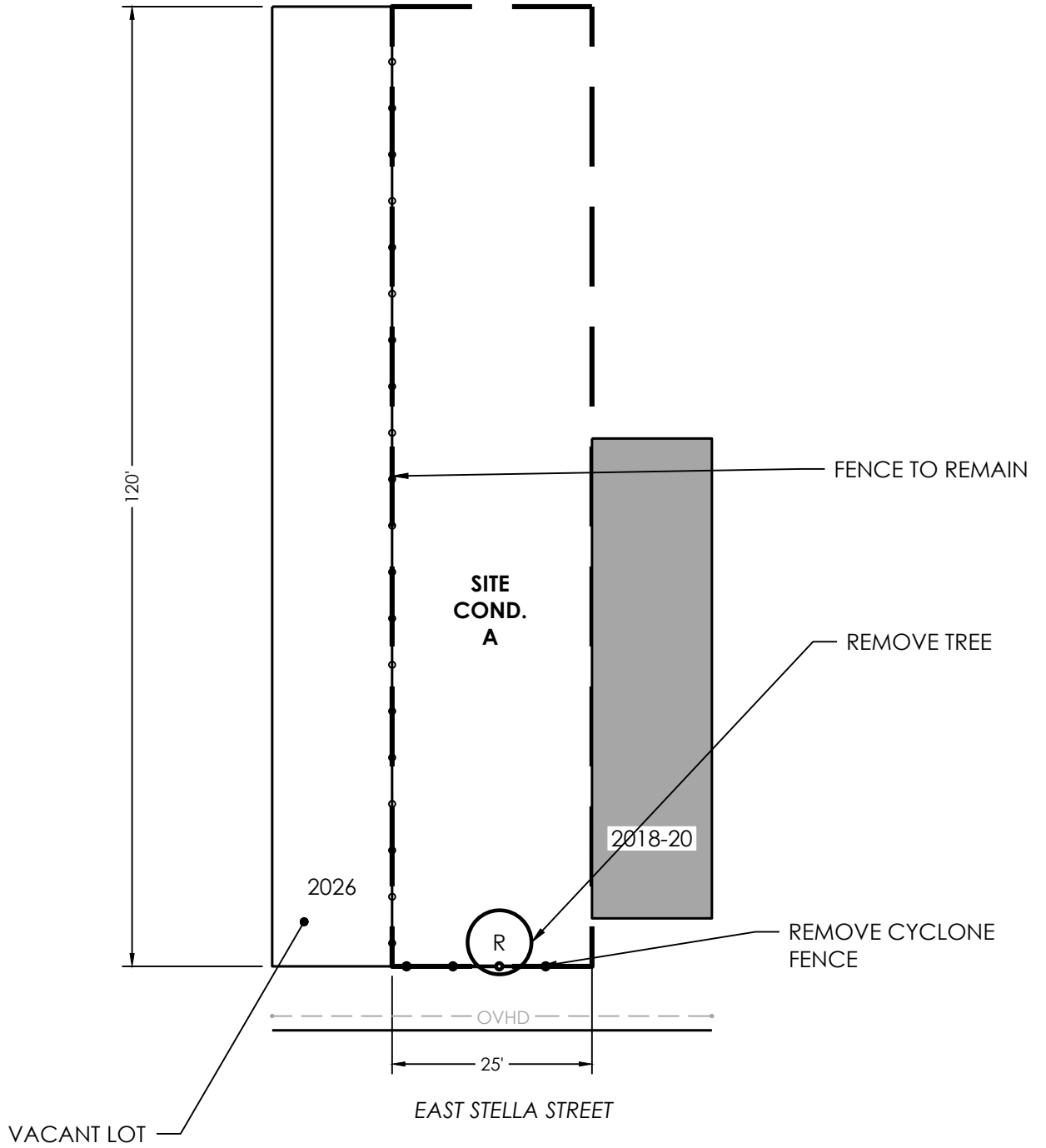
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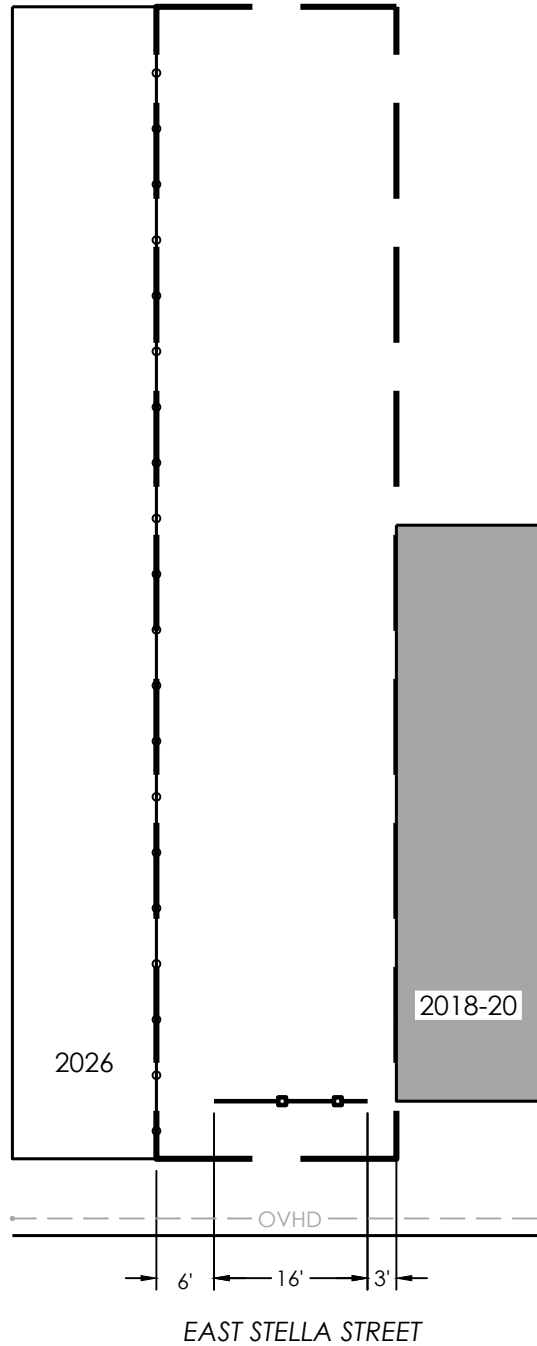
FENCE & TREE LAYOUT

1950 HART LANE





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2022 EAST STELLA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11584EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

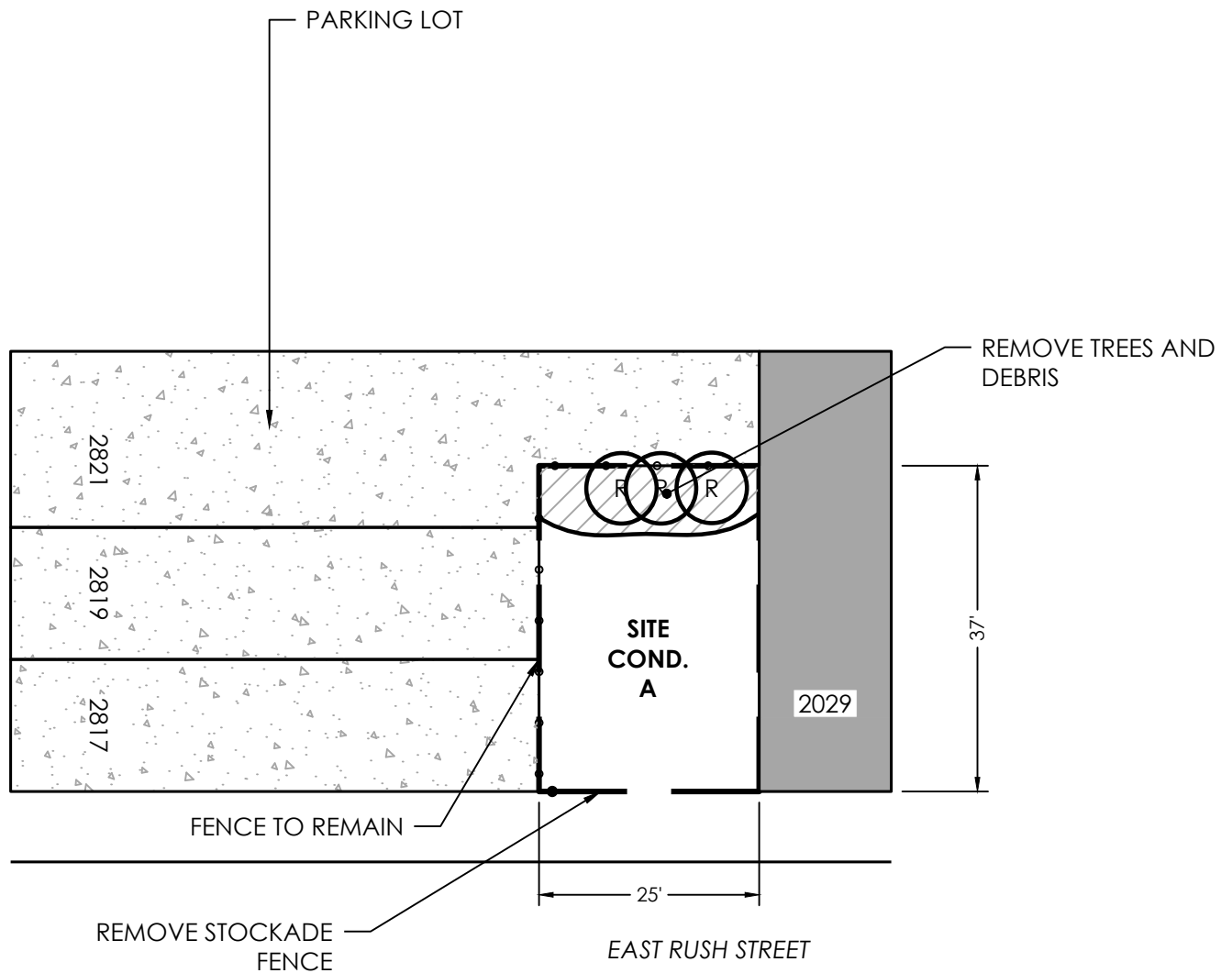
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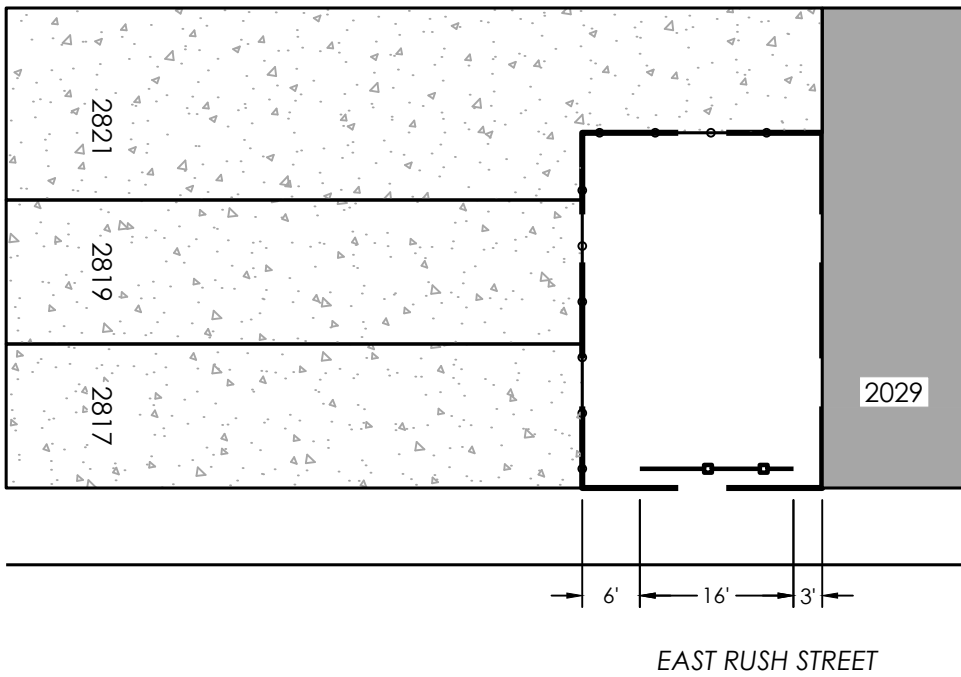
FENCE & TREE LAYOUT

2022 EAST STELLA STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2025-2027 EAST RUSH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11585EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

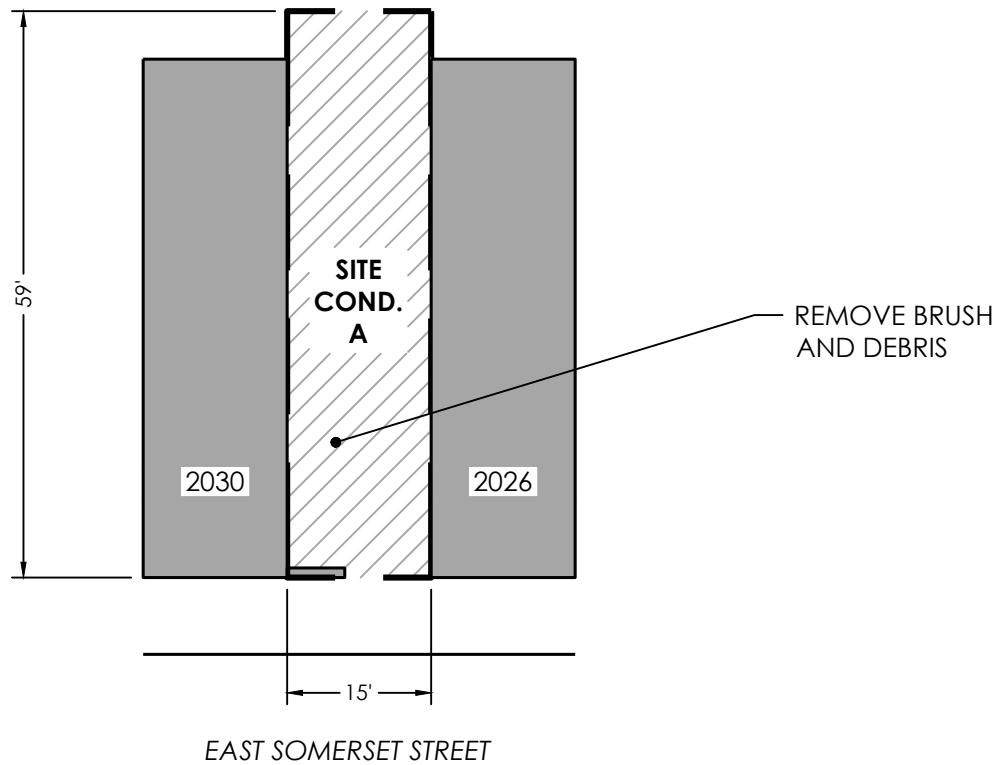
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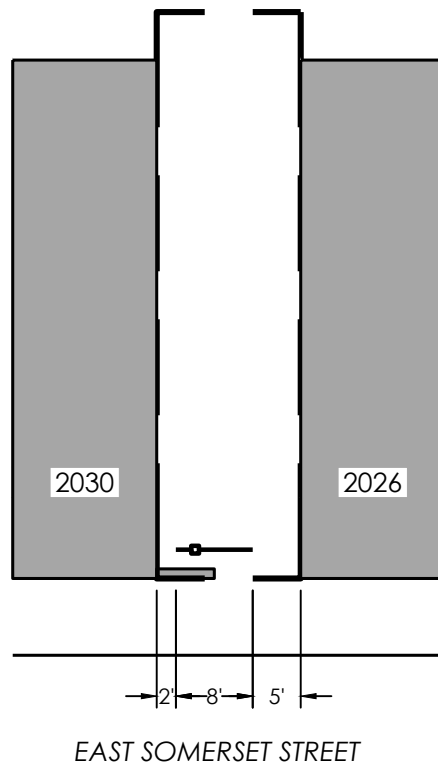
FENCE & TREE LAYOUT

2025-2027 EAST RUSH STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2028 EAST SOMERSET STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11586EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date
8/1/2024

Scale
1" = 20'

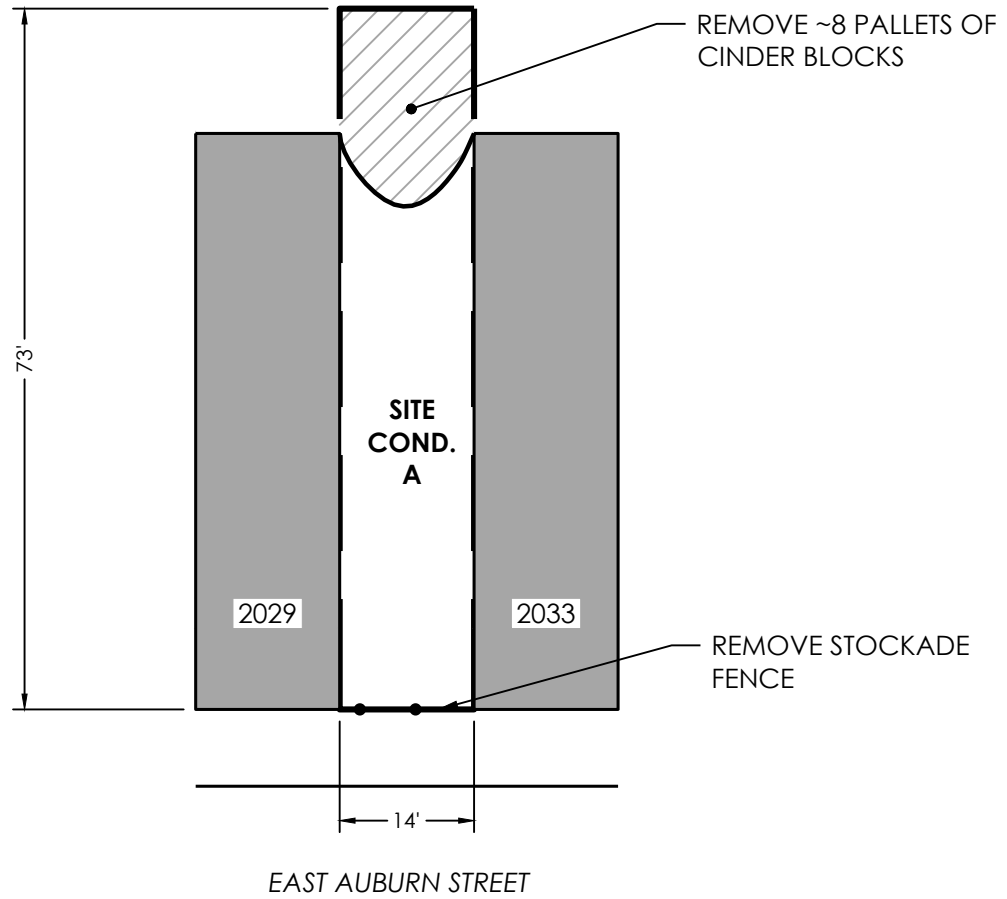
Group F



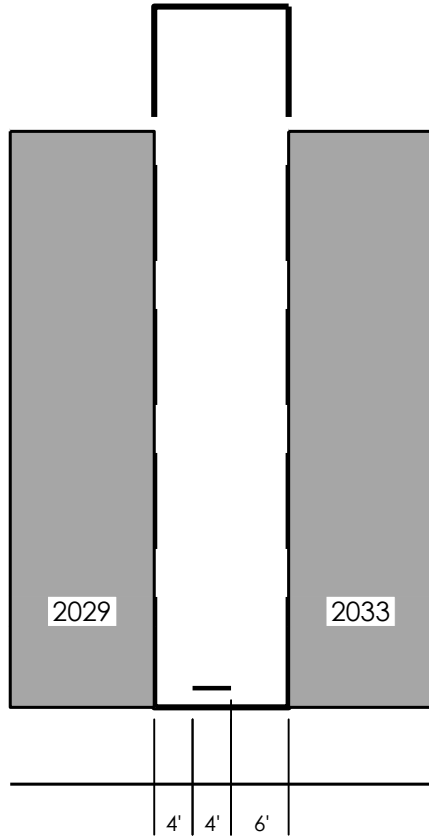
FENCE & TREE LAYOUT

2028 EAST SOMERSET STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2031 EAST AUBURN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11587EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



EAST AUBURN STREET

Initial Date
8/1/2024

Scale
1" = 20'

Group F

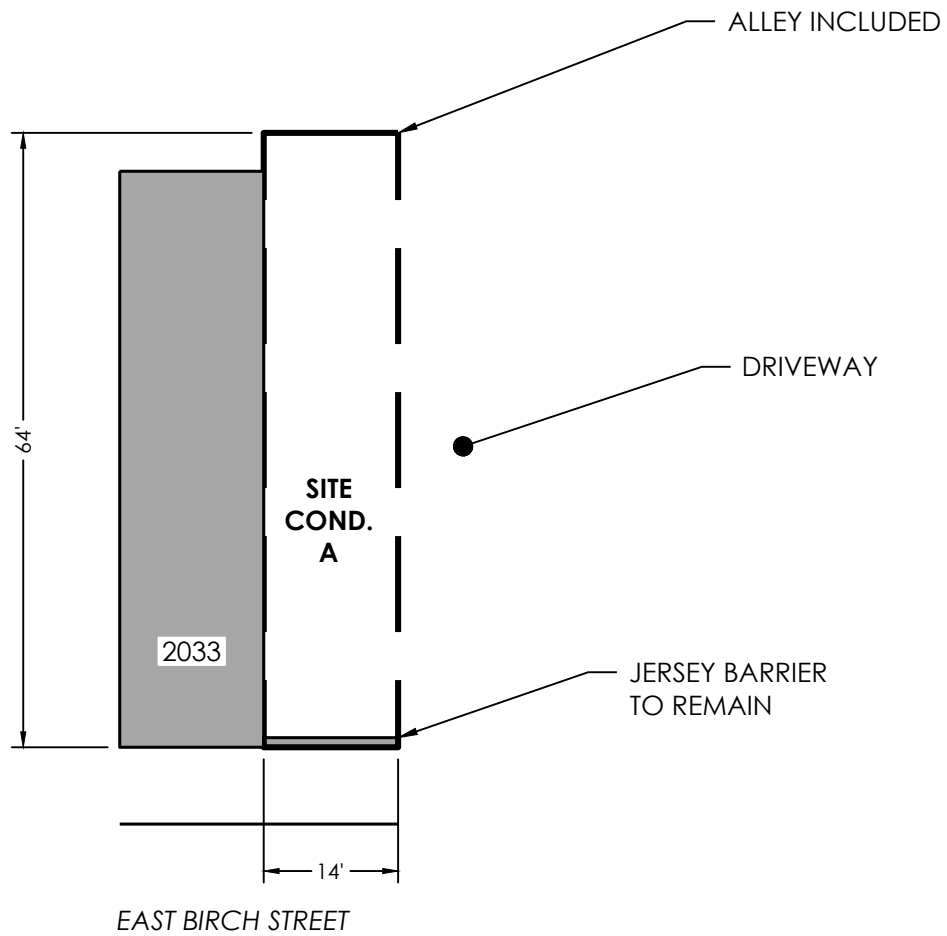
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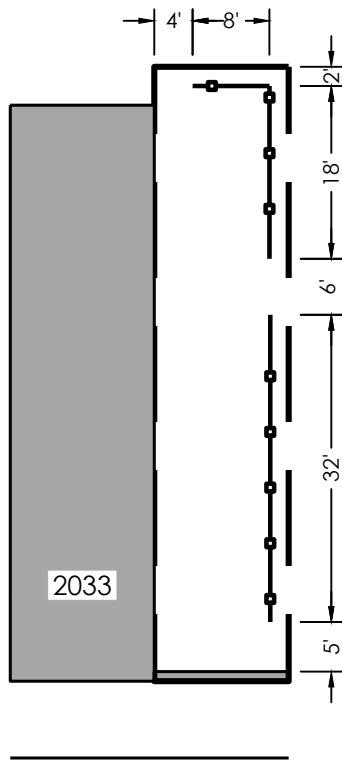
FENCE & TREE LAYOUT

2031 EAST AUBURN STREET



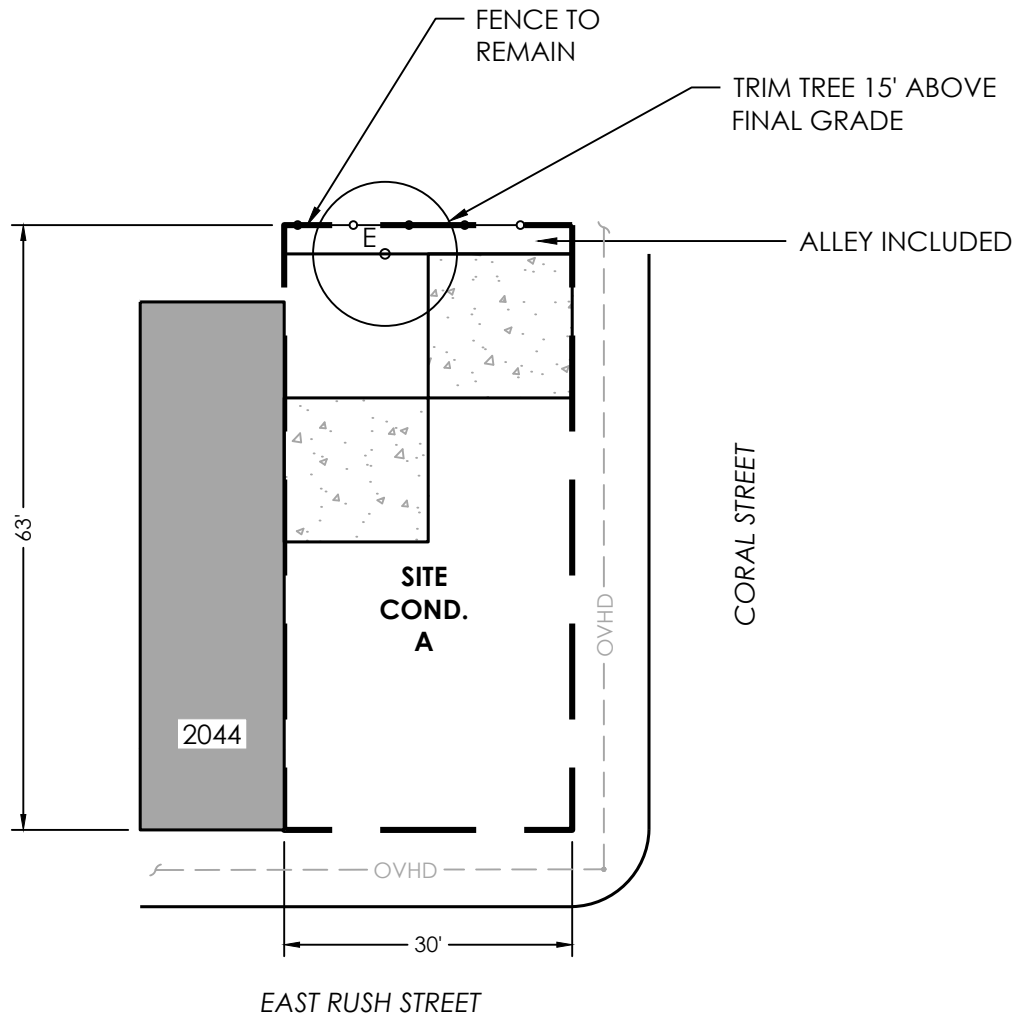


Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2035 EAST BIRCH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11588EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		

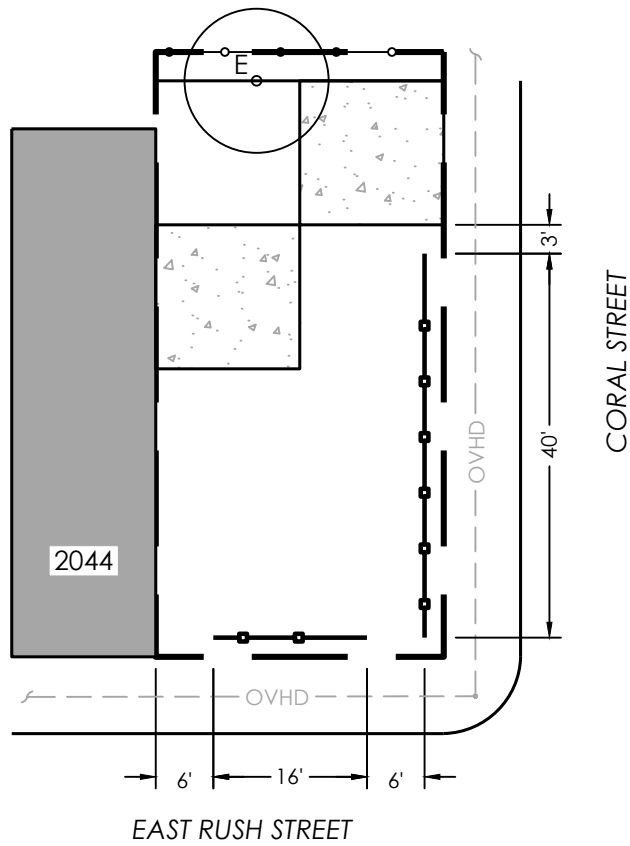


EAST BIRCH STREET

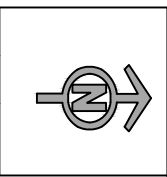
Initial Date 8/1/2024		<h1>FENCE & TREE LAYOUT</h1> <p>2035 EAST BIRCH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11588EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2040-2042 EAST RUSH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11589EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

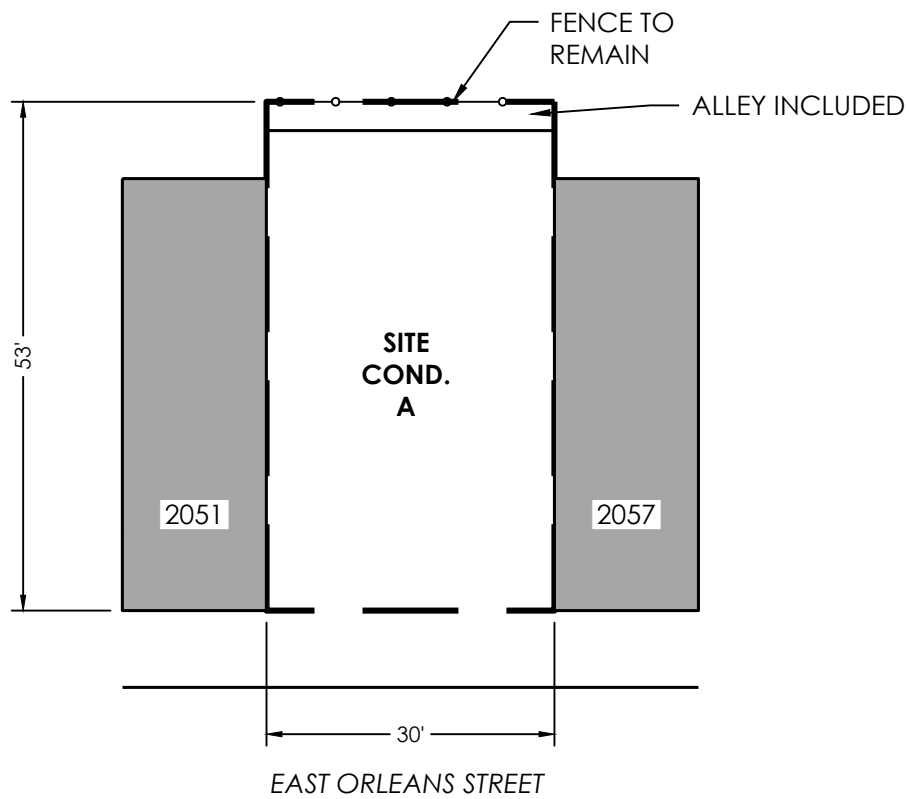


Initial Date	8/1/2024
Scale	1" = 20'
Group	F
Project ID	VL11589EN_CLP

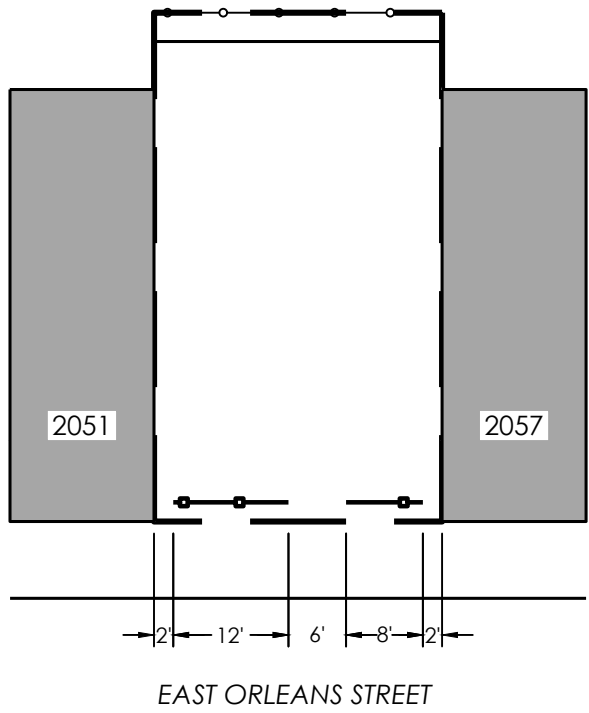


FENCE & TREE LAYOUT
 2040-2042 EAST RUSH STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2053-2055 EAST ORLEANS STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11590EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



EAST ORLEANS STREET

Initial Date
8/1/2024

Scale
1" = 20'

Group F

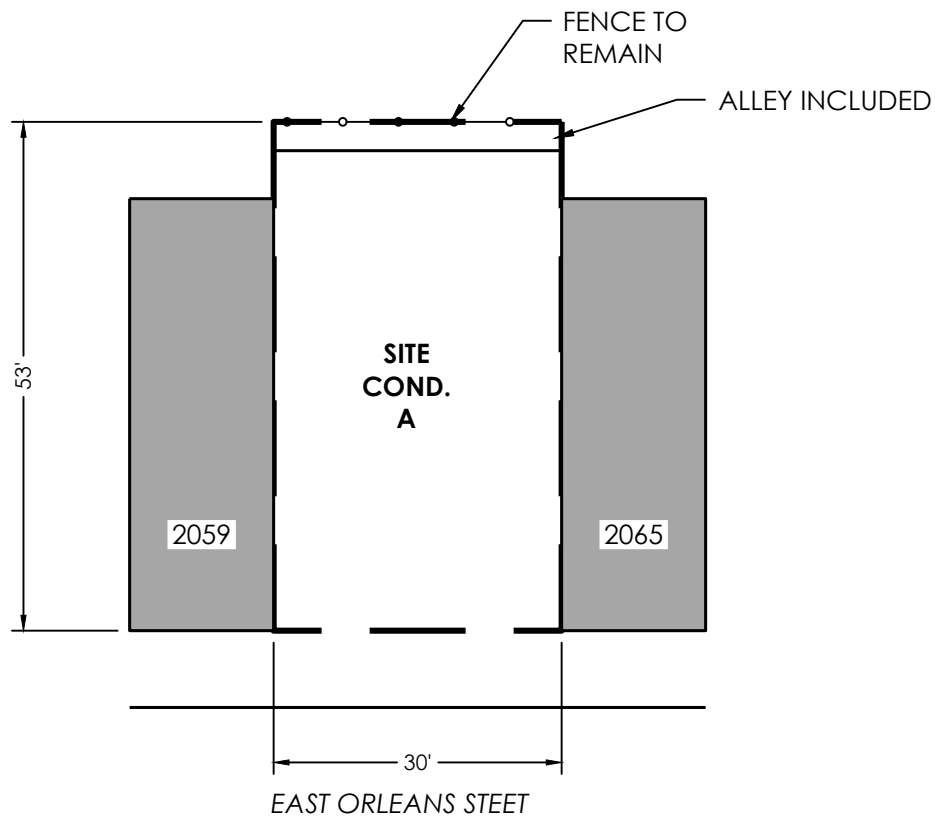
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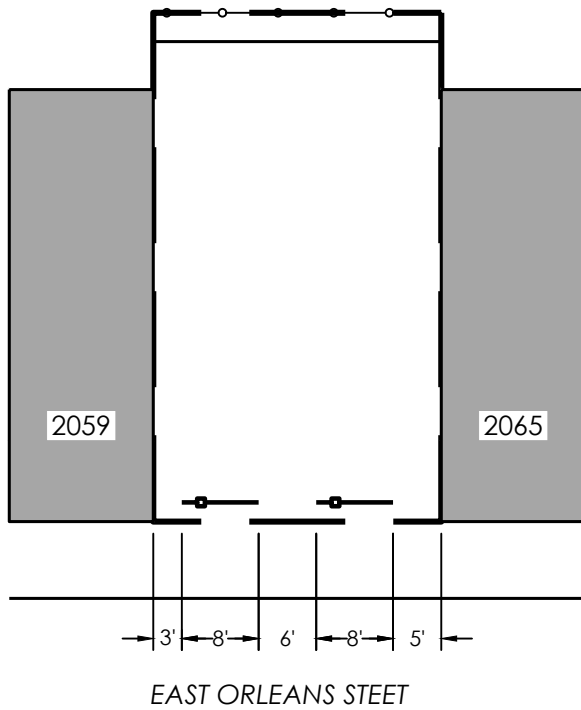
FENCE & TREE LAYOUT

2053-2055 EAST ORLEANS STREET





Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>2061-2063 EAST ORLEANS STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11593EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

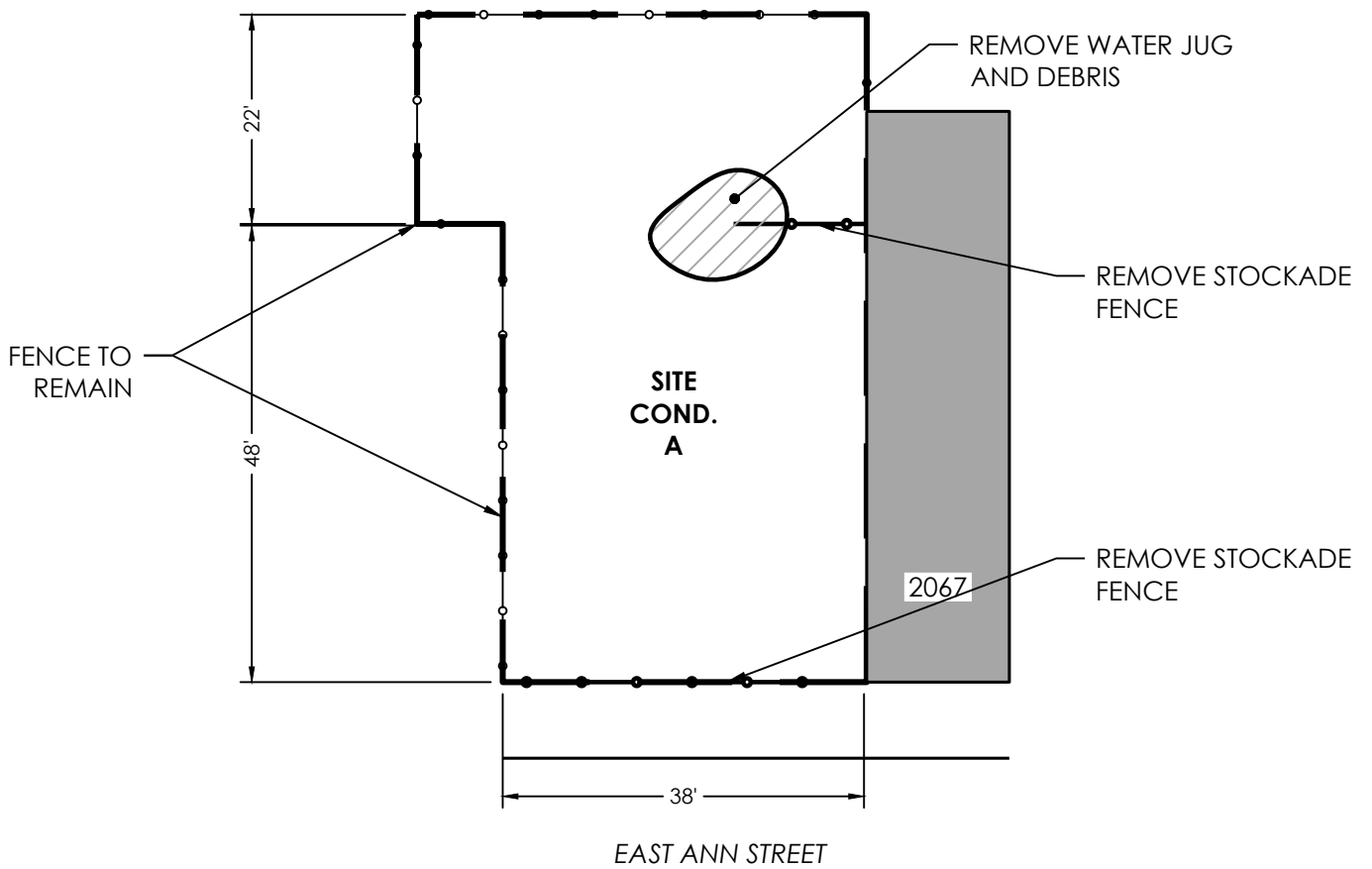
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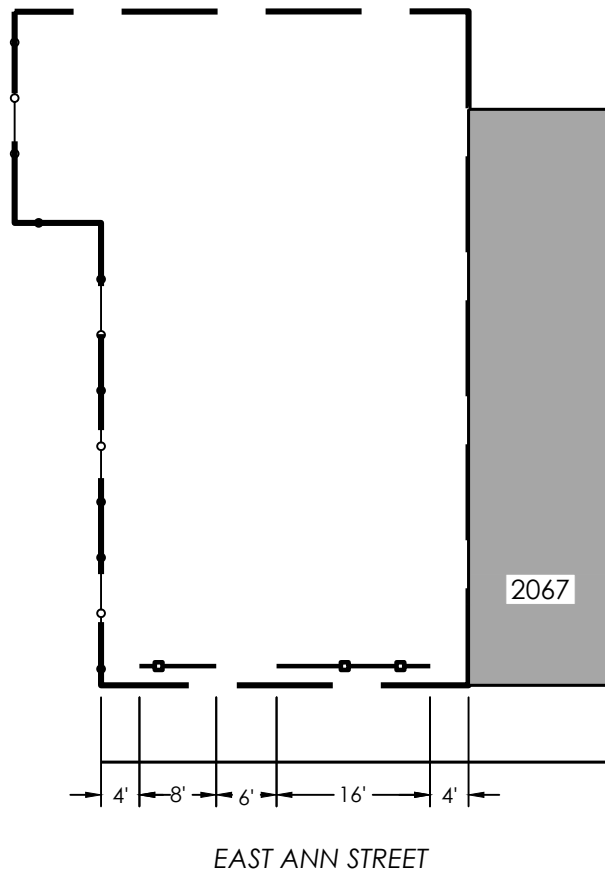
FENCE & TREE LAYOUT

2061-2063 EAST ORLEANS STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2065 EAST ANN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11594EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



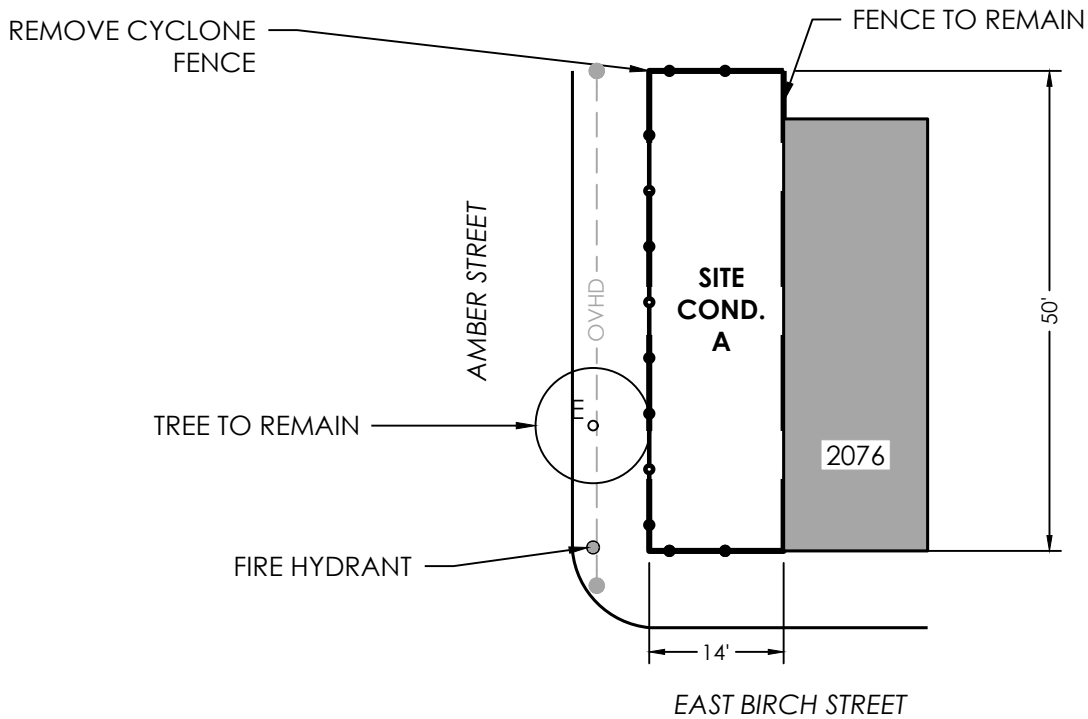
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Scale	1" = 20'
Group	F
Project ID	VL11594EN_CLP



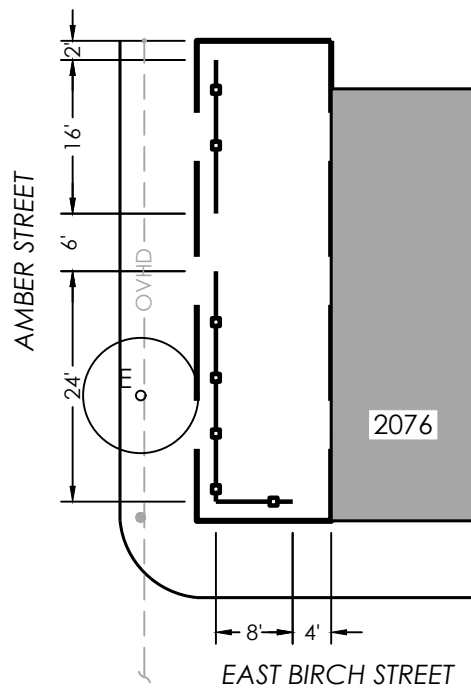
FENCE & TREE LAYOUT

2065 EAST ANN STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2078 EAST BIRCH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11596EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

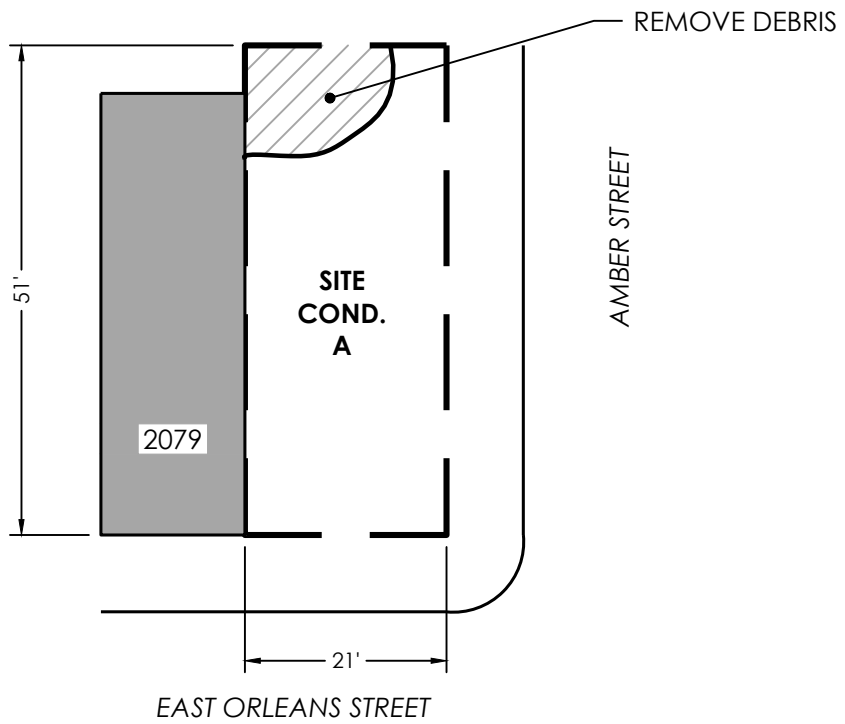
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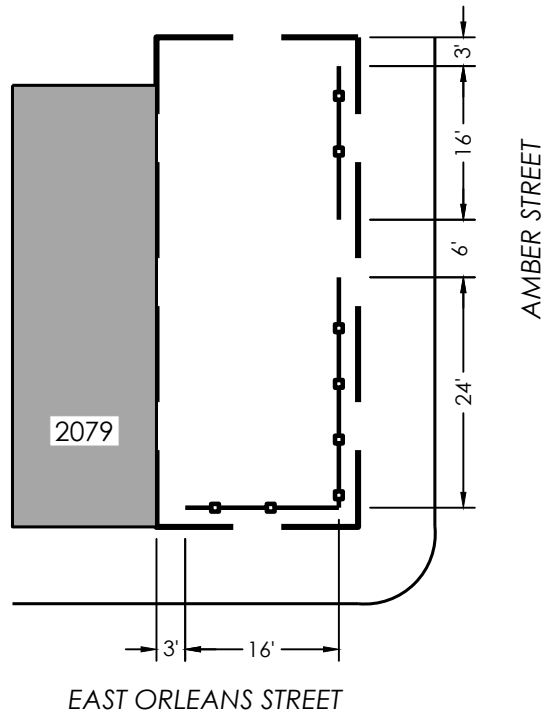
FENCE & TREE LAYOUT

2078 EAST BIRCH STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2081 EAST ORLEANS STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11597EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

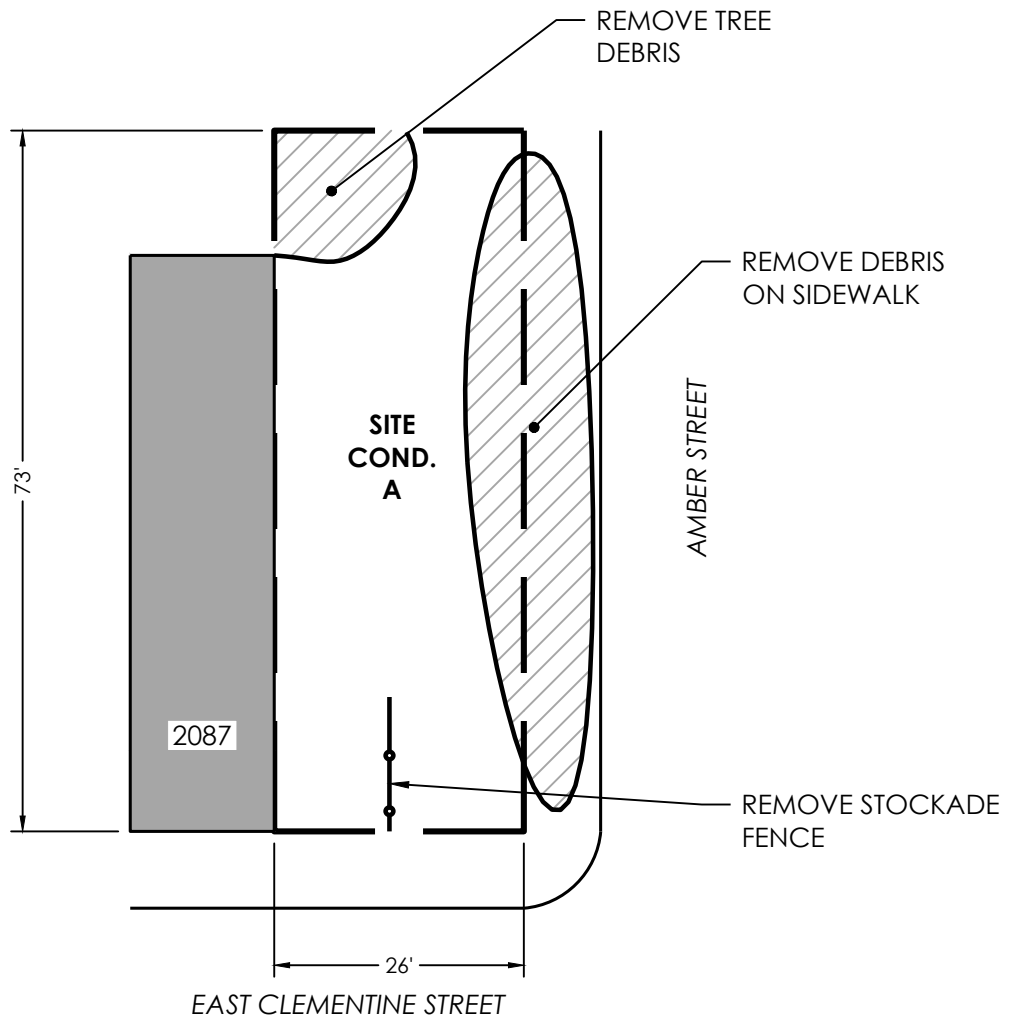
Group F

VL11597EN_CLP

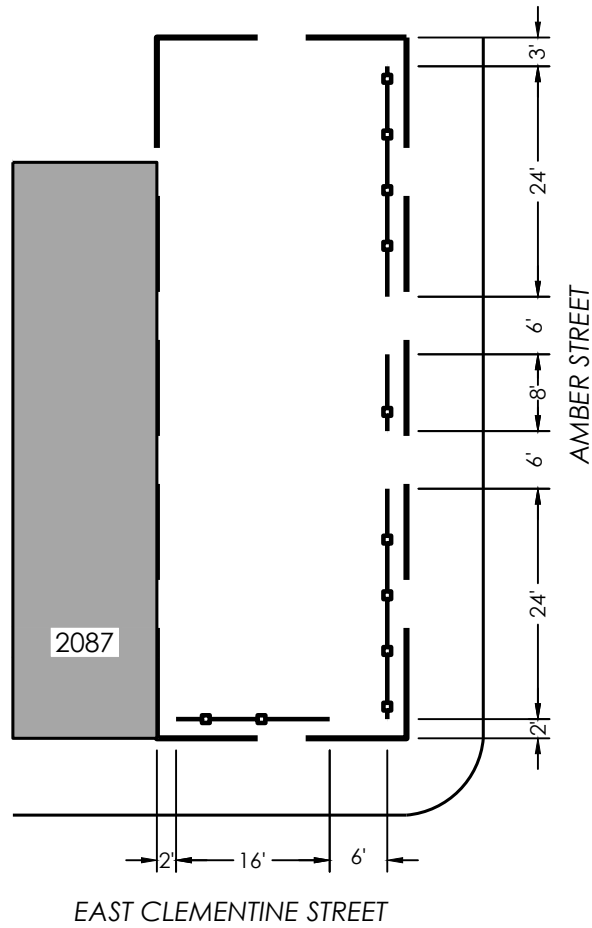


FENCE & TREE LAYOUT
2081 EAST ORLEANS STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2089-2091 EAST CLEMENTINE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11599EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



2087

EAST CLEMENTINE STREET

AMBER STREET

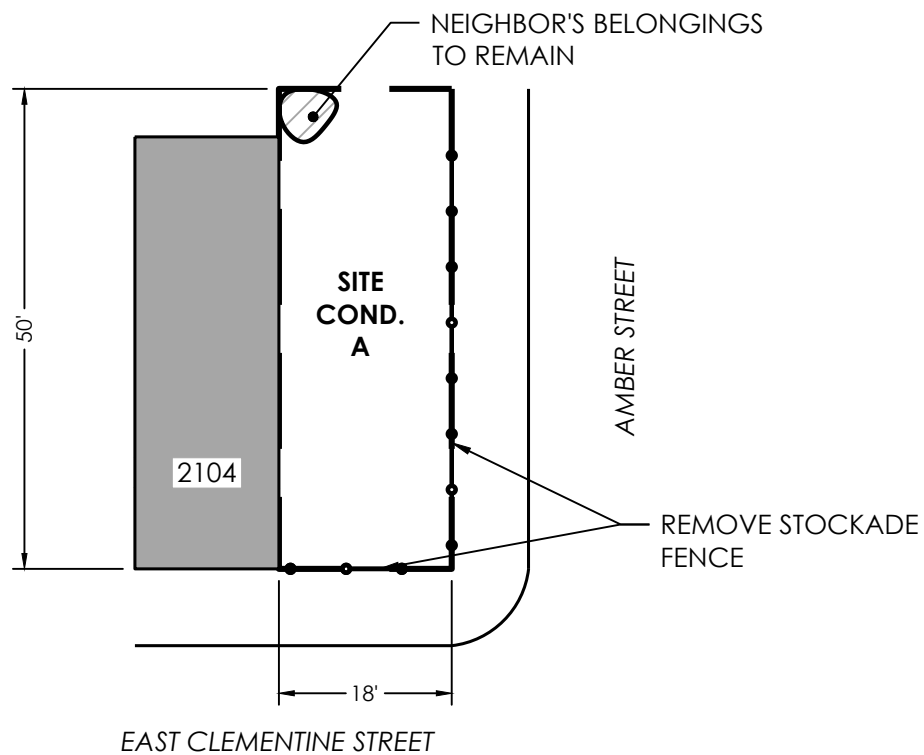
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11599EN_CLP	



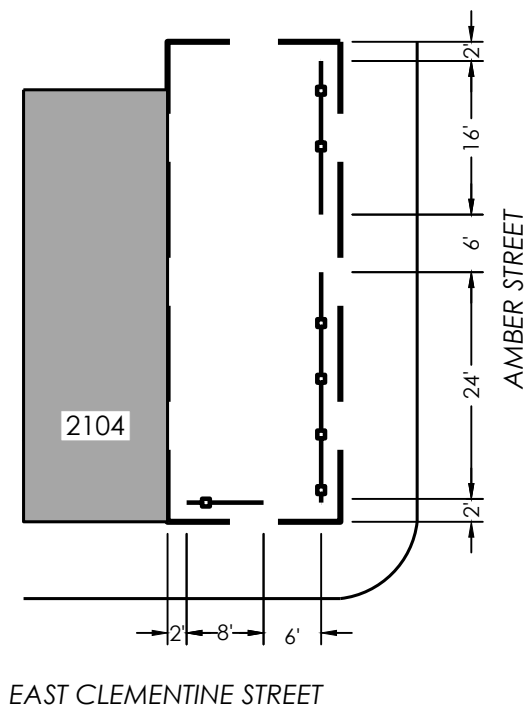
FENCE & TREE LAYOUT

2089-2091 EAST CLEMENTINE STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2100 EAST CLEMENTINE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11601EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

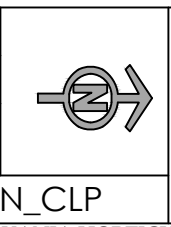


Initial Date
8/1/2024

Scale
1" = 20'

Group F

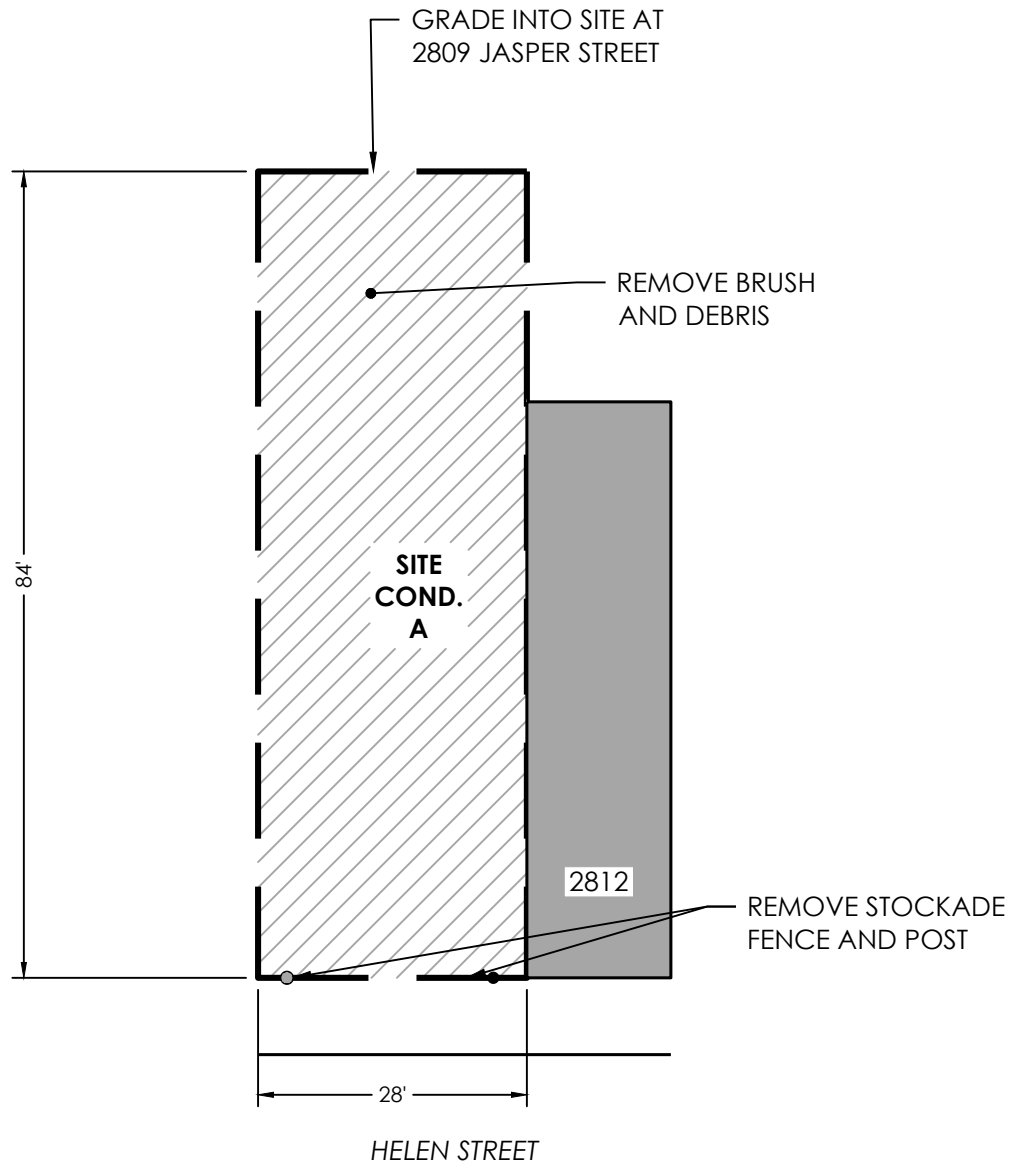
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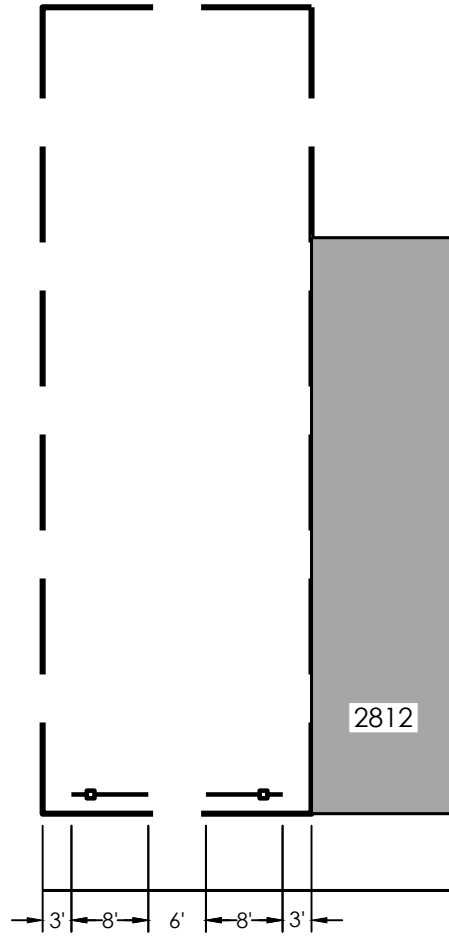
FENCE & TREE LAYOUT

2100 EAST CLEMENTINE STREET



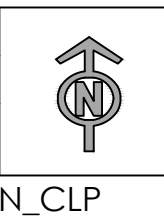


Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2808-2810 HELEN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11604EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



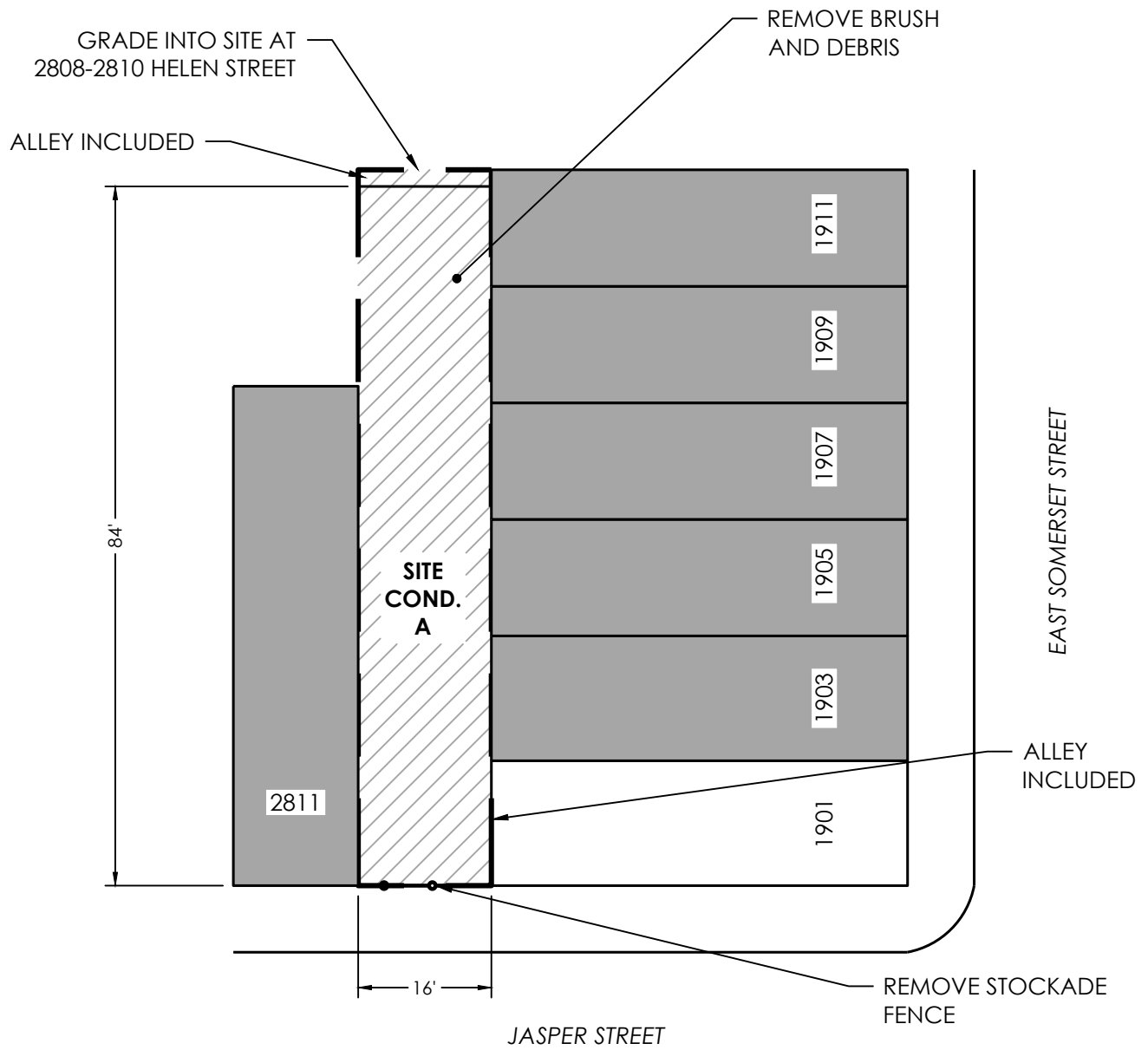
HELEN STREET

Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11604EN_CLP	

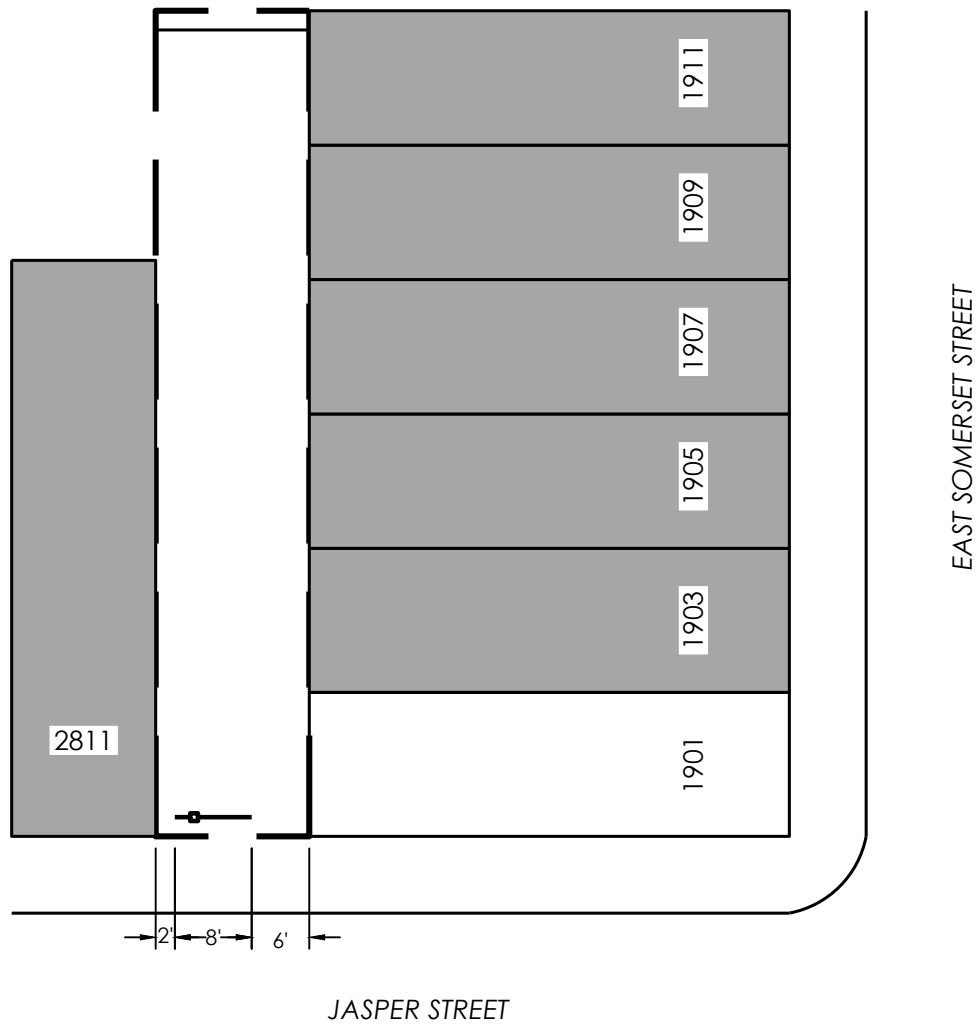


FENCE & TREE LAYOUT
 2808-2810 HELEN STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2809 JASPER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11605EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

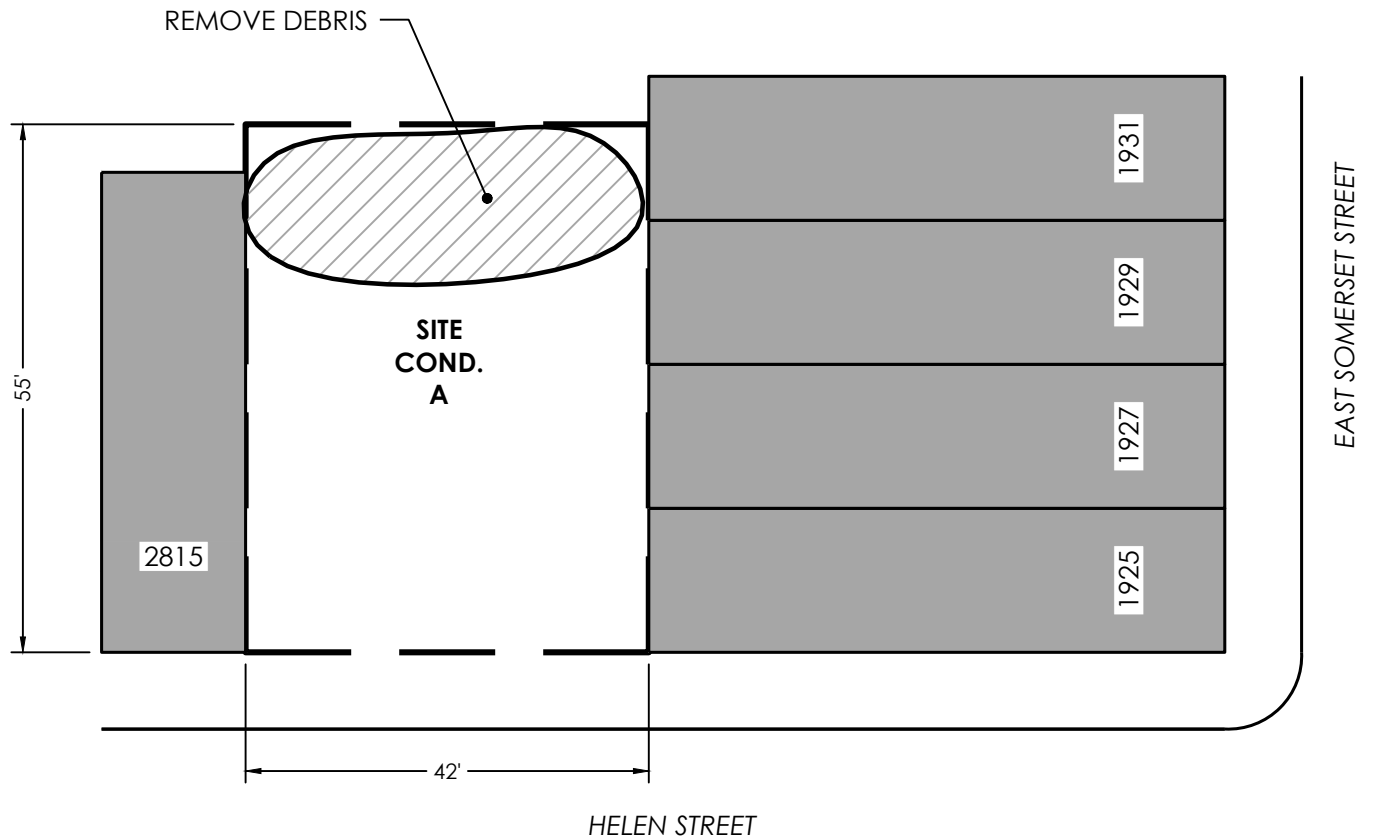
Group F



FENCE & TREE LAYOUT

2809 JASPER STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2809-2813 HELEN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11606EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

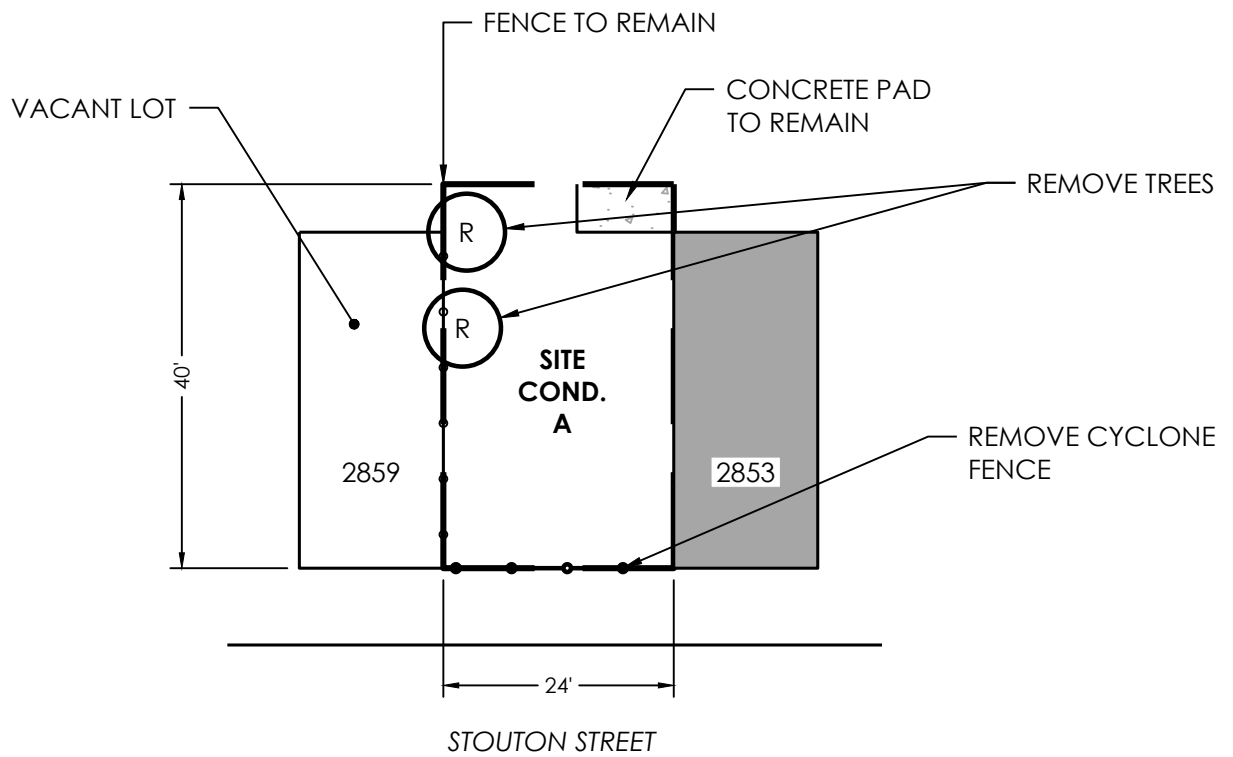
Group F



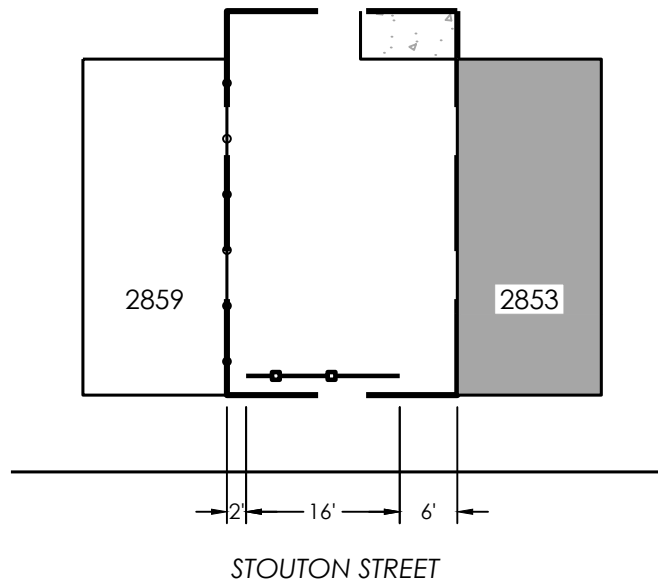
FENCE & TREE LAYOUT

2809-2813 HELEN STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2855-2857 STOUTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11611EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



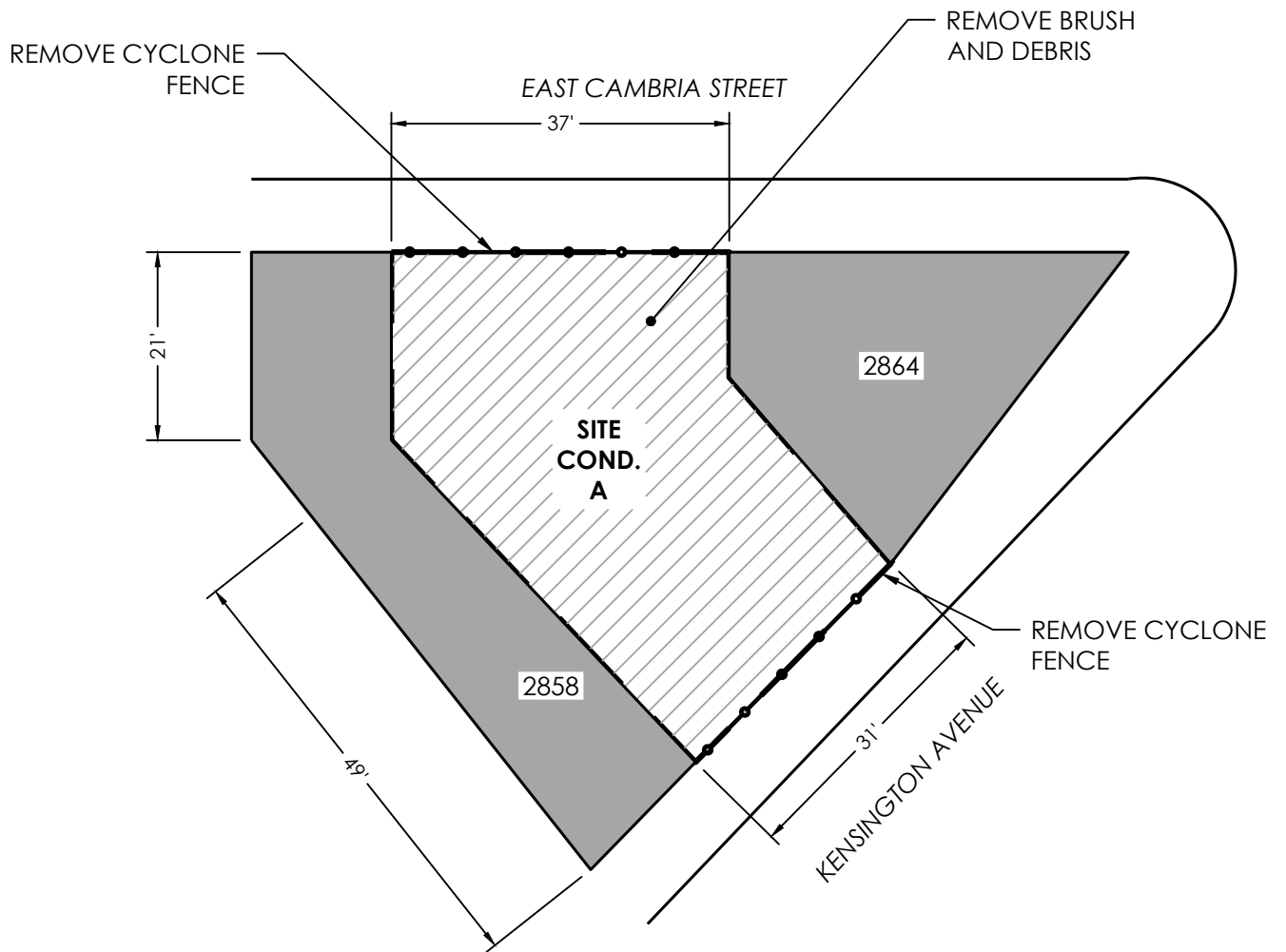
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11611EN_CLP	



FENCE & TREE LAYOUT

2855-2857 STOUTON STREET





Initial Date
8/1/2024

Scale
1" = 20'

Group F

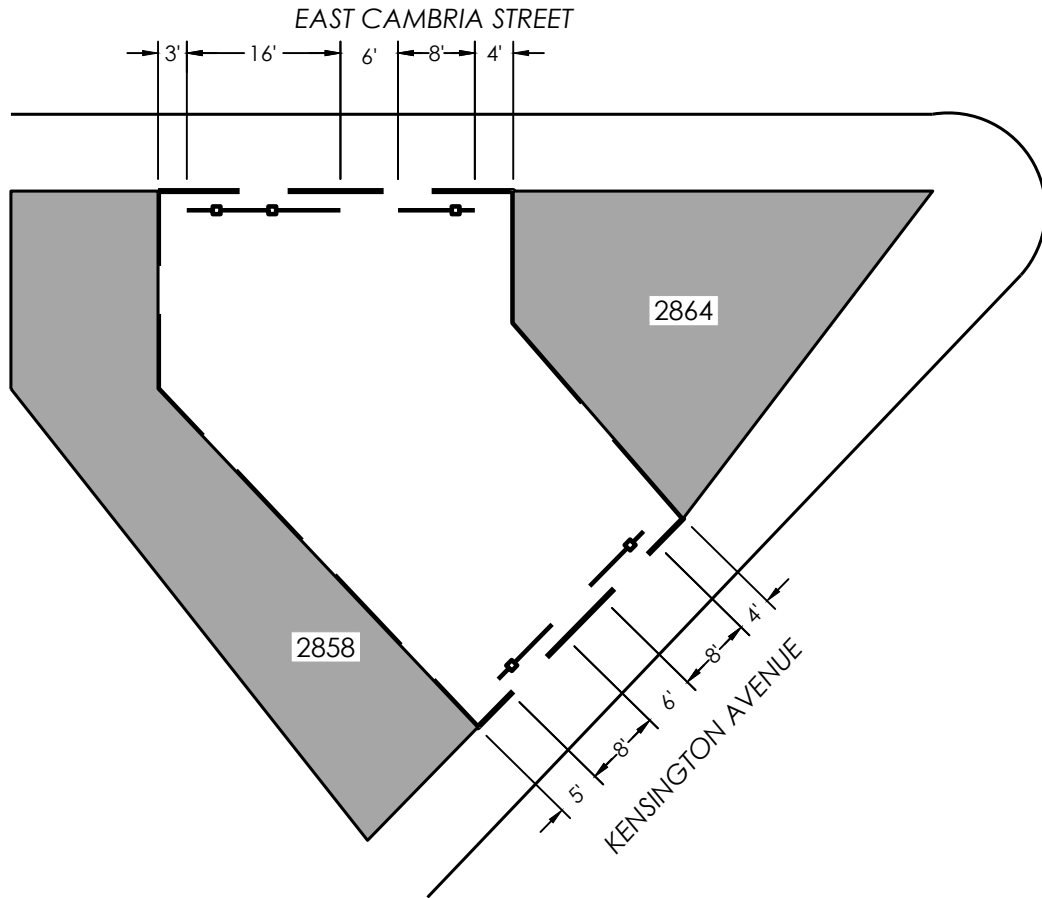


EXISTING CONDITIONS

2860-2862 KENSINGTON AVENUE



VL11612EN_CLP

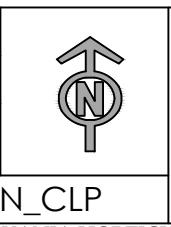


Initial Date
8/1/2024

Scale
1" = 20'

Group F

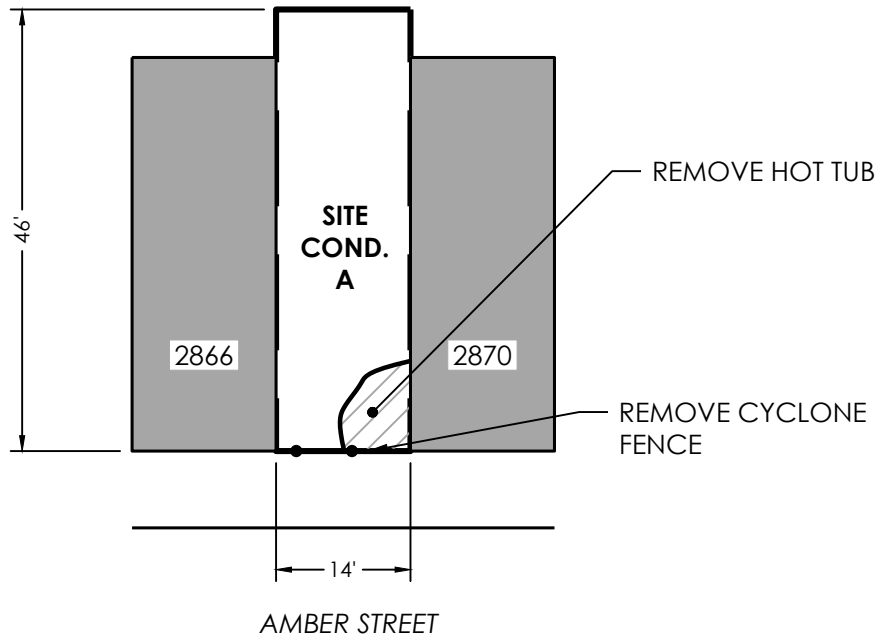
VL11612EN_CLP



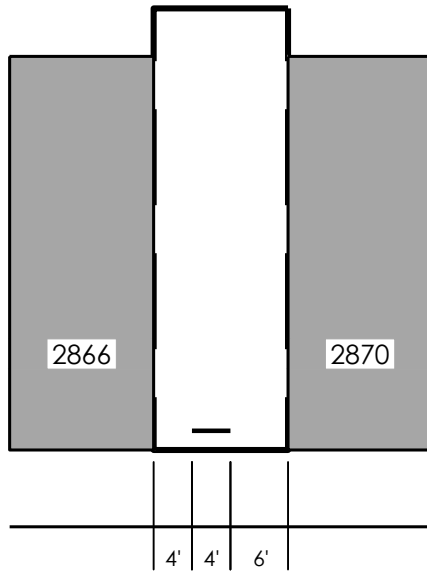
FENCE & TREE LAYOUT

2860-2862 KENSINGTON AVENUE





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2868 AMBER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11614EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



AMBER STREET

Initial Date
8/1/2024

Scale
1" = 20'

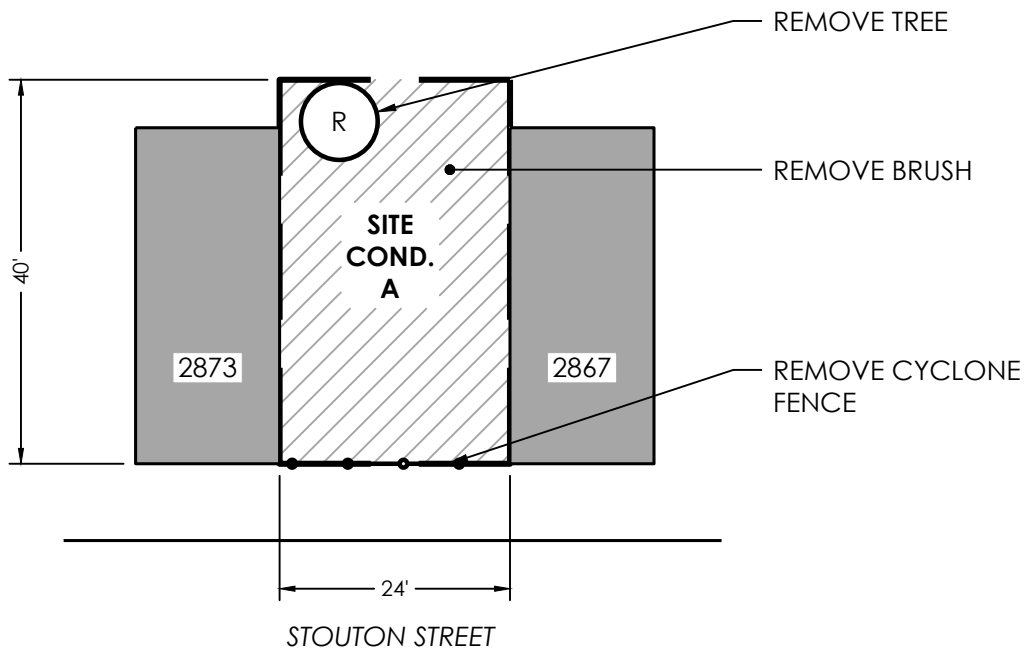
Group F



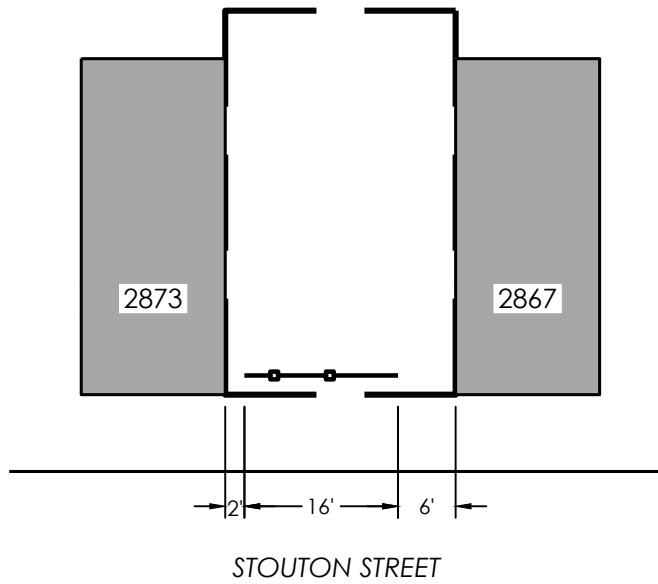
FENCE & TREE LAYOUT

2868 AMBER STREET





Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>2869-2871 STOUTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11615EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



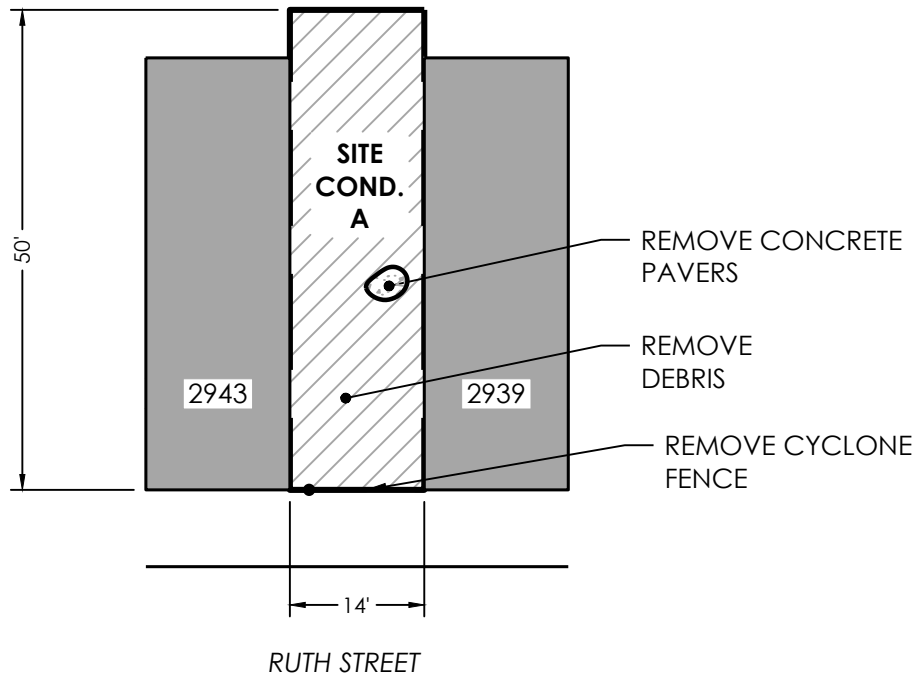
Initial Date
8/1/2024
Scale
1" = 20'
Group F



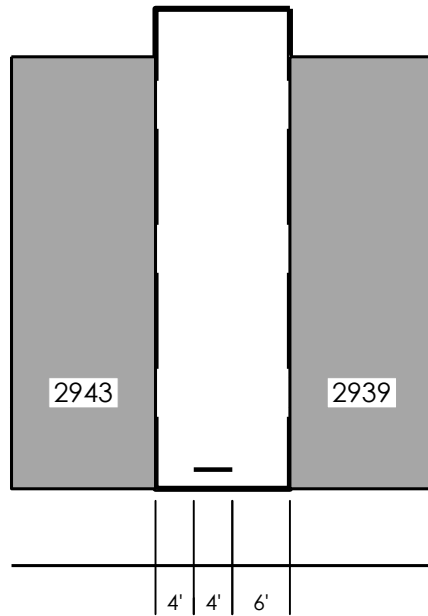
FENCE & TREE LAYOUT

2869-2871 STOUTON STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>2941 RUTH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11618EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



RUTH STREET

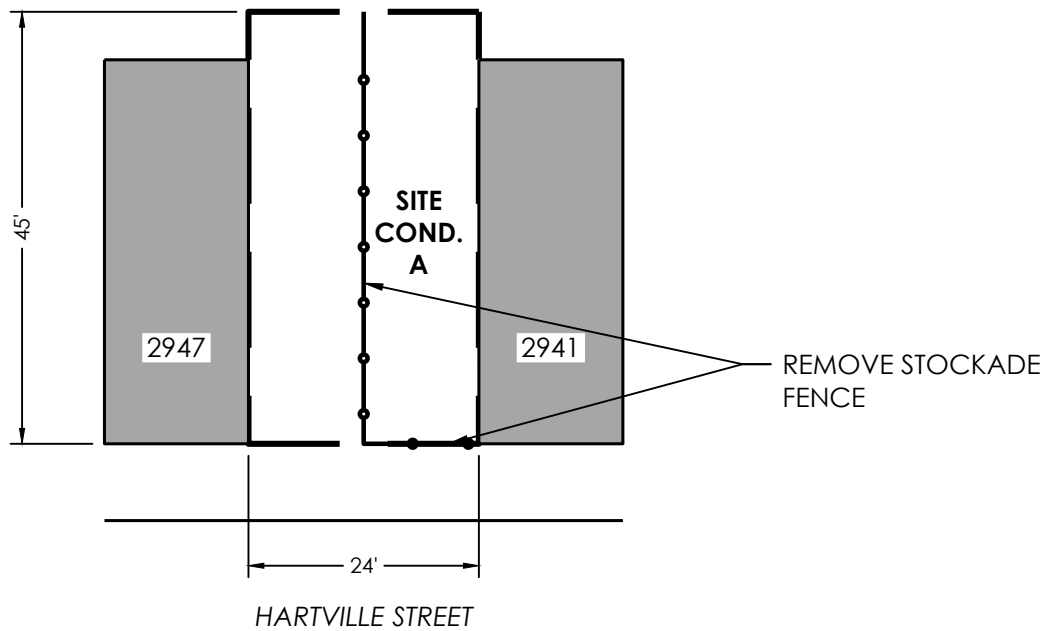
Initial Date
8/1/2024
Scale
1" = 20'
Group F



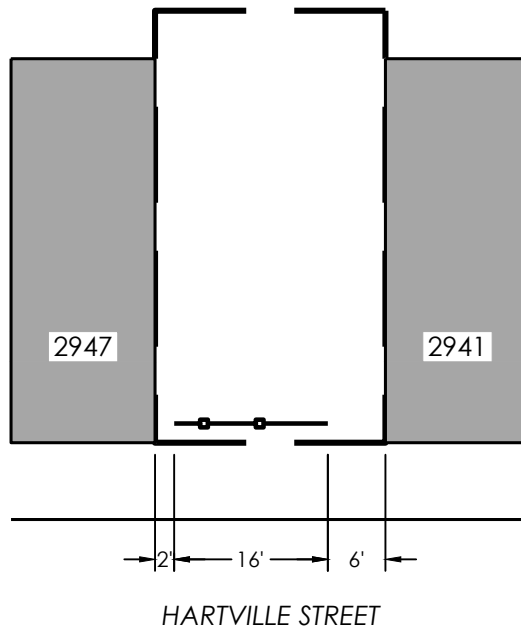
FENCE & TREE LAYOUT

2941 RUTH STREET





Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>2943 - 2945 HARTVILLE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11619EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

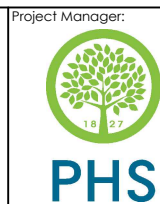


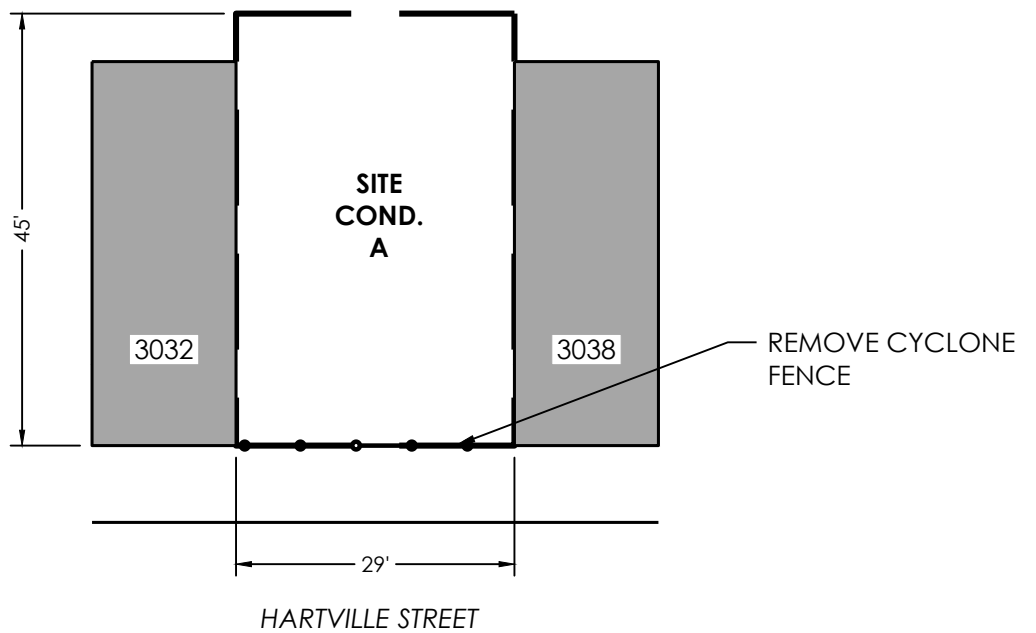
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
Project ID	VL11619EN_CLP



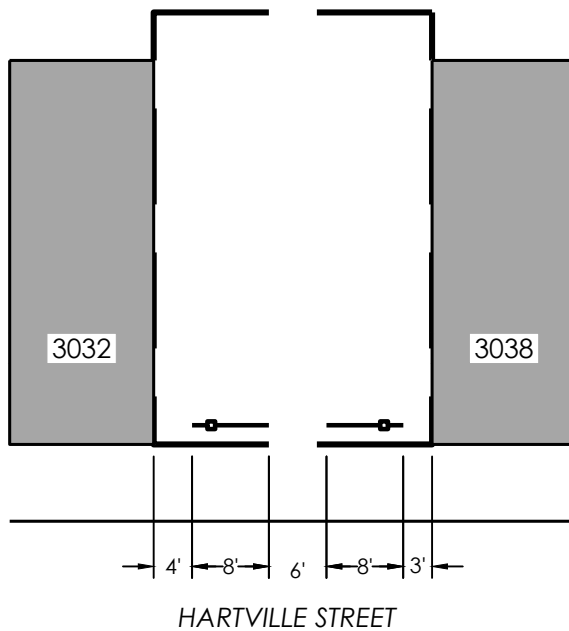
FENCE & TREE LAYOUT

2943 - 2945 HARTVILLE STREET





Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>3034-3036 HARTVILLE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11623EN_CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



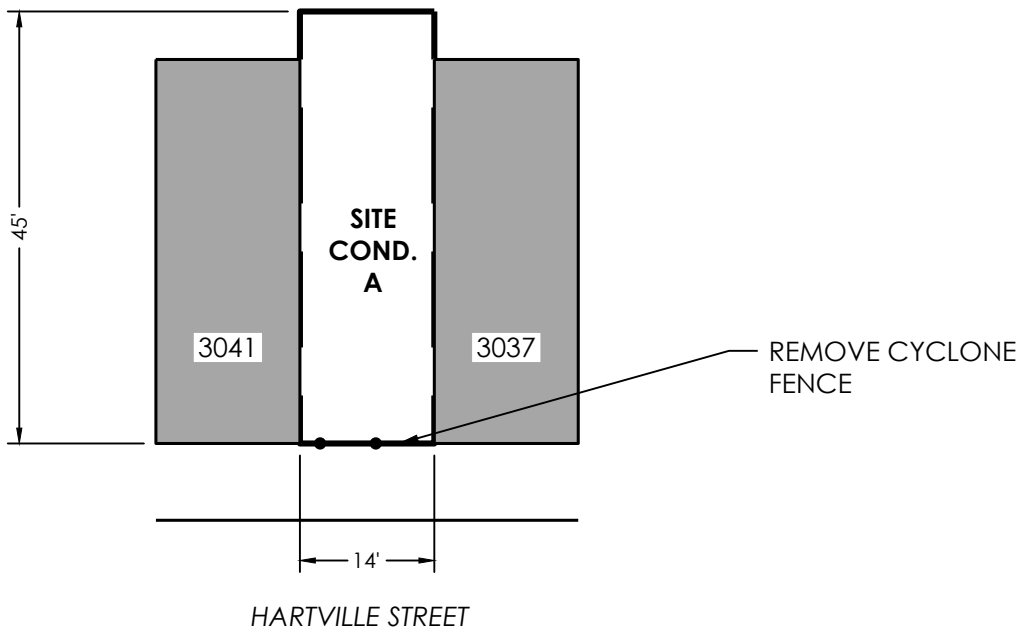
HARTVILLE STREET

Initial Date
8/1/2024
Scale
1" = 20'
Group F

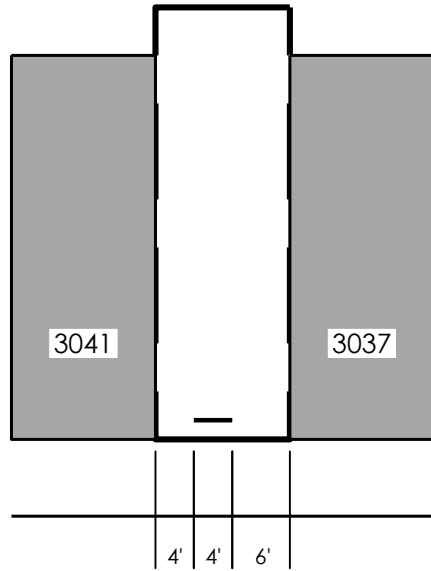


FENCE & TREE LAYOUT
3034-3036 HARTVILLE STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3039 HARTVILLE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11624EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



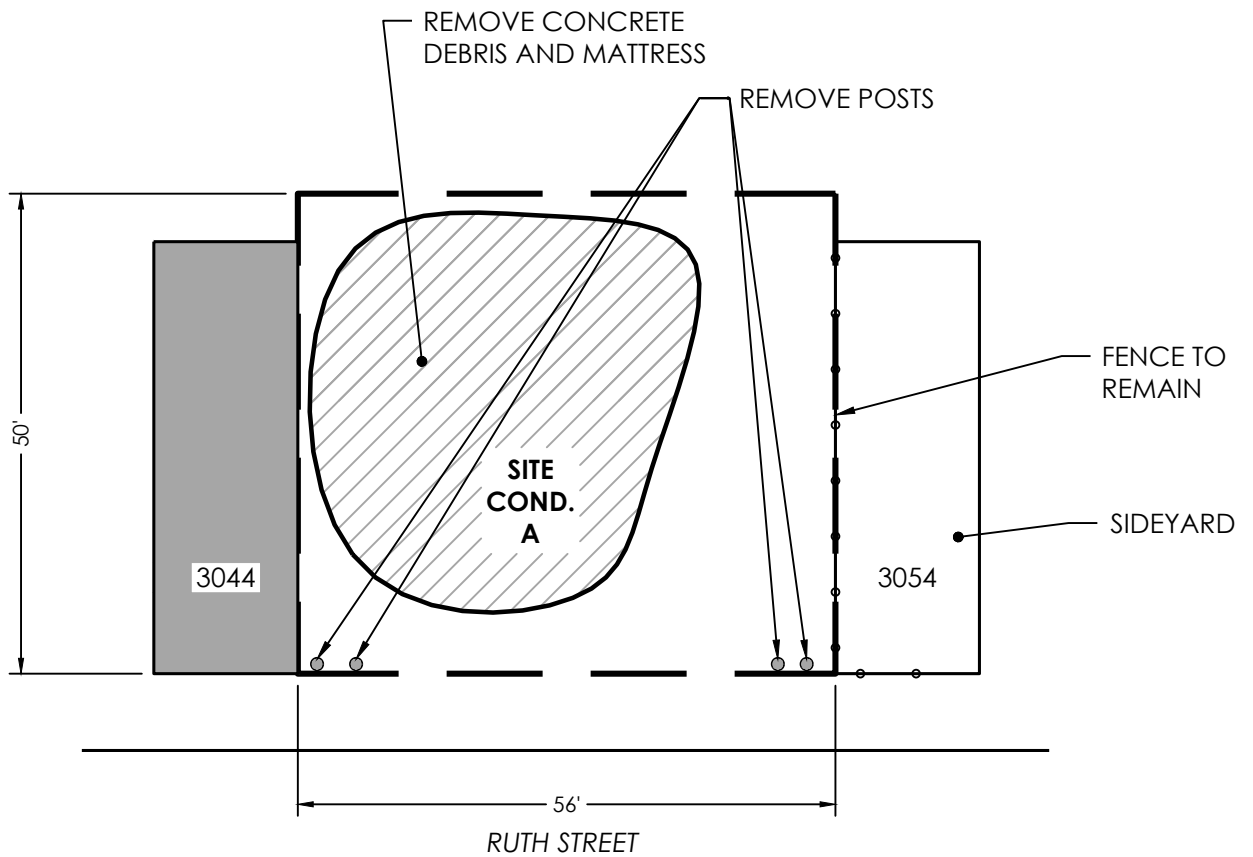
HARTVILLE STREET

Initial Date
8/1/2024
Scale
1" = 20'
Group F

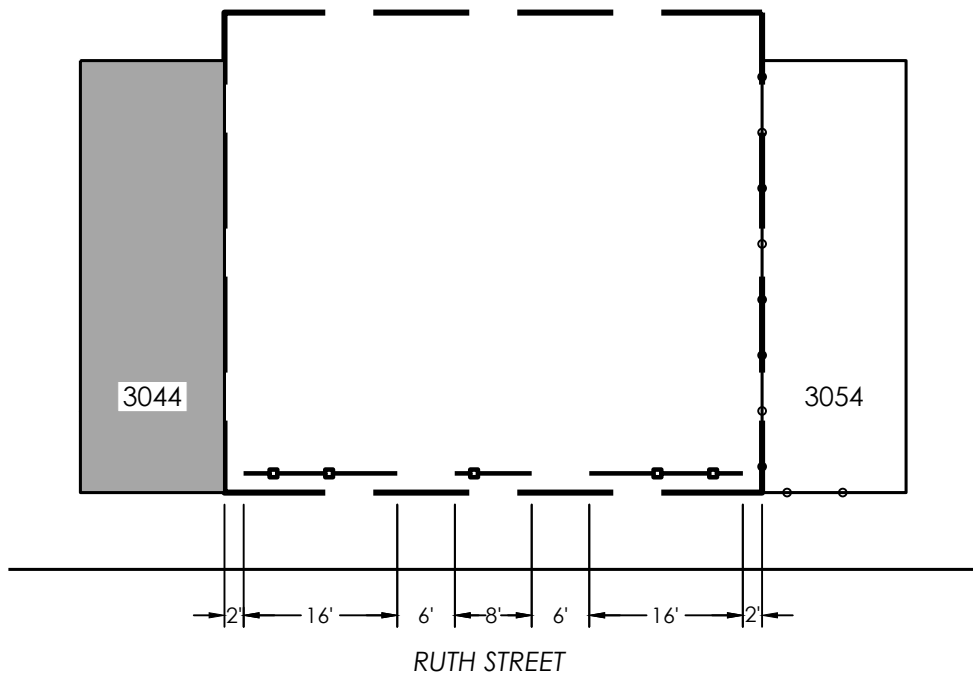


FENCE & TREE LAYOUT
3039 HARTVILLE STREET





Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>3046-3052 RUTH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11626EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

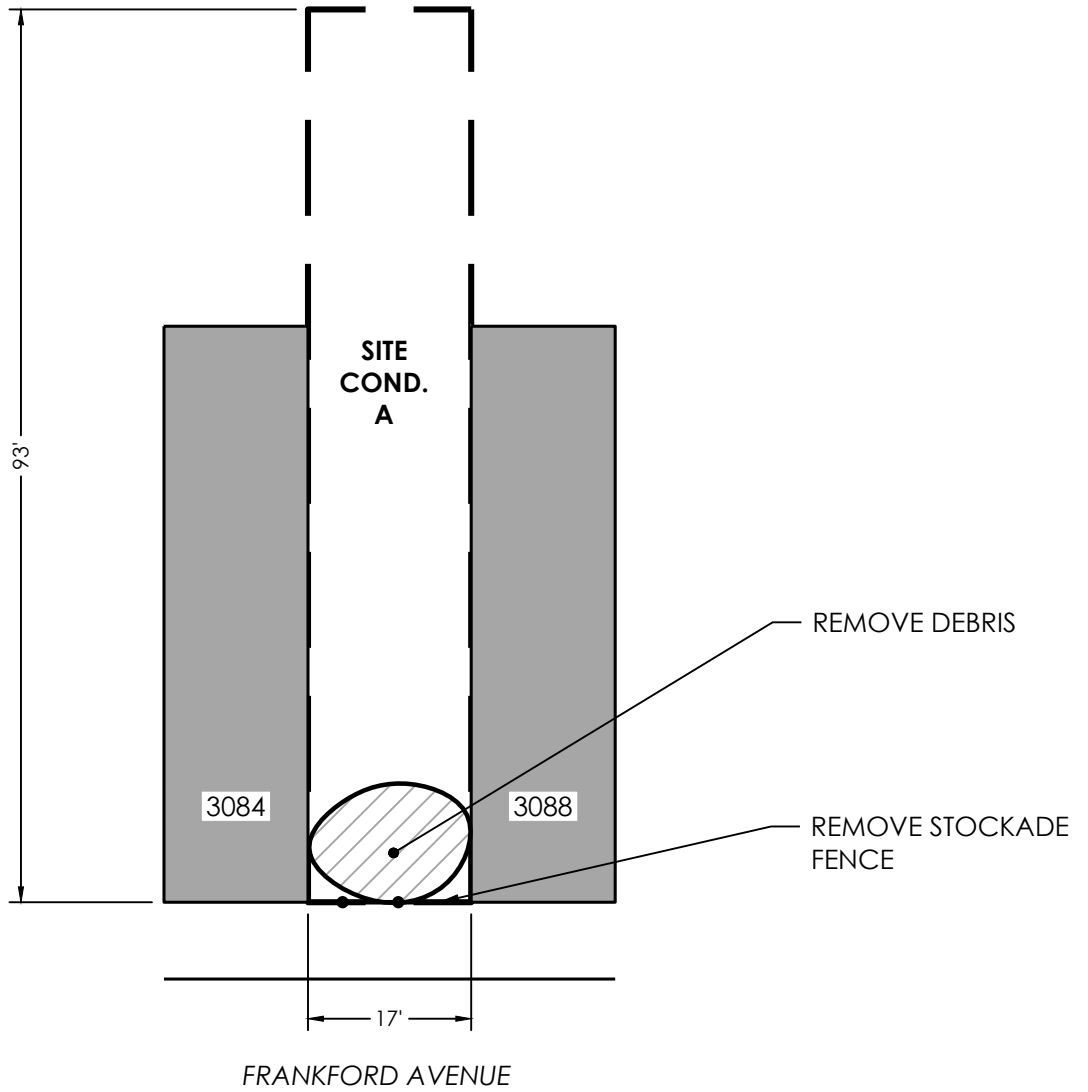
VL11626EN_CLP



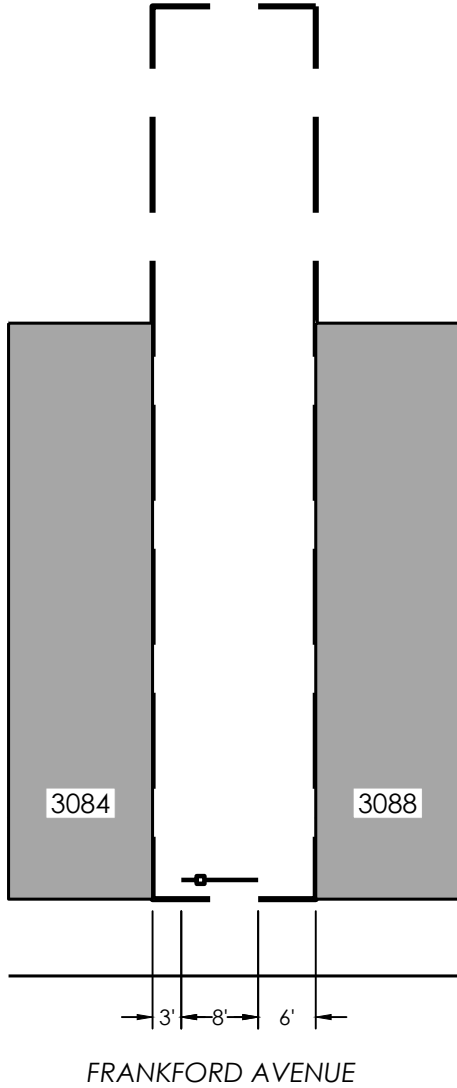
FENCE & TREE LAYOUT

3046-3052 RUTH STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3086 FRANKFORD AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11627EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		

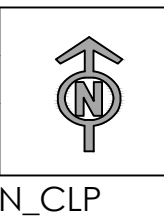


Initial Date
8/1/2024

Scale
1" = 20'

Group F

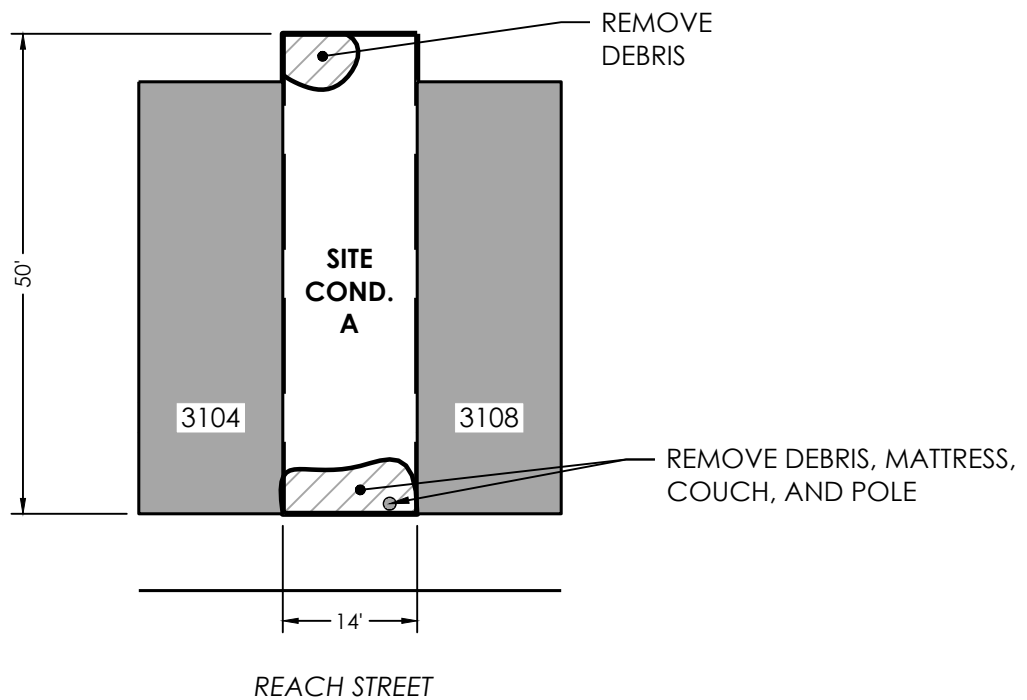
VL11627EN_CLP



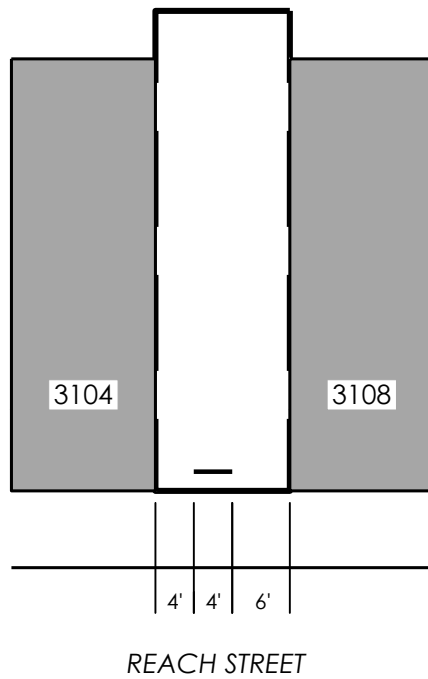
FENCE & TREE LAYOUT

3086 FRANKFORD AVENUE





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3106 REACH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11628EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

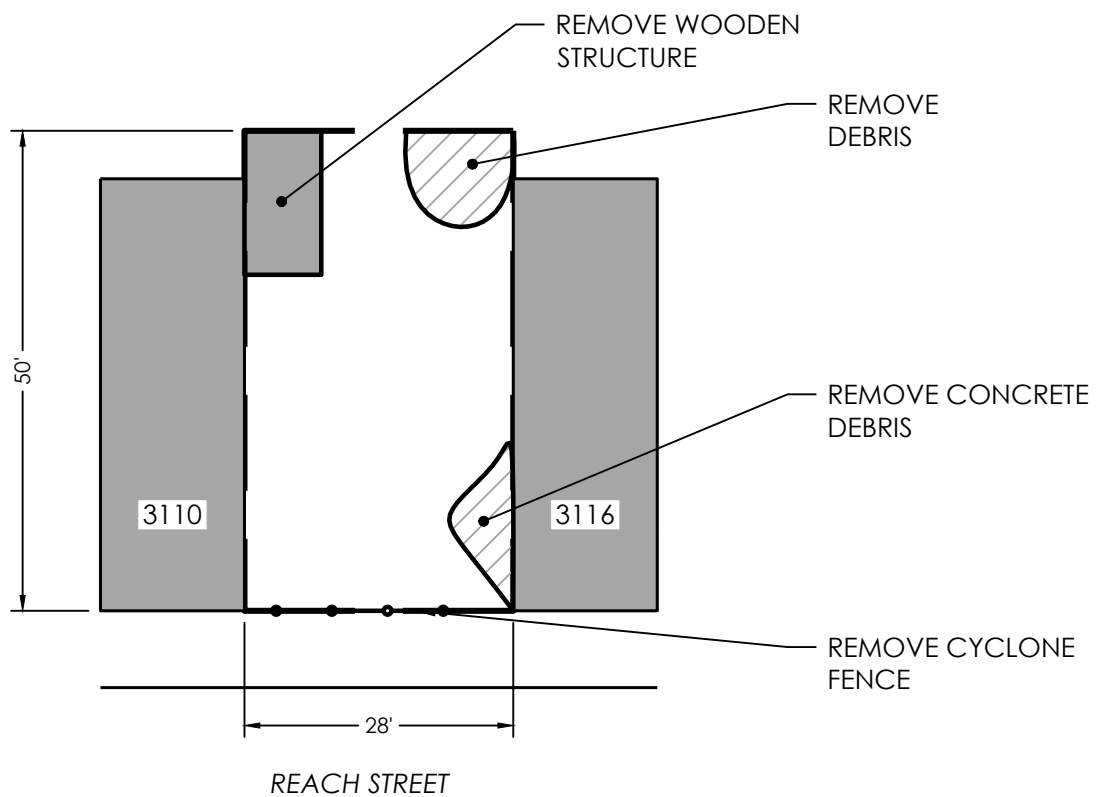
VL11628EN_CLP



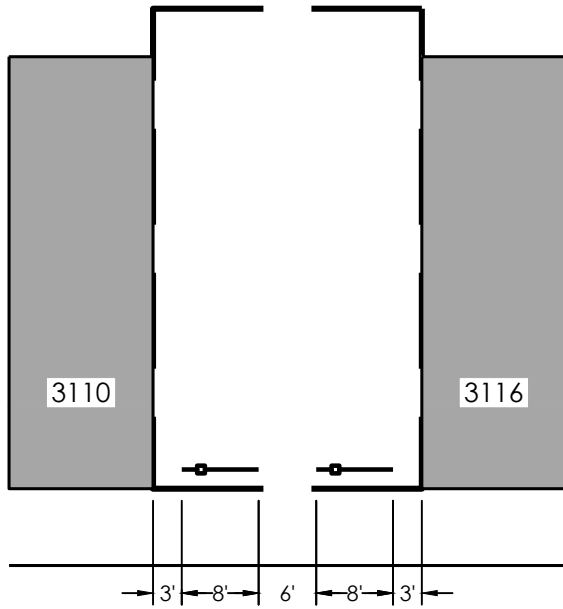
FENCE & TREE LAYOUT

3106 REACH STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3112-3114 REACH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11629EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



REACH STREET

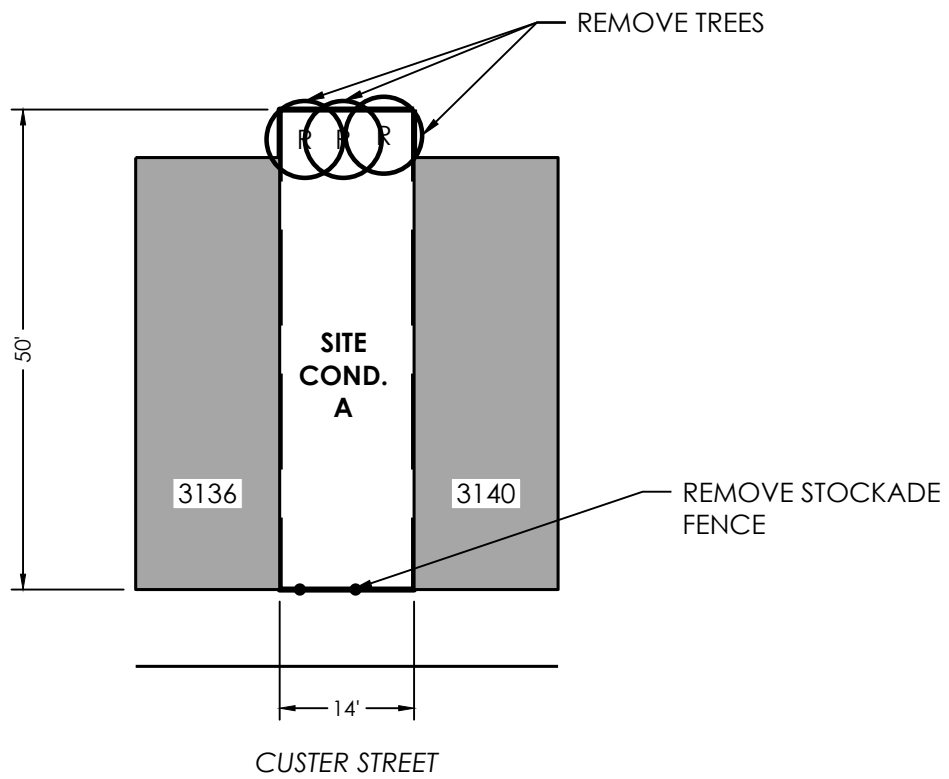
Initial Date	8/1/2024
Scale	1" = 20'
Group F	
VL11629EN_CLP	



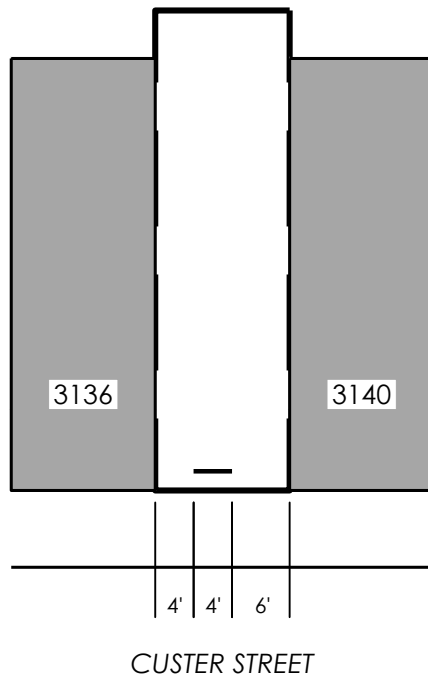
FENCE & TREE LAYOUT

3112-3114 REACH STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3138 CUSTER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11632EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

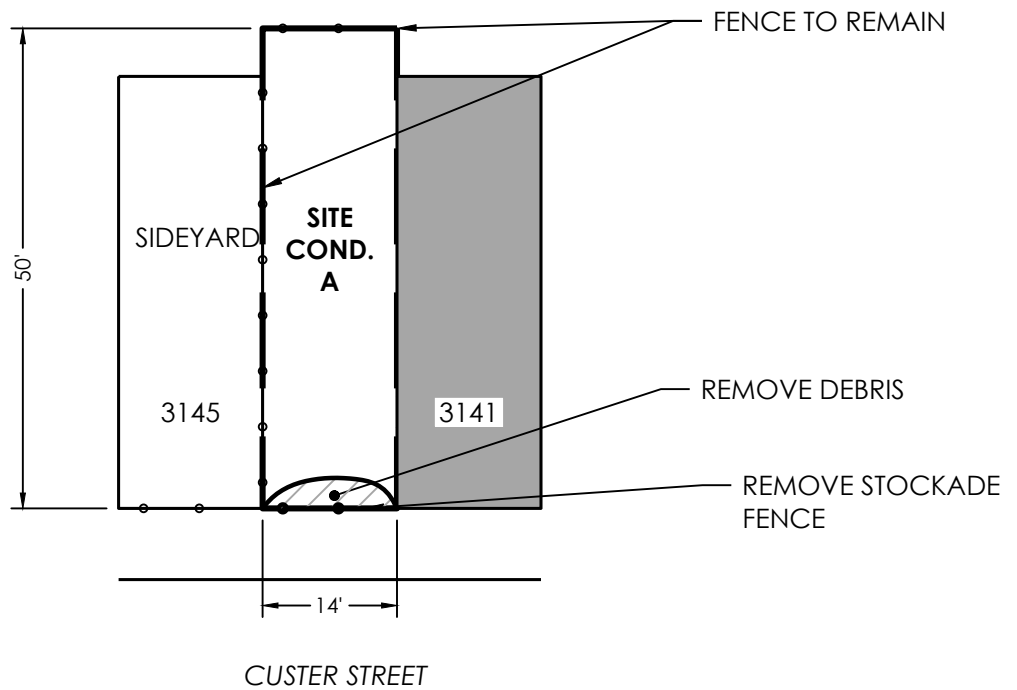
Group F



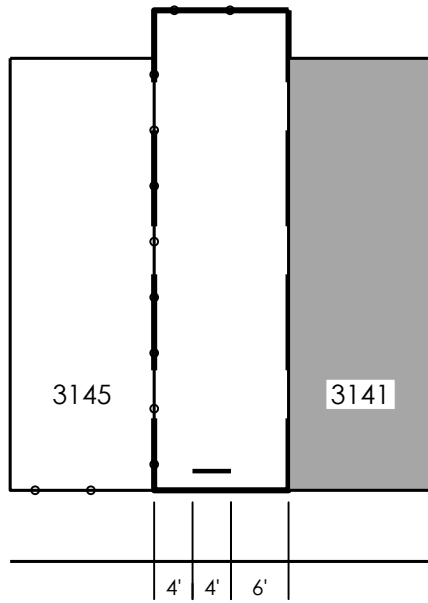
FENCE & TREE LAYOUT

3138 CUSTER STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3143 CUSTER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11633EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



CUSTER STREET

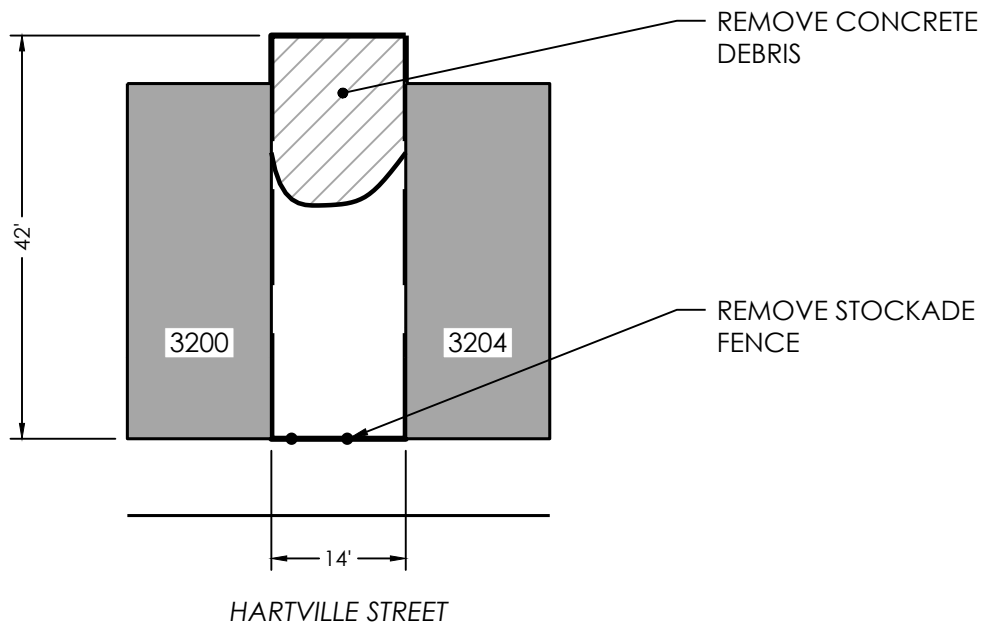
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11633EN_CLP	



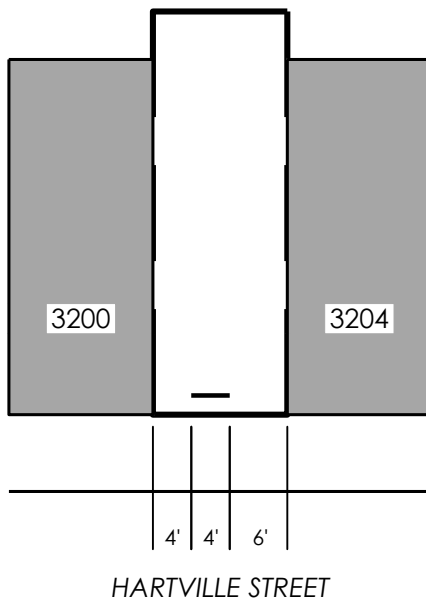
FENCE & TREE LAYOUT

3143 CUSTER STREET

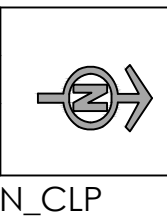




Initial Date 8/1/2024		<h2>EXISTING CONDITIONS</h2> <p>3202 HARTVILLE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11635EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



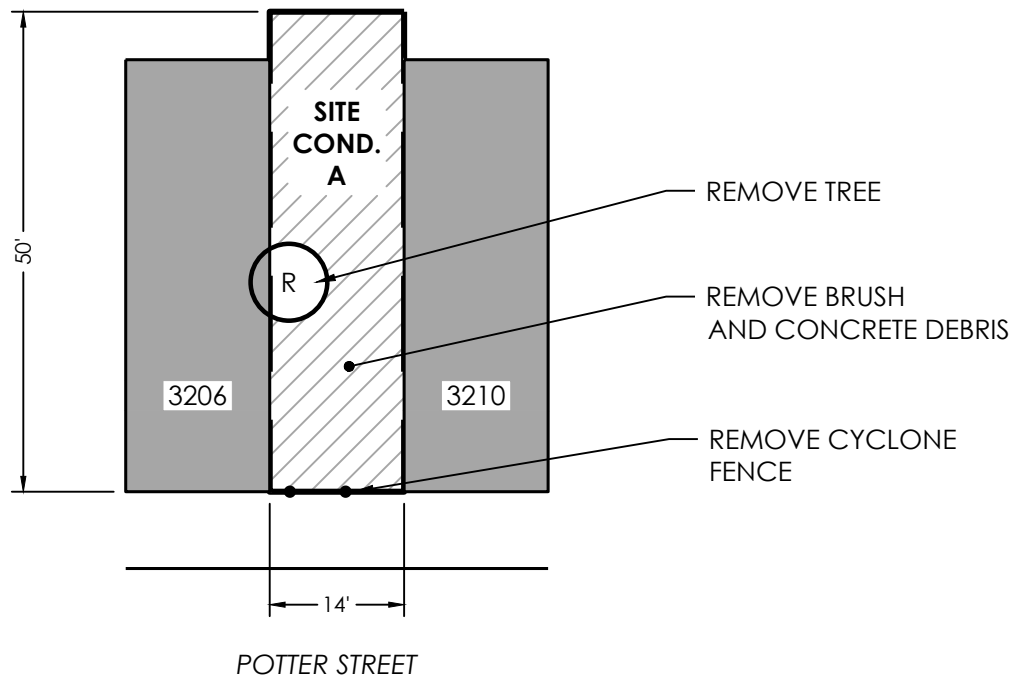
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11635EN_CLP	



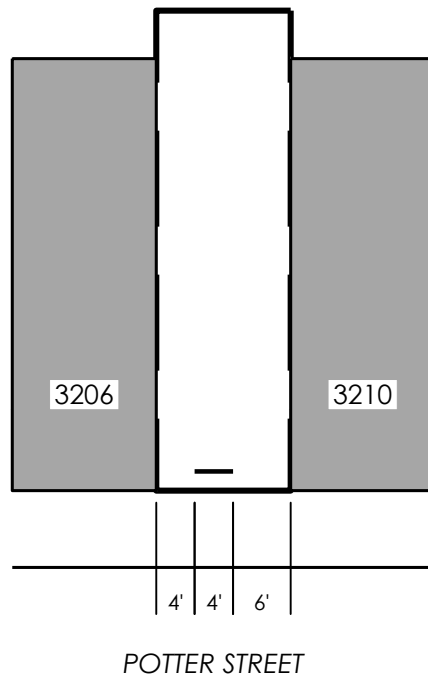
FENCE & TREE LAYOUT

3202 HARTVILLE STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3208 POTTER ST</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11636EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

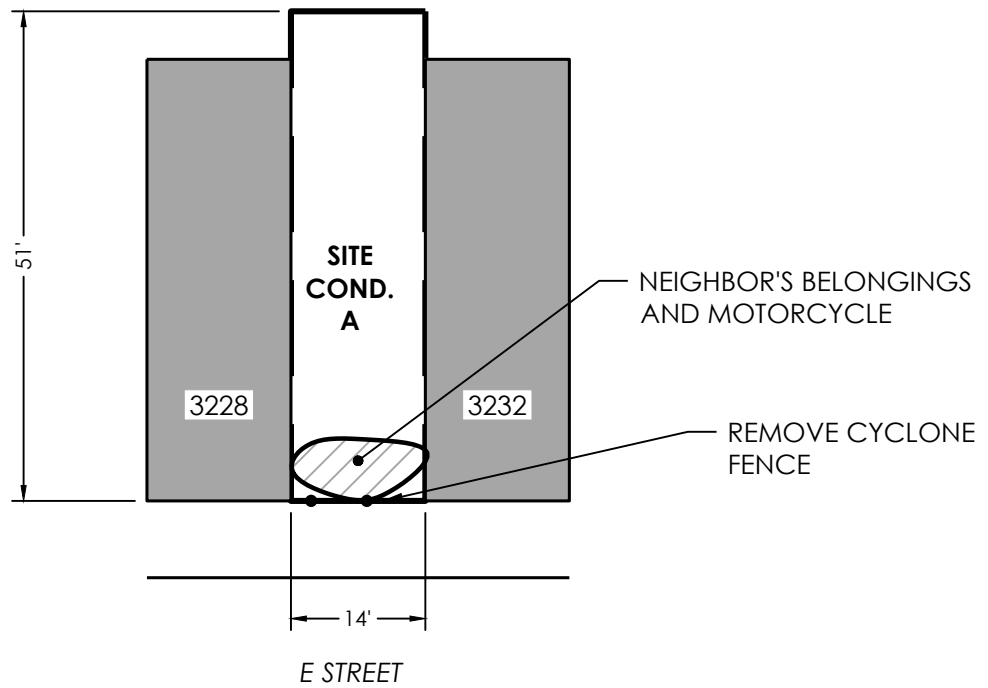
VL11636EN_CLP



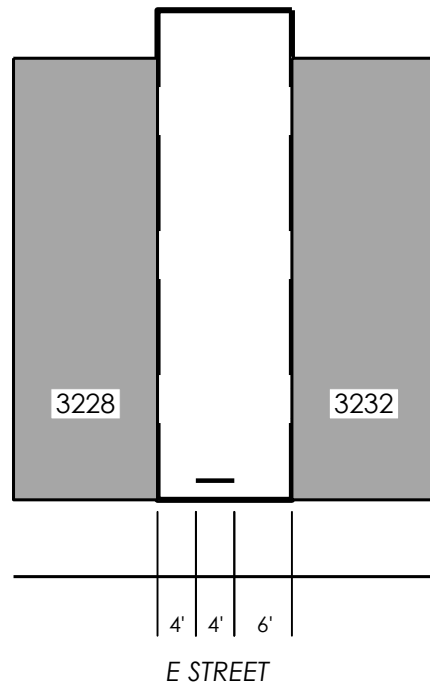
FENCE & TREE LAYOUT

3208 POTTER ST





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3230 E STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11637EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

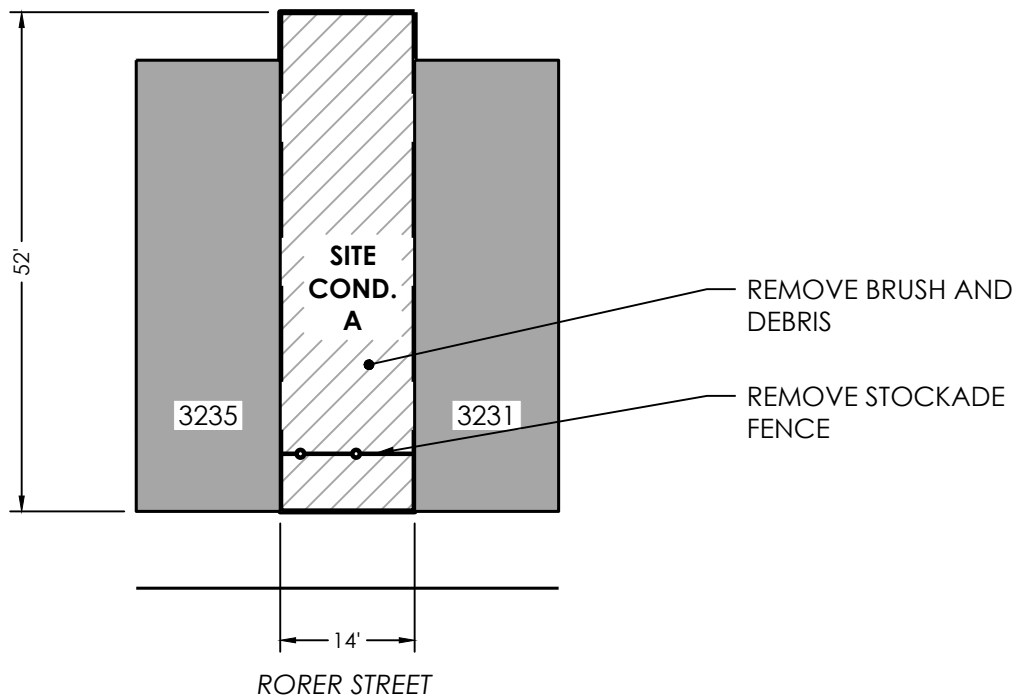
Group F



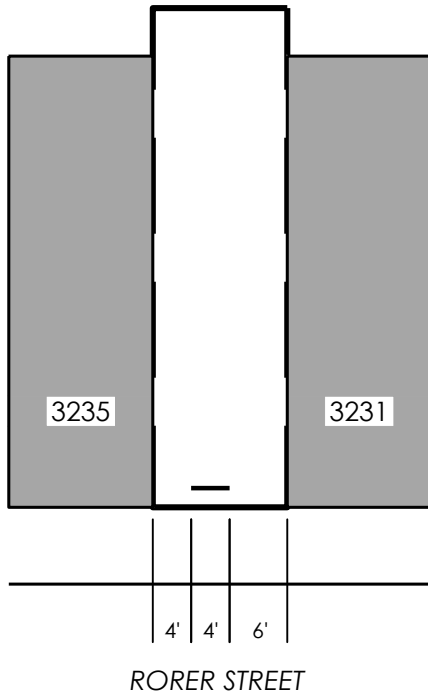
FENCE & TREE LAYOUT

3230 E STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3233 RORER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11638EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

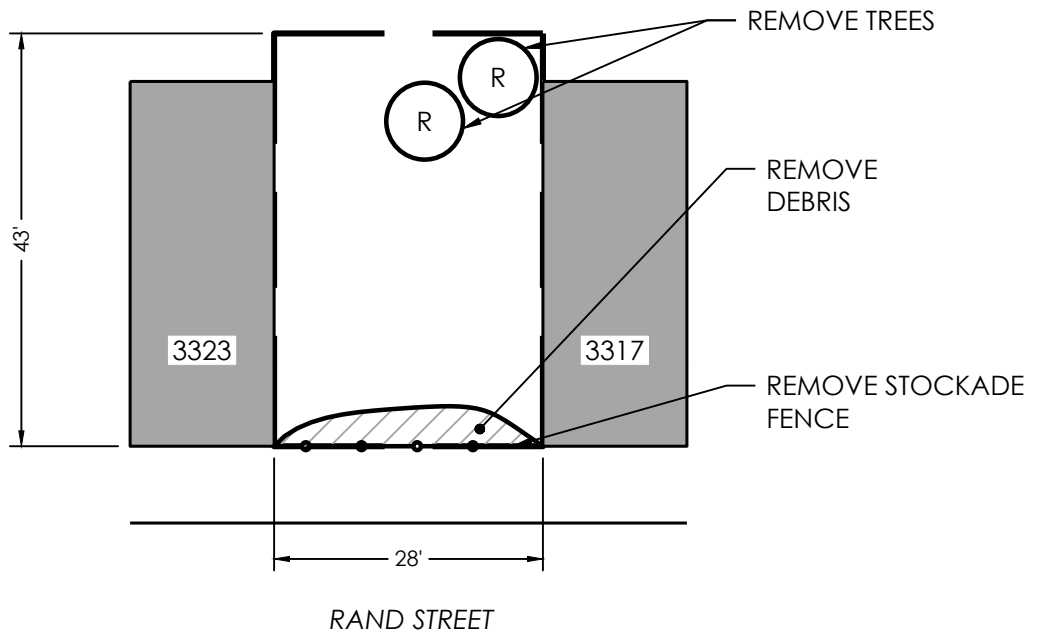
VL11638EN_CLP



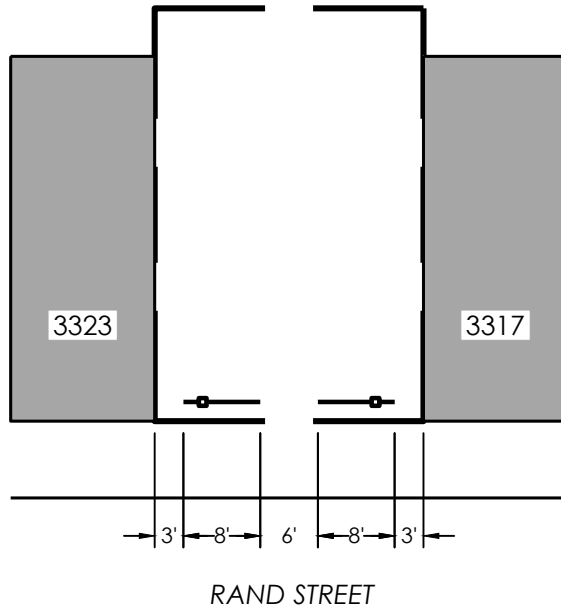
FENCE & TREE LAYOUT

3233 RORER STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3319-3321 RAND STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11640EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



RAND STREET

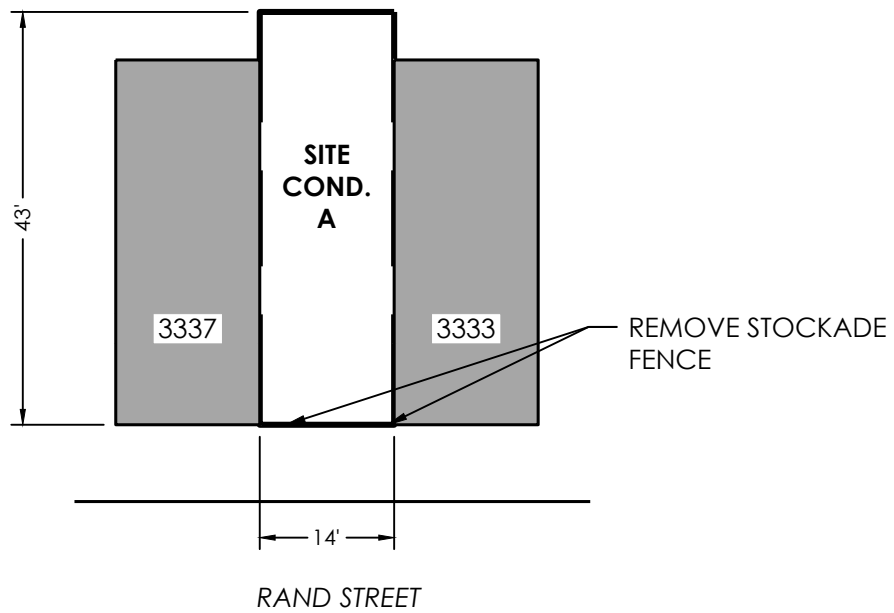
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11640EN_CLP	



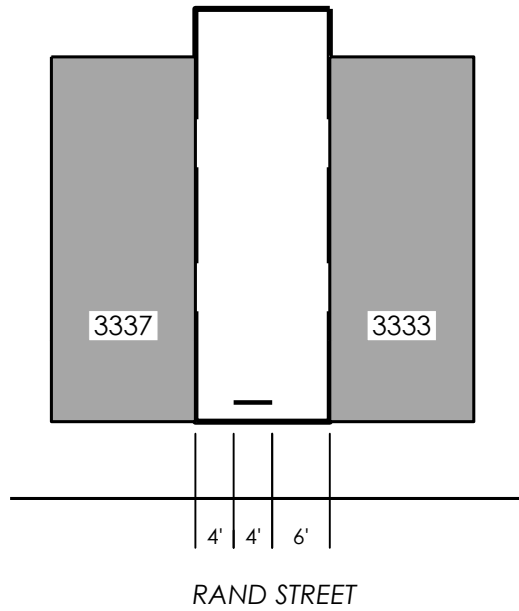
FENCE & TREE LAYOUT

3319-3321 RAND STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3335 RAND STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11641EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date
8/1/2024

Scale
1" = 20'

Group F

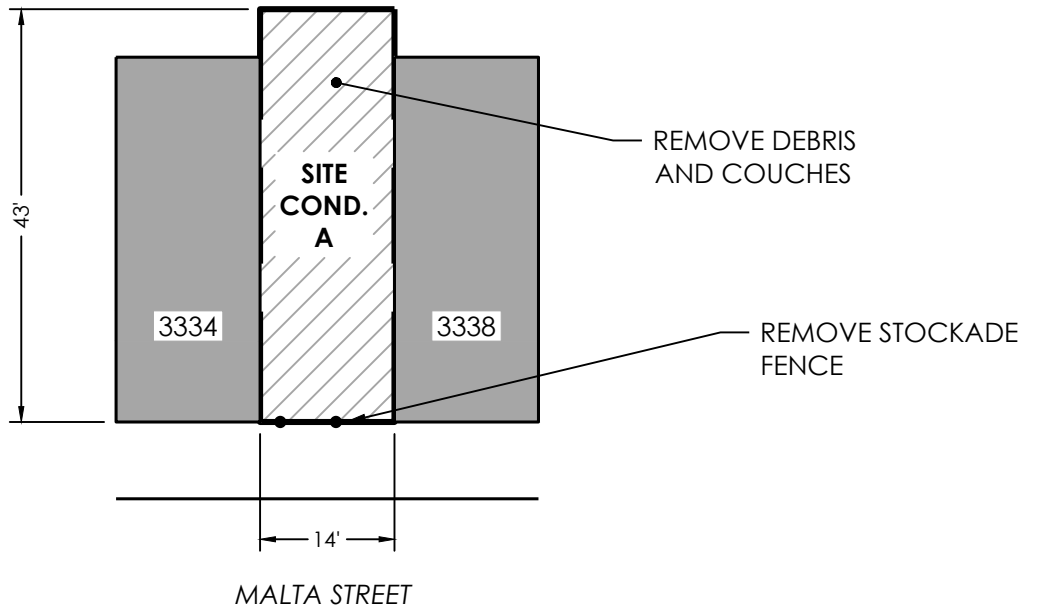
VL11641EN_CLP



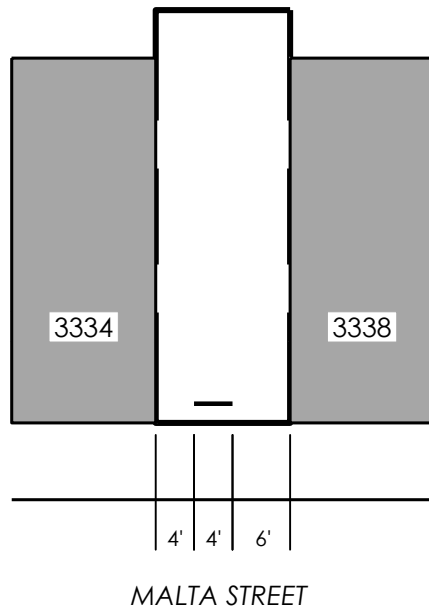
FENCE & TREE LAYOUT

3335 RAND STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>3336 MALTA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11642EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

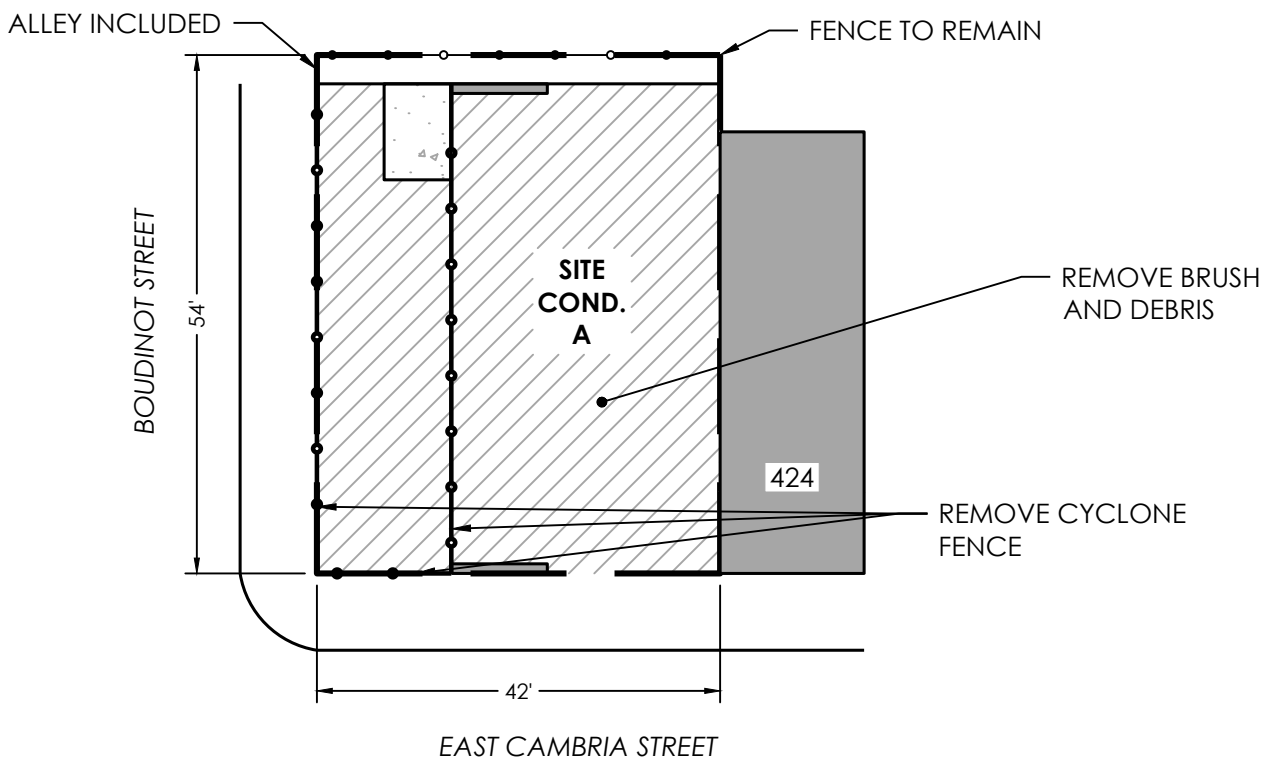
Group F



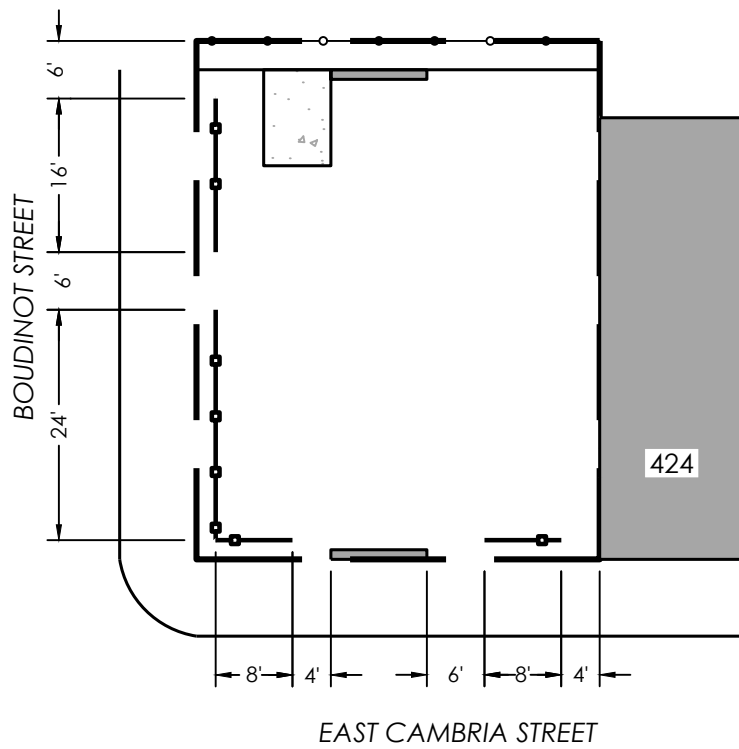
FENCE & TREE LAYOUT

3336 MALTA STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>426-430 EAST CAMBRIA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11643EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

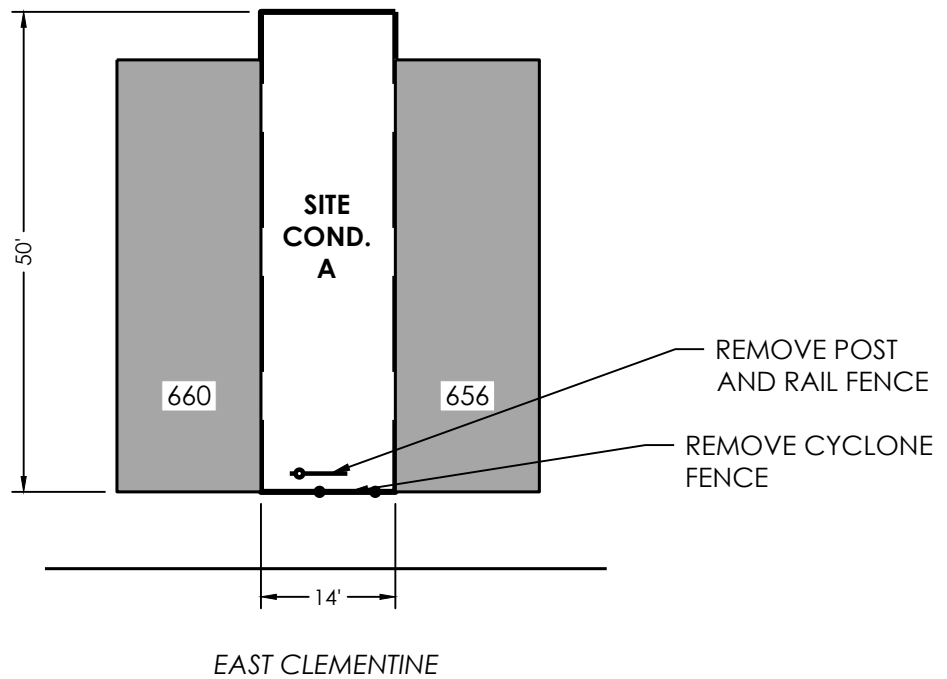
VL11643EN_CLP



FENCE & TREE LAYOUT

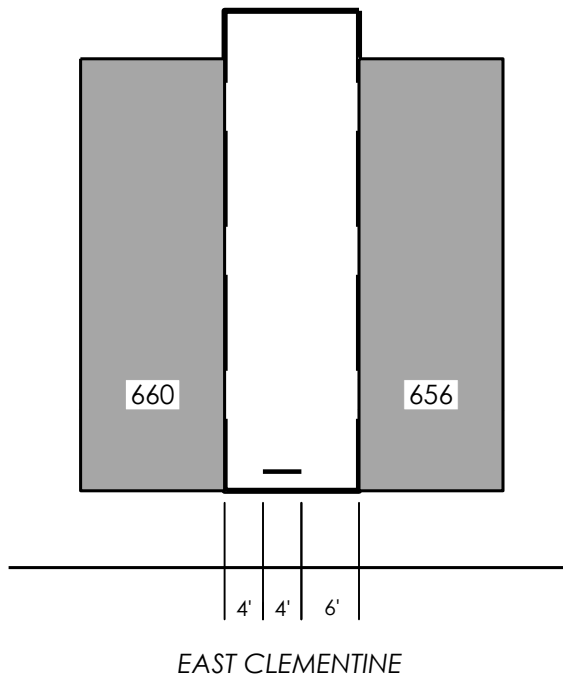
426-430 EAST CAMBRIA STREET





EAST CLEMENTINE

Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>658 EAST CLEMENTINE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11649EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

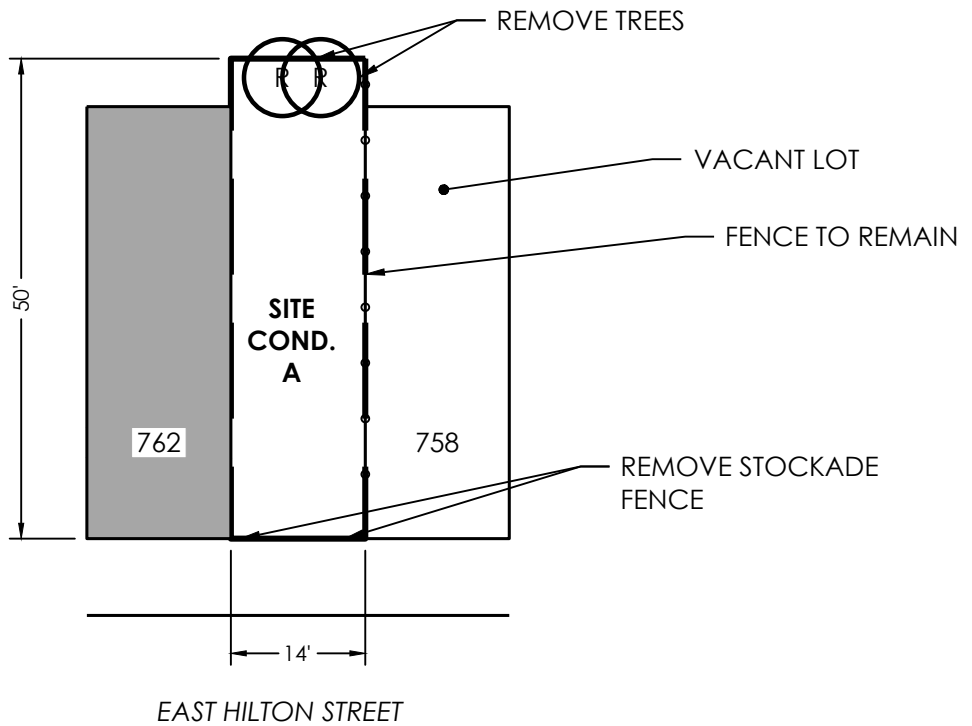
Group F



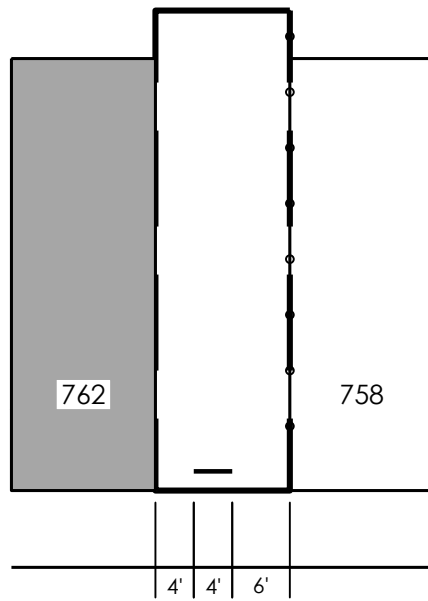
FENCE & TREE LAYOUT

658 EAST CLEMENTINE STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>760 EAST HILTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11651EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



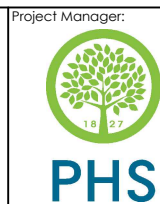
EAST HILTON STREET

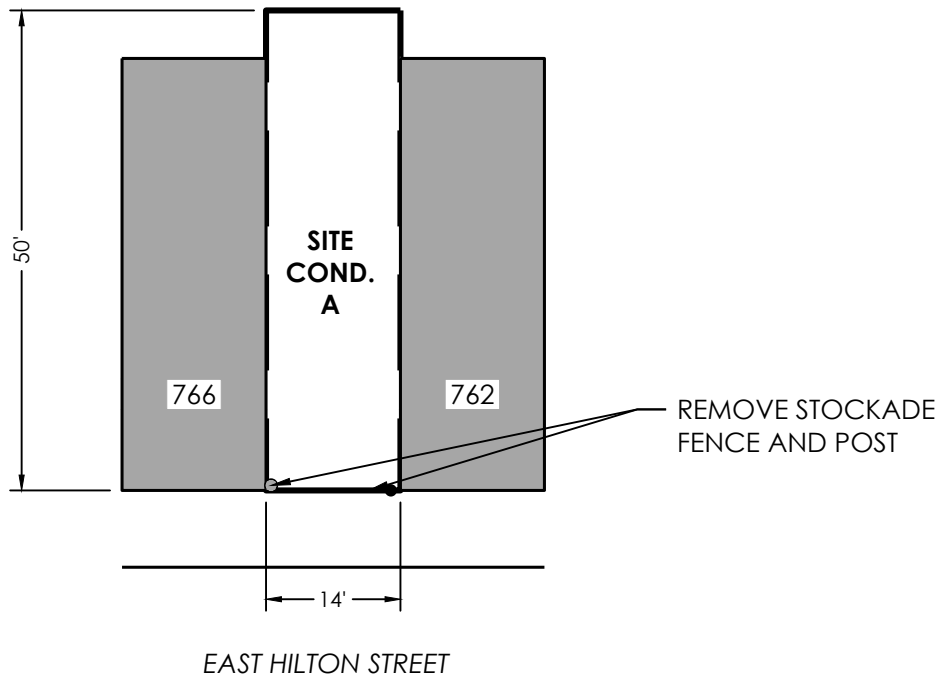
Initial Date
8/1/2024
Scale
1" = 20'
Group F



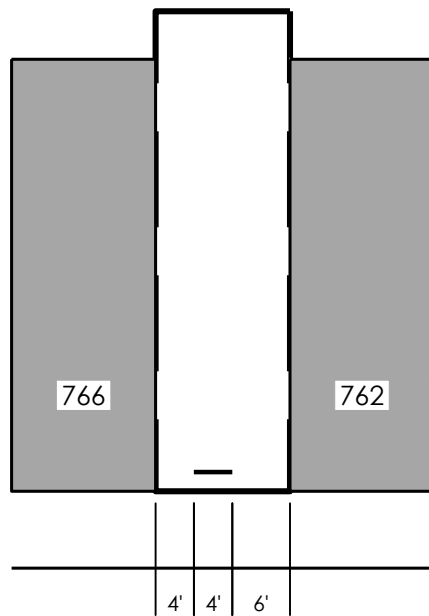
FENCE & TREE LAYOUT

760 EAST HILTON STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>764 EAST HILTON ST</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11652EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



EAST HILTON STREET

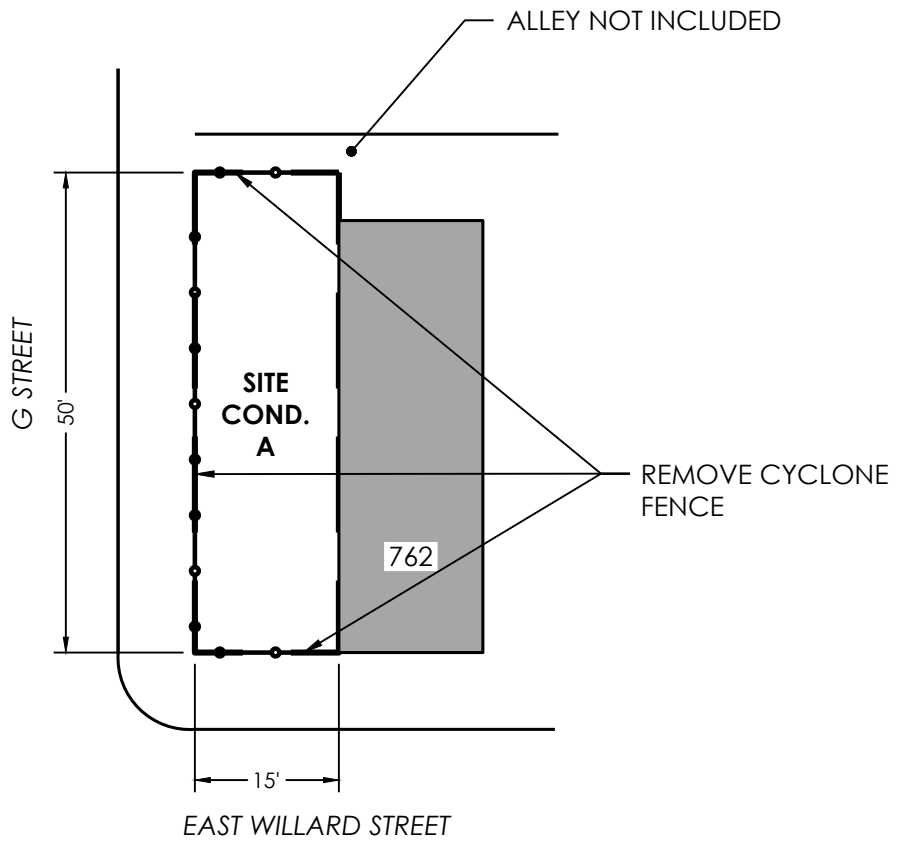
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11652EN_CLP	



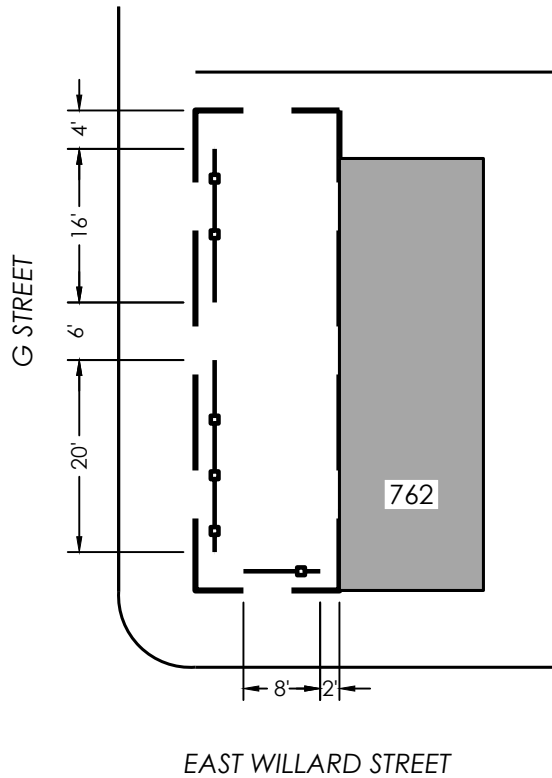
FENCE & TREE LAYOUT

764 EAST HILTON ST





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>764 EAST WILLARD STREET</p>	Project Of: 	Project Manager: 
Scale 1" = 20'				
Group F				
VL11653EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



EAST WILLARD STREET

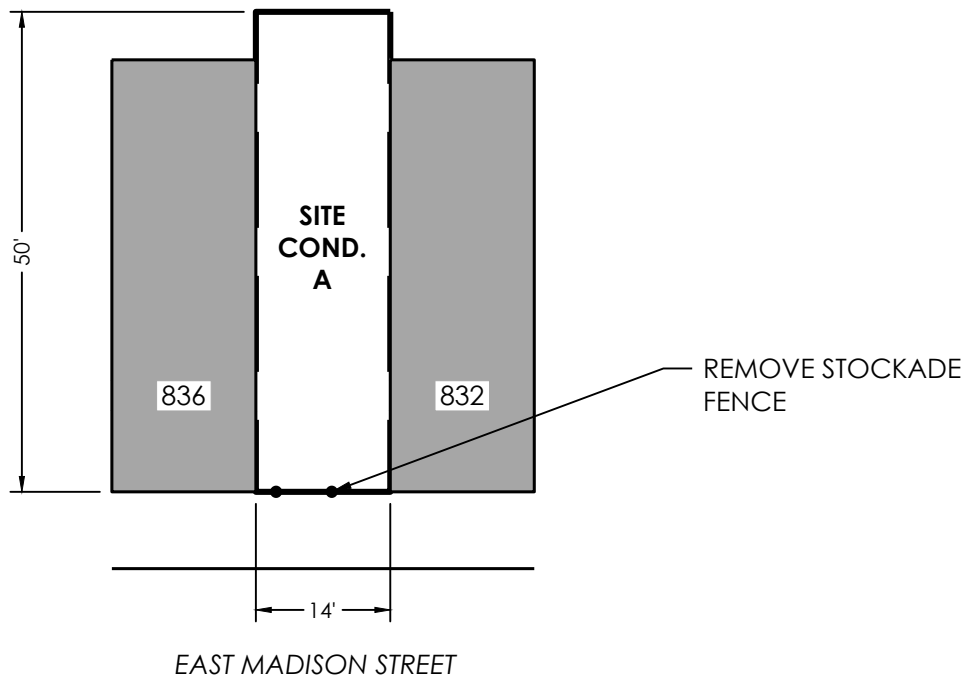
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11653EN_CLP	



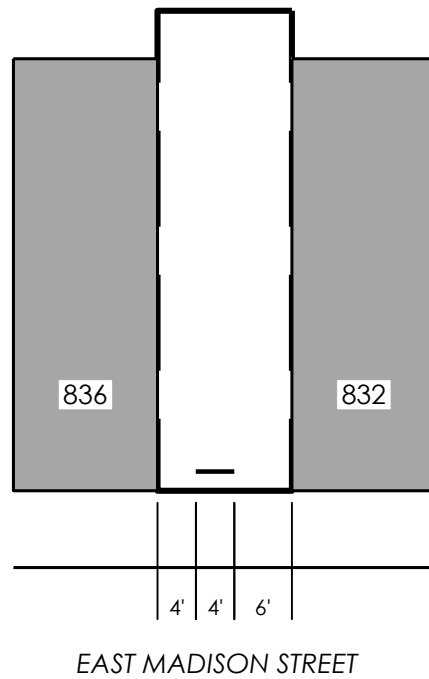
FENCE & TREE LAYOUT

764 EAST WILLARD STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>834 EAST MADISON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11654EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

Group F

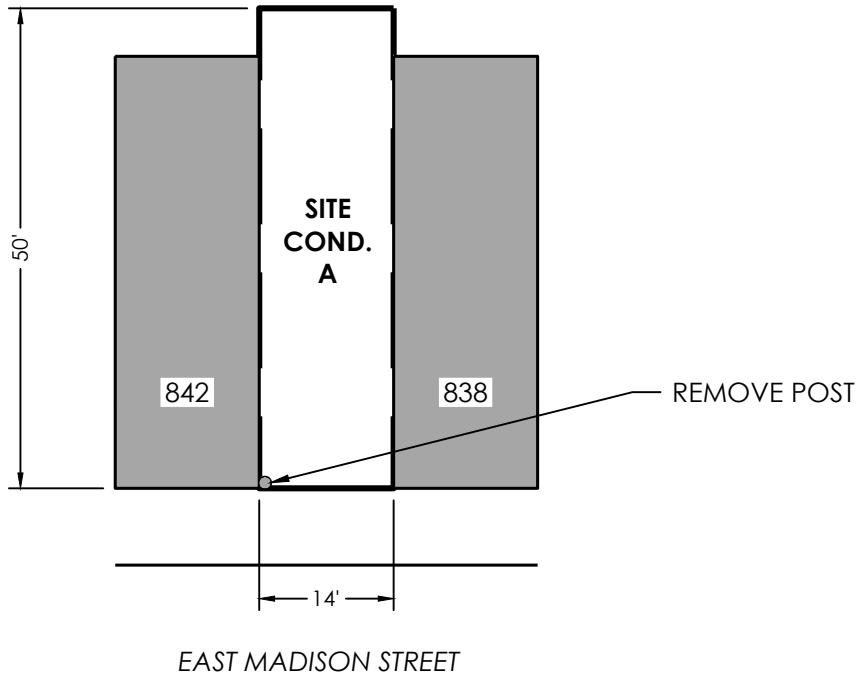
VL11654EN_CLP



FENCE & TREE LAYOUT

834 EAST MADISON STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>840 EAST MADISON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11655EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



EAST MADISON STREET

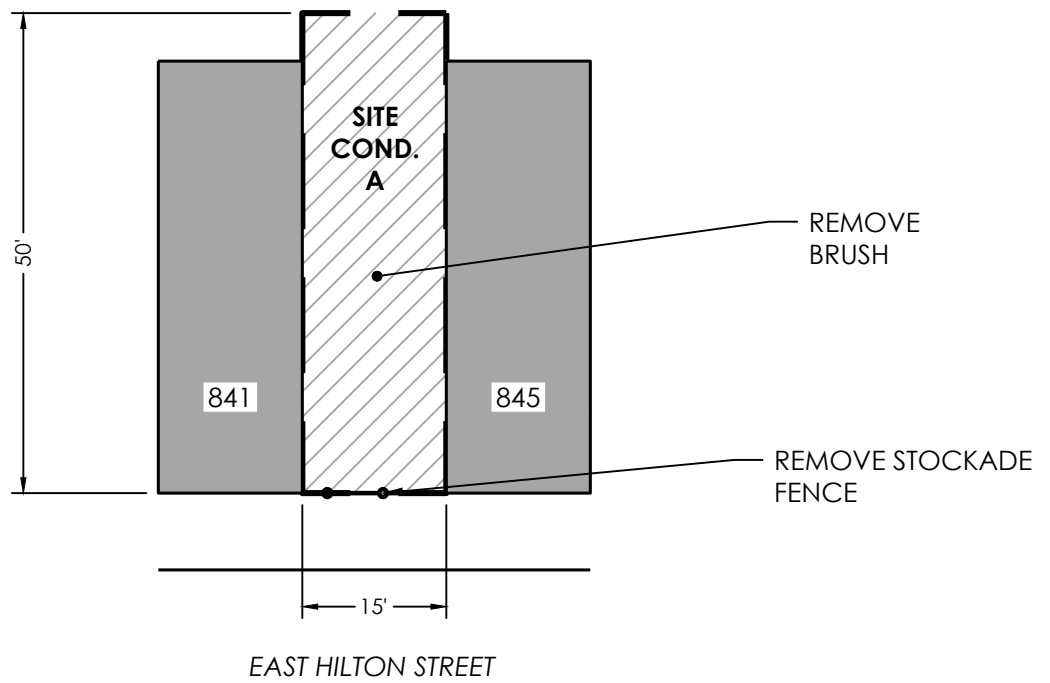
Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11655EN_CLP	



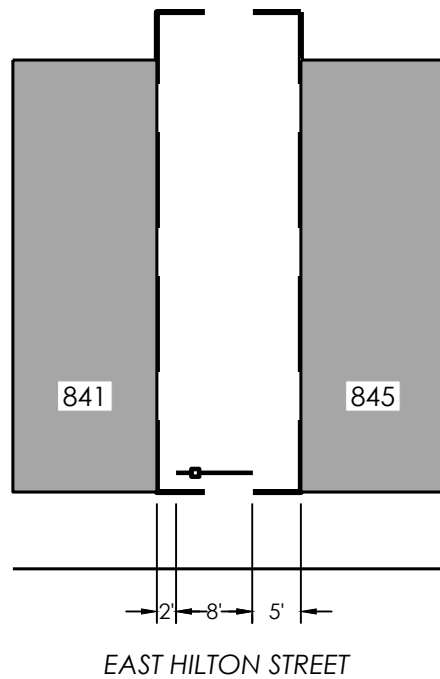
FENCE & TREE LAYOUT

840 EAST MADISON STREET

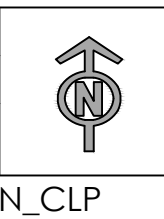




Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>843 EAST HILTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11656EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

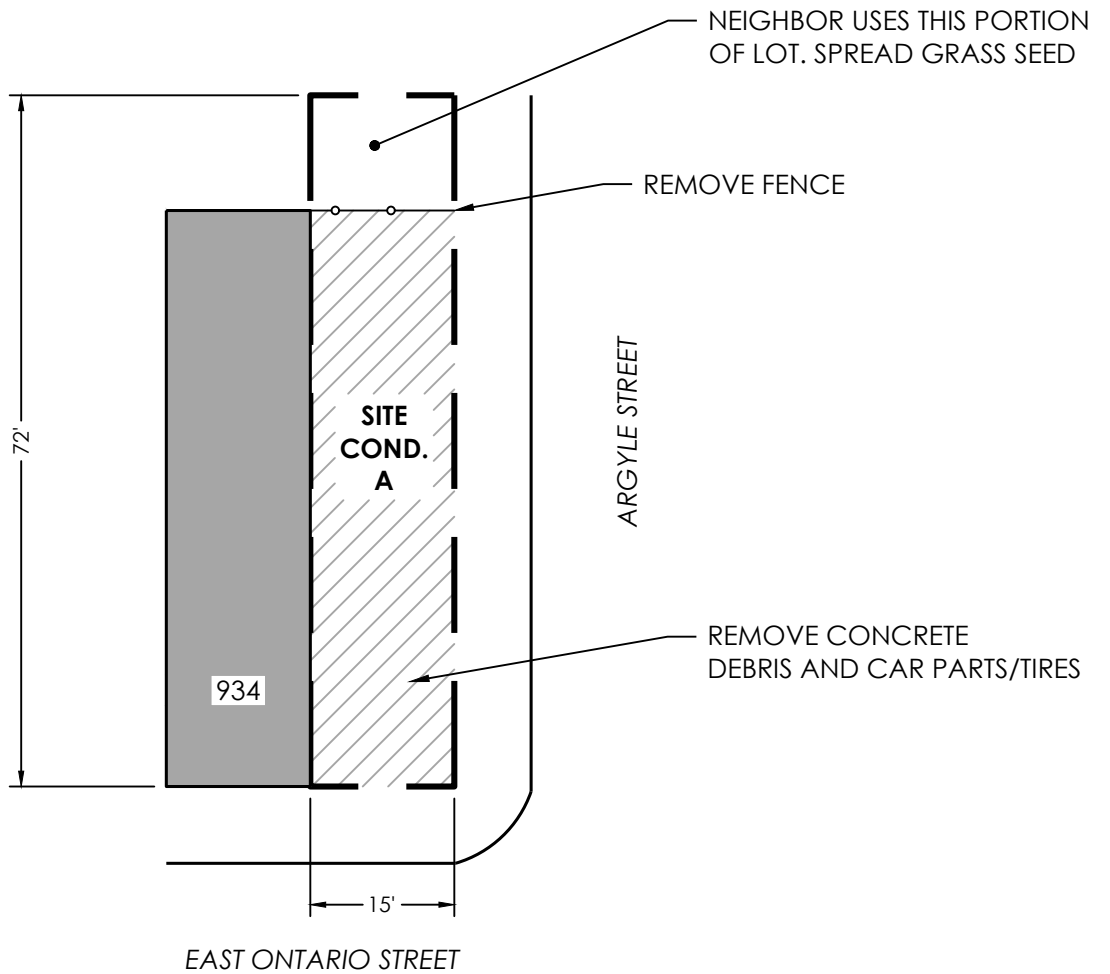


Initial Date	8/1/2024
Scale	1" = 20'
Group	F
VL11656EN_CLP	



FENCE & TREE LAYOUT
 843 EAST HILTON STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>932 EAST ONTARIO STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group F				
VL11658EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

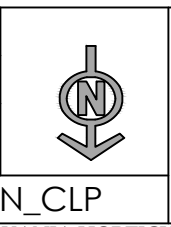


Initial Date
8/1/2024

Scale
1" = 20'

Group F

VL11658EN_CLP



FENCE & TREE LAYOUT

932 EAST ONTARIO STREET





THE PENNSYLVANIA HORTICULTURAL SOCIETY

PHILADELPHIA LANDCARE STABILIZATION

Fall 2024

**Group G
Misc. Sites**



*Project funded by the City of Philadelphia
Division of Housing and Community Development*



Group G Site List
Fall 2024
Misc. Sites
Page 1 of 1

<u>VL#</u>	<u>Address Range</u>
VL11667NC_CLP	1621 EDGLEY ST
VL11671MA_CLP	36 SLOCUM ST
VL11672FD_CLP	4328 WALN ST
VL11675NC_CLP	2230-2234 N NATRONA ST



*Project funded by the City of Philadelphia
Division of Housing and Community Development*





PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group G:
Misc Sites - Fall 2024

-  Fall 2024 Parcels
-  Building







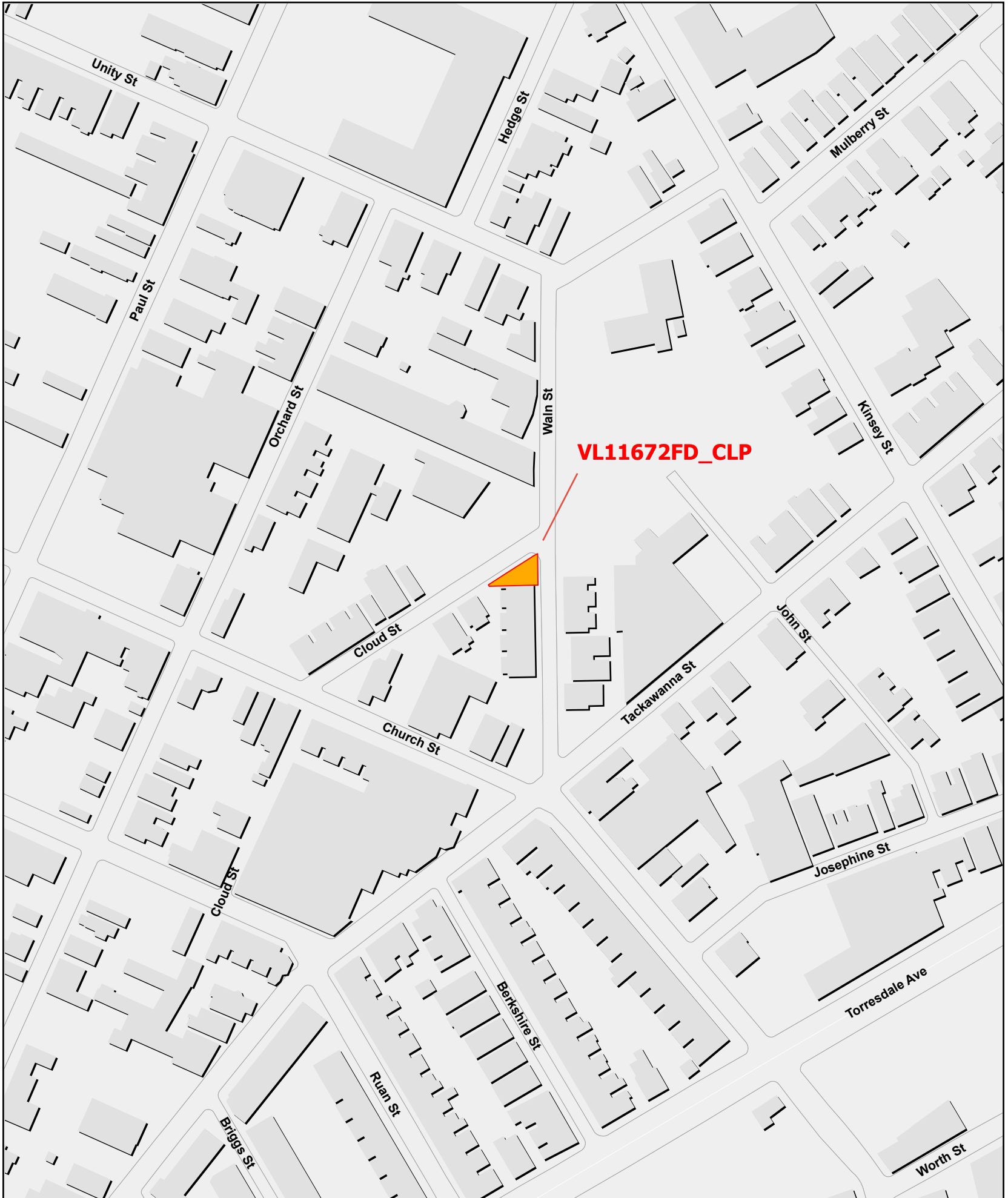
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group G: Misc
Sites - Fall 2024

-  Fall 2024 Parcels
-  Building







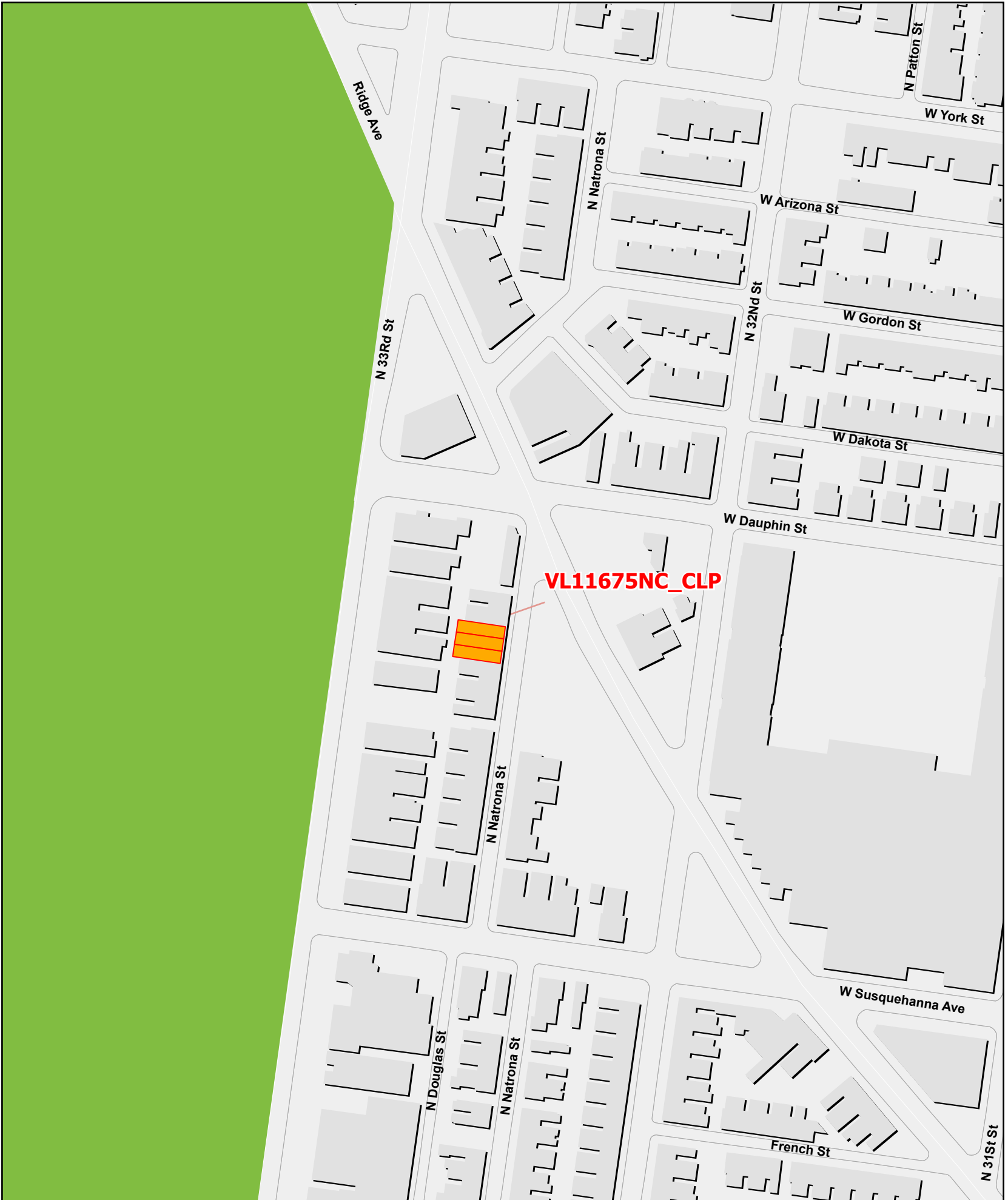
PHS



City of Philadelphia

Philadelphia LandCare Sites
Proposed for Group G: Misc
Sites - Fall 2024

-  Fall 2024 Parcels
-  Building





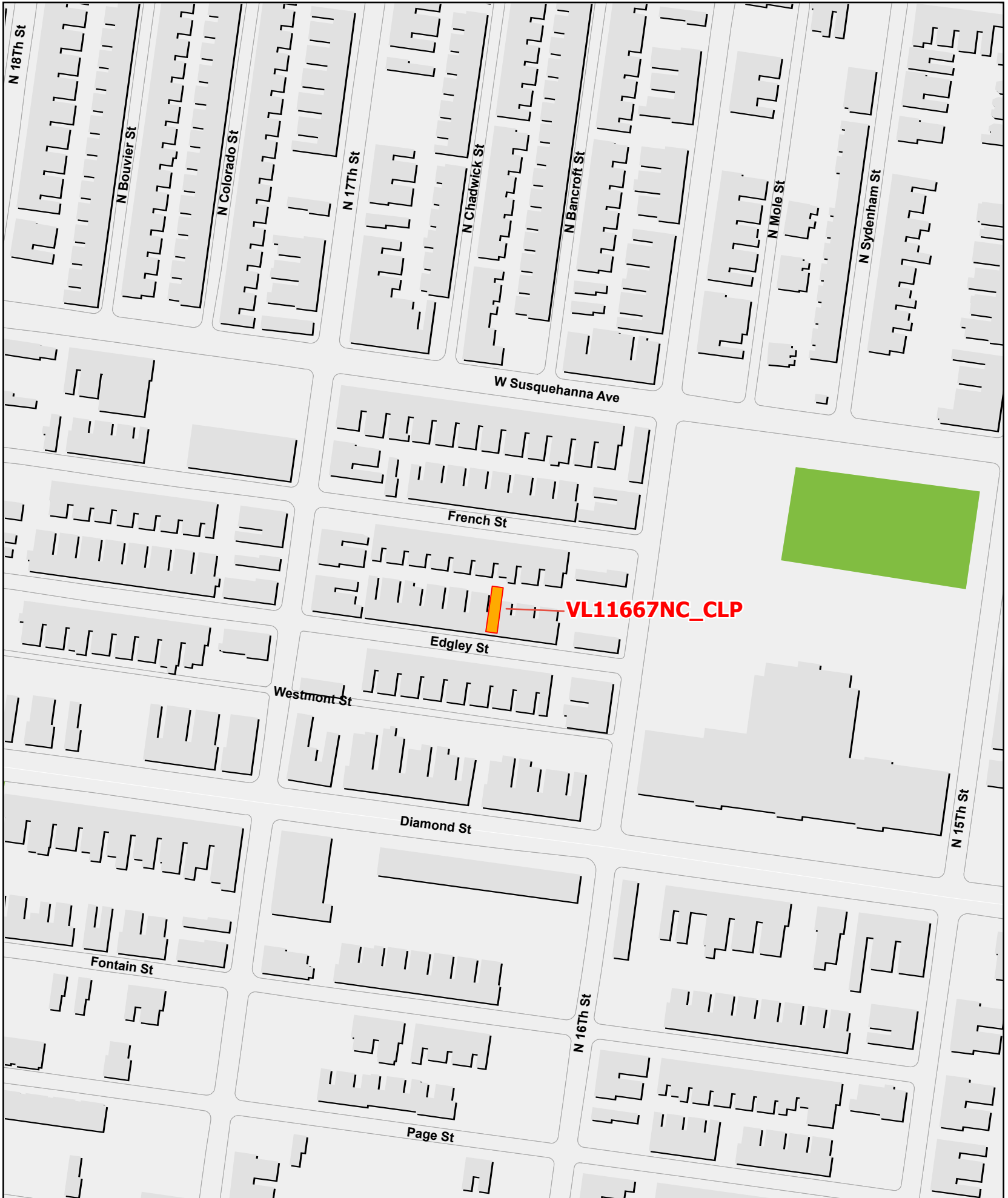
PHS

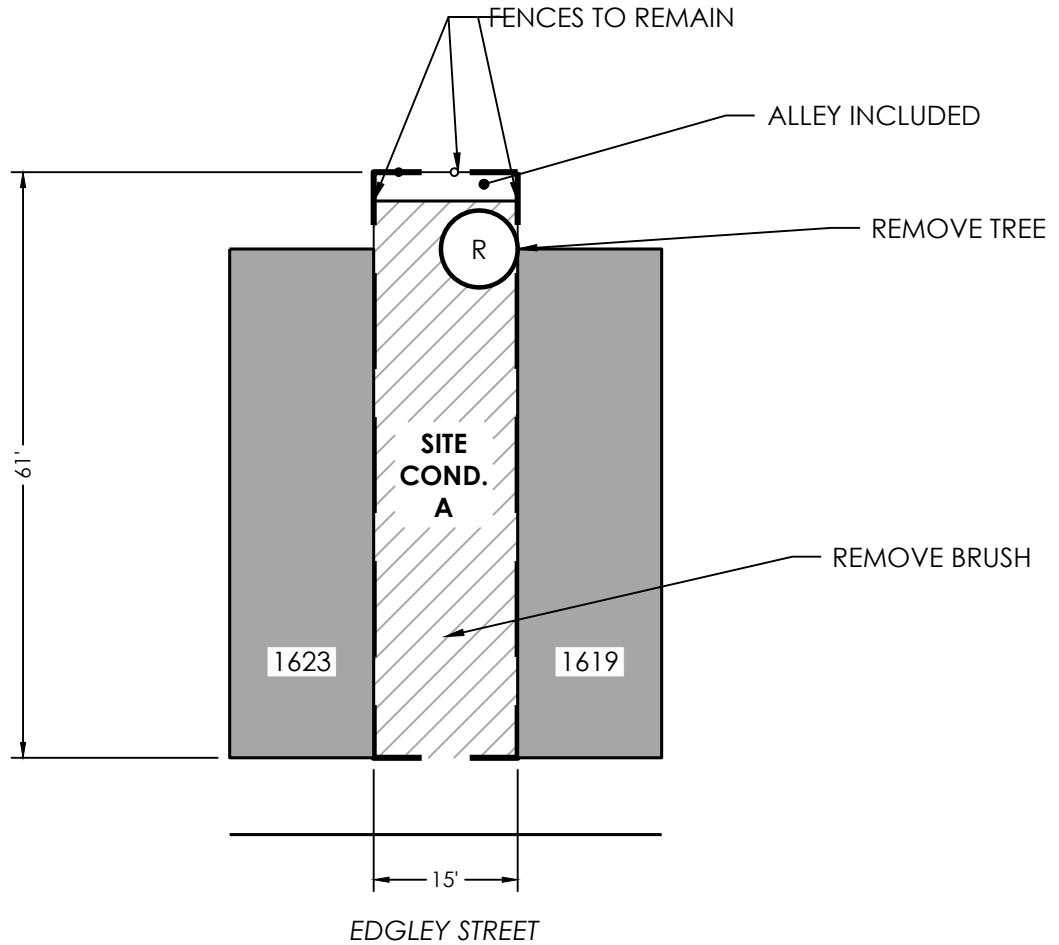


City of Philadelphia

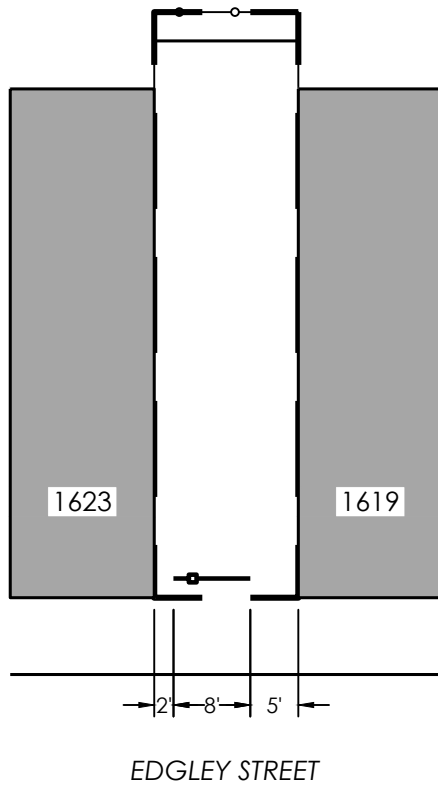
Philadelphia LandCare Sites
Proposed for Group G: Misc
Sites - Fall 2024

- Fall 2024 Parcels
- Building





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>1621 EDGLEY STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group G				
VL11667NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

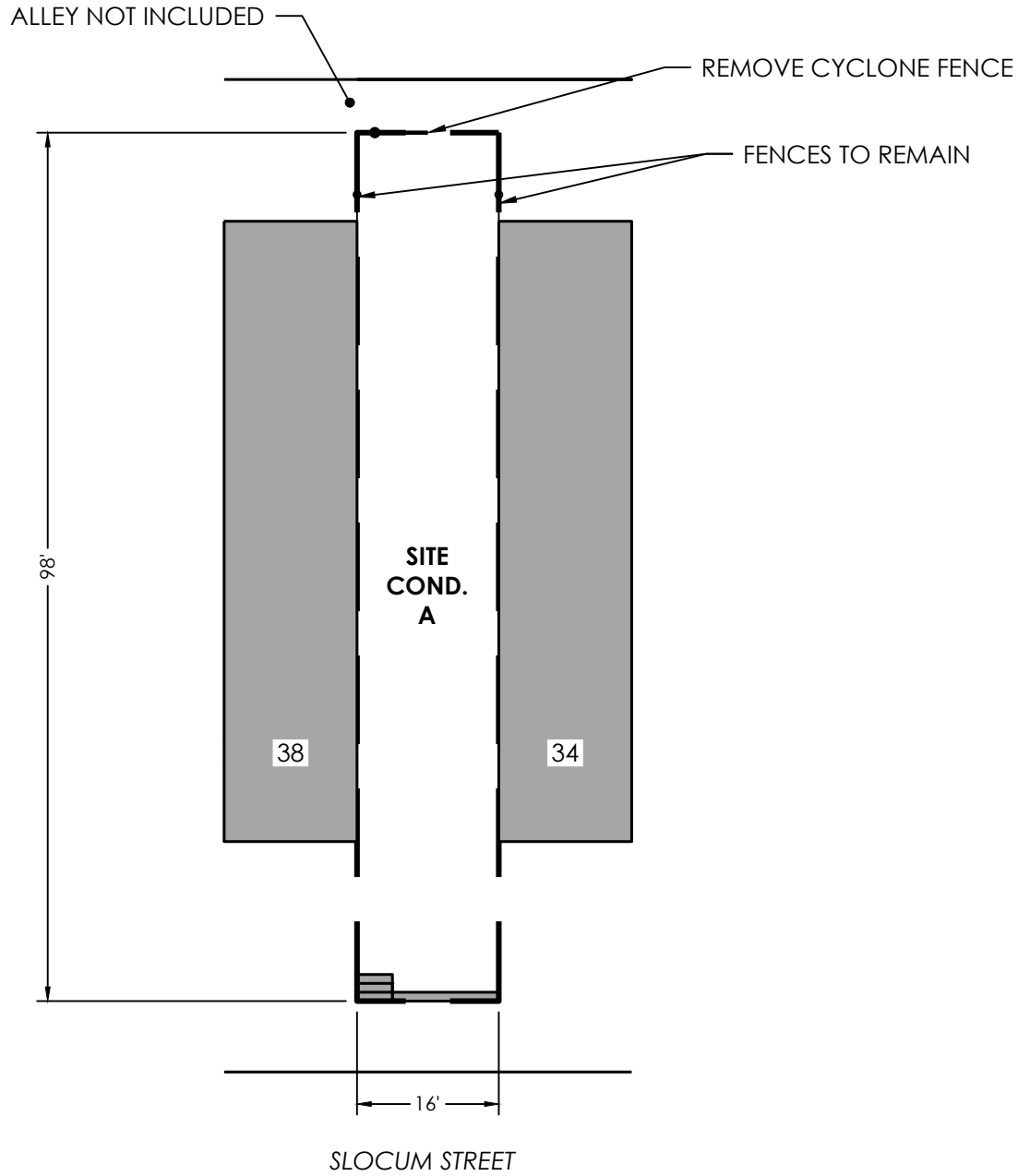
Group G



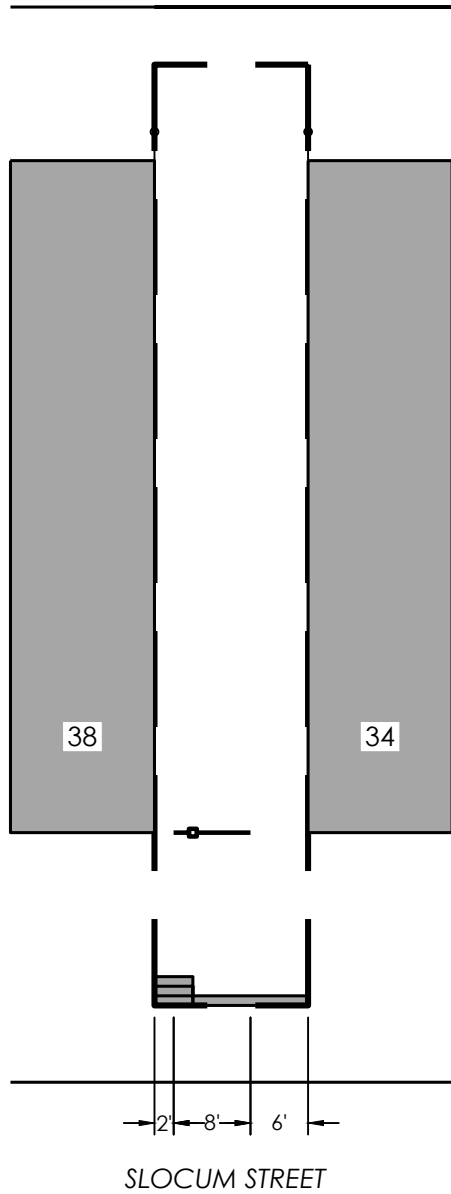
FENCE & TREE LAYOUT

1621 EDGLEY STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>36 SLOCUM STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group G				
VL11671MA_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/1/2024

Scale
1" = 20'

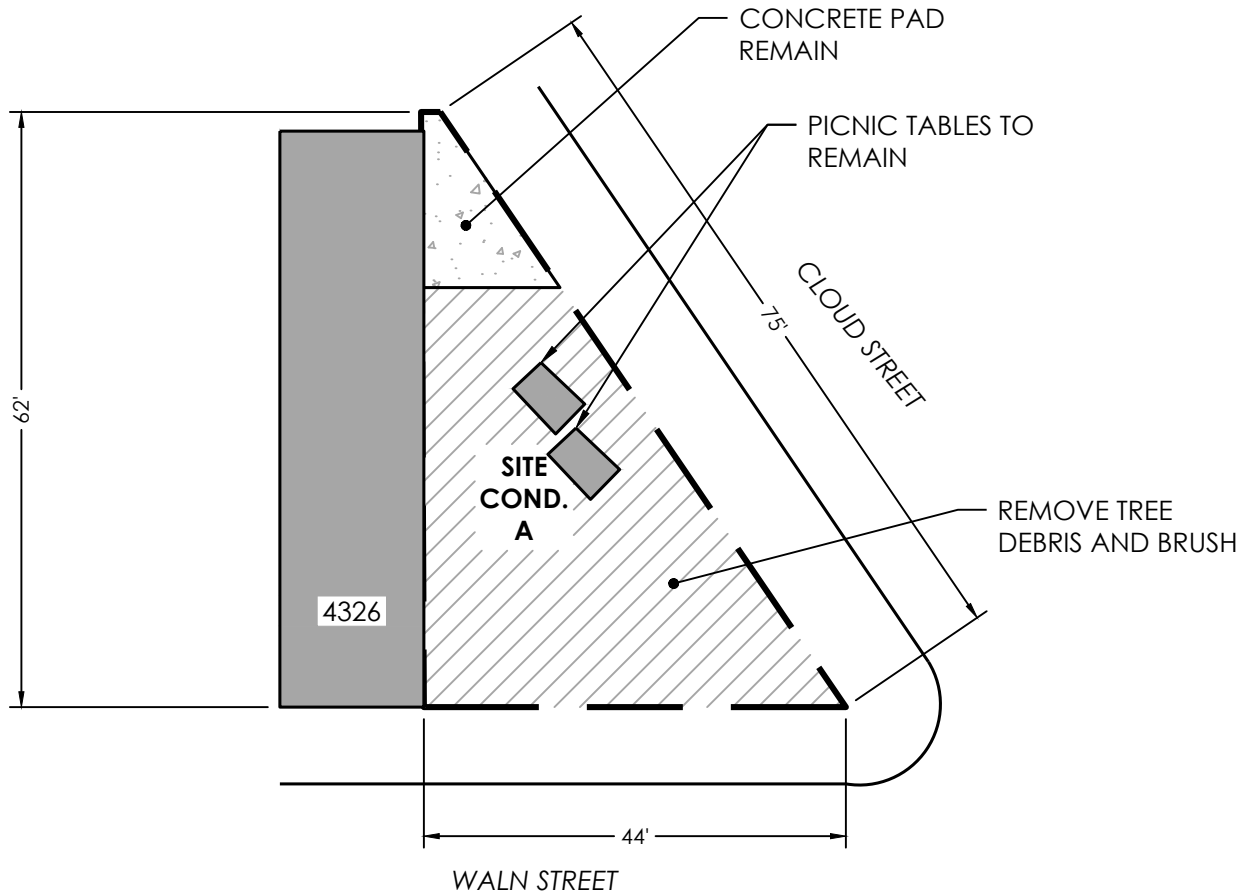
Group G

VL11671MA_CLP

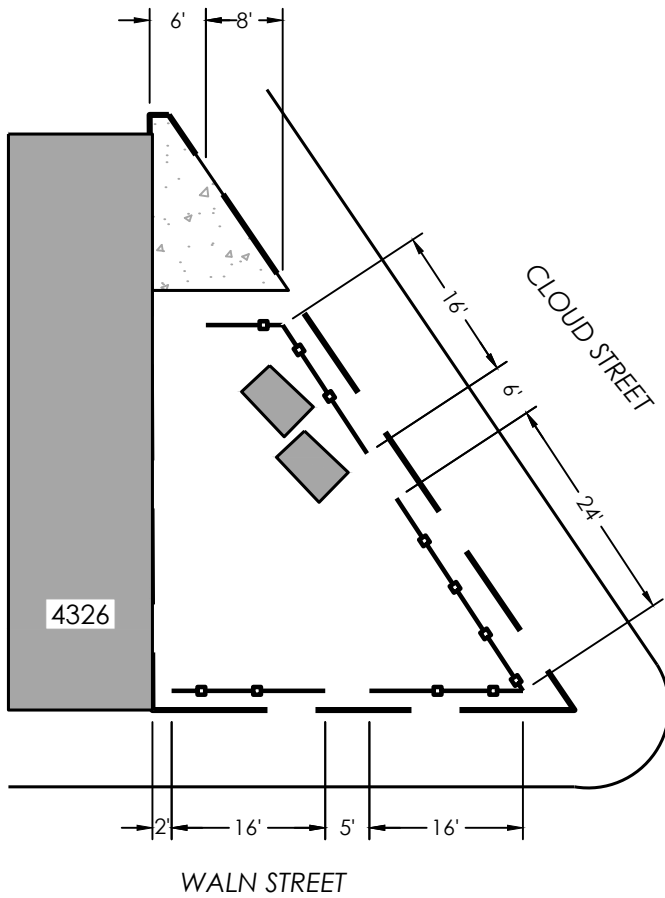


FENCE & TREE LAYOUT
36 SLOCUM STREET





Initial Date 8/1/2024		<h1>EXISTING CONDITIONS</h1> <p>4328 WALN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group G				
VL11672FD_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date
8/1/2024

Scale
1" = 20'

Group G

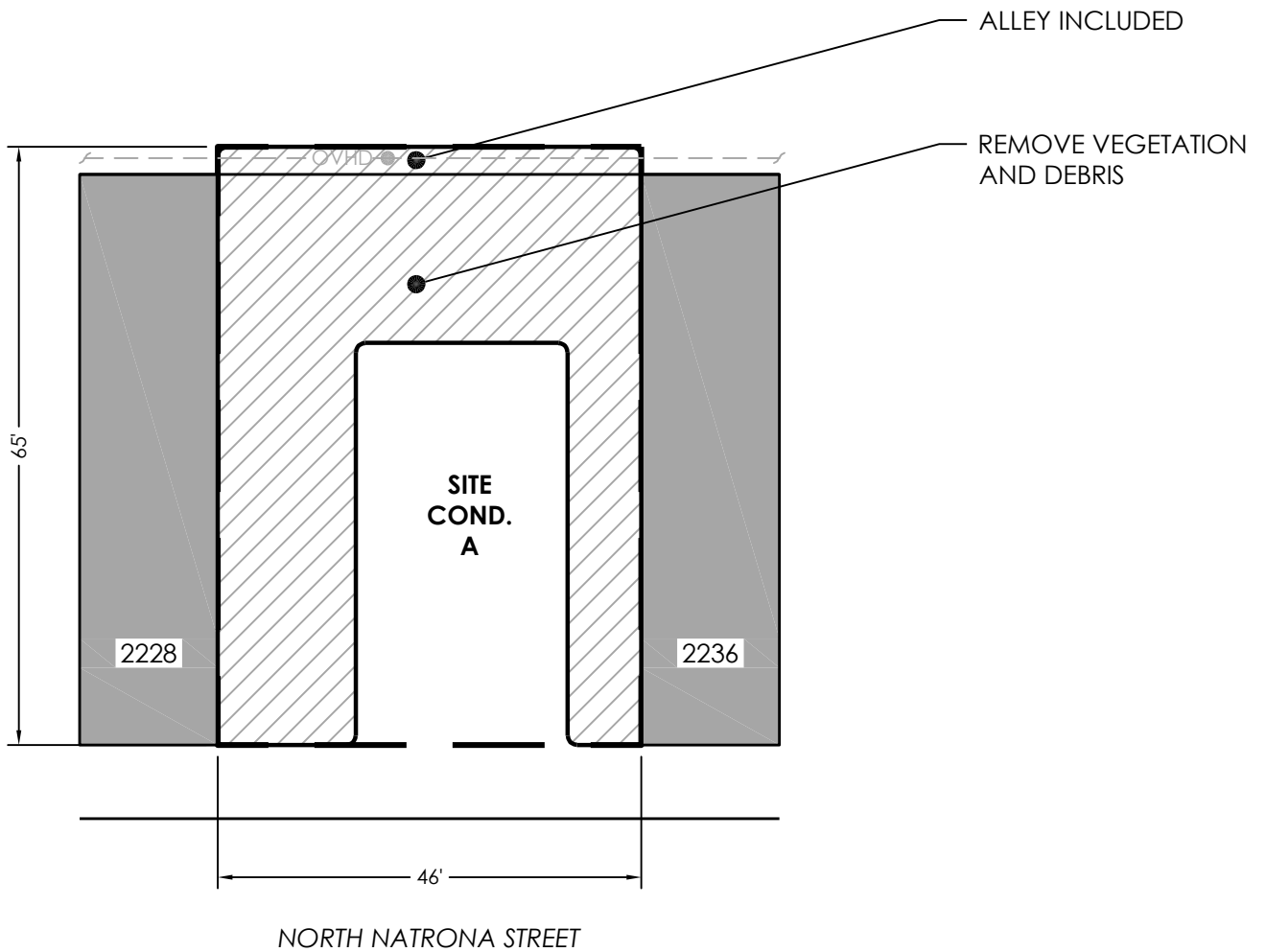
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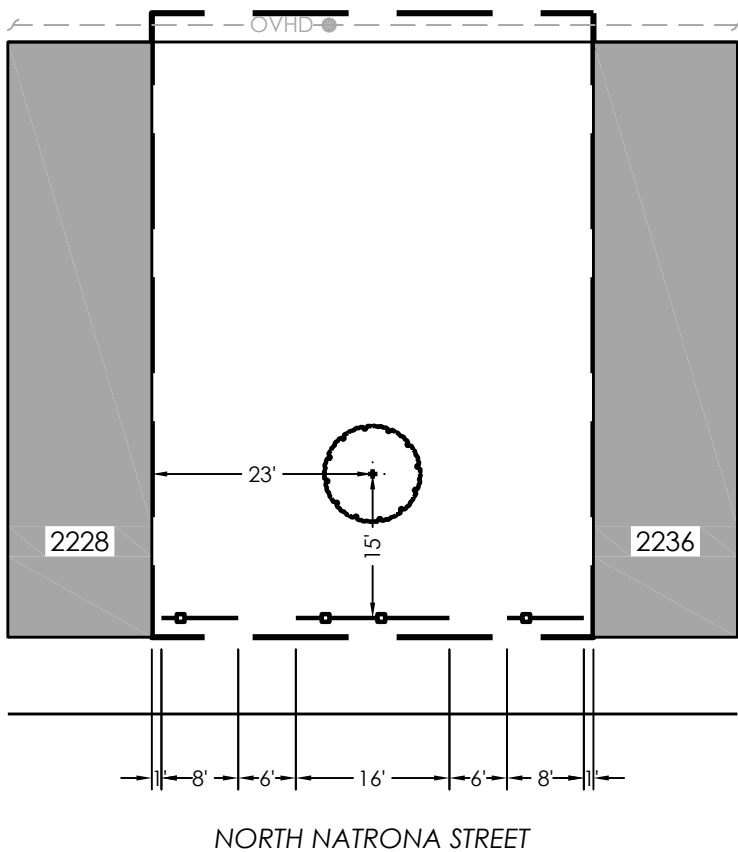
FENCE & TREE LAYOUT

4328 WALN STREET





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2230-2234 NORTH NATRONA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL11675NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date
8/15/2023

Scale
1" = 20'

Group C

VL11675NC_CLP



FENCE & TREE LAYOUT

2230-2234 NORTH NATRONA STREET

Project Of:



Project Manager:



PHS