



**Specifications for  
The Pennsylvania Horticultural Society's  
LandCare Stabilization  
Fall 2023**

**August 22<sup>nd</sup> 2023**

The Pennsylvania Horticultural Society  
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*Project funded by the City of Philadelphia  
Division of Housing and Community Development*



## CONDITIONS OF CONTRACT

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## WORK SPECIFICATIONS

### Technical Specifications

#### Group

- List of Sites
- Maps of Sites
- Drawing
  - Existing Conditions
  - Fence & Tree Layout



August 22<sup>nd</sup>, 2023

Dear Contractor,

Attached is the Philadelphia LandCare Stabilization Bid Package for Fall 2023. Please review this material and call Kaitlyn Dibble at (215) 988-8834 with any questions.

Bids are due Friday September 1<sup>st</sup> at 12:00 PM and are to be submitted online through our online web portal provided via email after pre-bid meeting. Awarded contractors will be notified by Friday September 12<sup>th</sup>. However, on-site work may commence no earlier than Monday September 18<sup>th</sup> and after all contract obligations have been met and "Notice-to-Proceed" letters have been issued.

As in previous years, you are not required to bid on more than one group. Please bid on as much as you feel you can handle. If you would like to bid on everything and feel you can only handle a certain square footage, please note this on the bid form where indicated.

PHS reserves the right to remove any site or piece of work from this contract if conditions change. If changes arise pertaining to the scope of work, we will contact all potential contractors via written addenda to this bid package.

I am looking forward to another successful year of keeping the city green.

Sincerely,

Kaitlyn Dibble  
Philadelphia LandCare Operations Manager  
The Pennsylvania Horticultural Society



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## 00100 INVITATION TO BID

### 1.01 General

1. The Pennsylvania Horticultural Society (PHS), a Pennsylvania non-profit corporation, invites bids for work on **The Pennsylvania Horticultural Society's Philadelphia LandCare Stabilization Fall 2023**, in accordance with the General Conditions, Supplementary or Special Conditions, Addenda, if any, and other Contract Documents referred to herein, subject to the following terms and conditions.

### 1.02 Receipt And Opening Of Bids

1. Bids shall be submitted online using the web provided via email after the pre-bid meeting. All required documents must be attached to this bid submission.
2. **Bids shall be submitted until 12:00 p.m. on Friday September 1<sup>st</sup>.** Any bid received after said hour will not be accepted. Any bid may be withdrawn prior to said time, but no bid may be withdrawn after bids have been viewed. Bids will be opened privately by PHS.

### 1.03 Contract Documents

1. Bonds are not required for this project.

### 1.04 Contract Time Frame

1. All construction work under this contract shall **begin Monday September 18<sup>th</sup>.**





## 00200 INSTRUCTIONS TO BIDDERS

### 1.01 Scope Of Bids

1. Digital bids shall be submitted for work pertaining to **The Pennsylvania Horticultural Society's Philadelphia LandCare Stabilization Fall 2023**. The Pennsylvania Horticultural Society invites bids for the construction of the titled project. Bids will be received by PHS at the time and place stipulated in the Invitation to Bid.

### 1.02 Examination Of Site Drawings, Etc.

1. Each bidder shall visit the site of proposed work and fully acquaint themselves with conditions as they exist so that they may fully understand the facilities, difficulties, and obstructions attending the execution of work under this contract.
2. Bidders shall also thoroughly examine and be familiar with the Drawings and Specifications. The failure or omission of any bidder to receive or examine any forms, documents, or to visit the site and acquaint themselves with conditions shall in no way relieve any bidder from obligation with respect to their bid. Each bidder shall also thoroughly examine, and be familiar with, the drawings and specifications of all trades involved in the project.

### 1.03 Interpretation And Addenda

1. Should a bidder find during examination of the Drawings and Specifications, or after examination of the site, any discrepancies, omissions, ambiguities or conflicts in or among the Contract Documents, or be in doubt as to their meaning, they shall notify PHS before the bid opening date.
2. Any and all interpretations, and any supplemental instructions, by PHS shall be in the form of written addenda to the Specifications, not later than two (2) days prior to date of receiving bids. Failure of any bidder to receive any such addenda or interpretations shall not relieve them from any obligation under this bid as submitted. All addenda so issued shall become part of the Contract Documents.



#### 1.04 Bid Package

1. **All blank spaces on the bid forms must be filled out. The excel bid form is accessible through the web link and must be completed and attached to submission.** If bid is not fully filled in it will not be accepted. PHS has the right to accept any part of the bid per site, so contractor may be bidding on work that is omitted. Contractor will be notified of this prior to contract signing.
2. PHS may consider as informal and unsatisfactory any bid not prepared and submitted in accordance with the provisions hereof. No conditional bid will be considered by PHS. Bid Security Performance and Labor and Material bonds are not required for this project.

#### 1.05 Identification Of Bidder

1. Each bid must be executed under seal in the exact legal title or name of the bidder; and the bidder's business address and telephone number shall be given. In addition:

If the bid is made under an assumed or fictitious trade name, there shall be stated the names and respective residence addresses of all parties interested and whether said name has been registered pursuant to the Act of May 24, 1945, P.L. 967, 54 P.S. 28.1, as amended.

If the bidder is firm or partnership, the names and residence addresses of all the partners shall be given.

If the bidder is a corporation, the State of incorporation shall be given and if it is a foreign corporation (not incorporated in Pennsylvania), a statement shall be made as to whether or not the corporation has obtained from the Department of State, Commonwealth of Pennsylvania, a certificate of authority to do business in Pennsylvania.



### 1.06 Qualifications Of Bidder

1. PHS may make such investigations as it deems necessary to determine the ability of the bidder to perform the work; and for this purpose, the bidder shall furnish all information that PHS may request.
2. The bidder shall issue a completed Statement of Bidders Qualifications as part of the bid.

### 1.07 Acceptance Or Rejection Of Bids

1. PHS, in its sole discretion, may waive any informality in any bid, may accept or reject any or all Bids deemed in the best interest of PHS.
2. PHS shall announce the accepted bidder within two weeks after the opening of the bids, but such announcements shall not be construed as a rejection of any other bid.
3. The accepted bidder shall promptly execute the contract, work schedule and all related documents, which shall be prepared by the owner substantially in accordance with the accompanying respective forms. Work will not begin until all legal documents are received.

### 1.08 Insurance

1. The accepted bidder will be required to submit at the time the contract is entered into, satisfactory evidence of insurance coverage specified in **Sample Contract Section 0400**.
2. The contractor shall submit a completed certificate of insurance to PHS listing the appropriate co-insureds as specified in the contract prior to the start of work. Said certificate of insurance shall be valid for entire length of the contract.



### 1.09 Award of Contract

1. The contract award will be made to the bidder whose bid is deemed by PHS to be in its own best interests. Additional consideration will be given to contractors who:
  - Are minority owners or have minority employees
  - Whose business is located in the city of Philadelphia
  - Businesses that employ workers living in the city of Philadelphia (City Resident Form to be filled out)

If applicable please attach proper documentation.

2. The accepted bidder shall execute a contract within (4) four business days of receipt of the notice of award and contract forms; a sample contract form is found in section 00400.
3. Failure of the accepted bidder to enter into an agreement within (4) four business days shall be grounds for forfeiture of the contract by the bidder.



## Scope of Work

The scope of work is described herein and on design drawings. Additional sheets describe technical specifications for installation and design components. Steps are arranged in a logical construction sequence and should be used as a guide. The Contractor should discuss with PHS any need to deviate from recommended construction sequence or methods prior to commencing work. All subcontractors must be approved by the City of Philadelphia.

Work is to begin upon contract signing depending on weather conditions. All sites shall be finished in three phases, **the first phase includes cleaning, grading, and seeding. This must be completed by Friday, October 20<sup>th</sup>. The second phase is fencing, which must be completed by Friday, November 3<sup>rd</sup>. The third phase is tree installation, which must be completed by Friday November 17<sup>th</sup>. The contractor shall provide PHS with a schedule of work for each project site and a signed contract before any work can commence.** Once work is in process, the contractor will be responsible to send PHS an updated schedule the Friday prior to the upcoming week's work. The schedule can be sent to Kaitlyn Dibble at [kdibble@pennhort.org](mailto:kdibble@pennhort.org).

Billing invoices may only be submitted on a per site basis after implementation is complete. **Payments will only be made when all implementation work at a single site has been completed and approved.** Partial payments will not be paid. Contractor is required to use the invoice forms provided by PHS. Failure to use these forms will result in contractor not being paid. Forms can be emailed to [kdibble@pennhort.org](mailto:kdibble@pennhort.org). PHS shall remit payment to contractor within sixty (60) days of receipt of invoice. **PA One-Call must be contacted before any work may begin.** Contractor shall maintain all verifications but will be required to turn over copies to PHS upon request.

## Recommended Equipment

PHS recommends the Contractor have the following equipment available, however the contractor is responsible for making available all the necessary equipment required to complete the work according to the specifications. This list is only a recommendation.

- Front-end loader or equivalent for lot clearing, debris removal and grading
- Bob Cat with Harley Rake or Preparator attachment, tractor with York rake attachment or equivalent for lot cleaning, grading and incorporating topsoil and organic amendments to 3-inch depth
- Portable 500-gallon water tank or on-site water source, connectors, and hose lengths
- Electric generator or other on-site source of power for hand tools
- Saws-all, circular saw, or equivalent, and levels needed for fence construction
- Hand drill with large diameter bits for fence construction
- Tools for digging post holes (auger), raking, litter and debris clean up, etc.
- Jack hammer or other equipment to break concrete



## Site Preparation

### **Step 1 - Debris Removal:**

- A. Contractor shall remove all trash, rubble, and debris (tires, cinder blocks, wood, litter, paper, trash, etc.) found on-site and dispose of properly and legally. **This may not be left at the curb.**
- B. Contractor shall remove any additional hardscape materials or fences as directed on the Design Drawings and/or Bid Forms. This will show up as an additional charge on the Bid Forms.
- C. Contractor is responsible for all costs related to removal of debris found at the site at the time construction begins. Costs for removing debris dumped at the site after construction commences shall be negotiated between Contractor and PHS. Contractor must receive approval before removing debris/short-dumping or payment will not be granted.
- D. Sidewalks are to be included in all installation and maintenance operations.

### **Step 2 - Tree/ Weed Removal:**

- A. Remove trees and/or selected limbs from trees as indicated on design drawing. All trees under 2" caliper shall be removed in entirety, including roots.
  - 1. Trees over 2" in caliper and noted for removal on Design Drawings, shall be cut at level with soil and treated with **Brush Be Gone**®, or an equivalent product, to discourage regrowth. Product is to be approved by PHS prior to application. During the term of the maintenance contract, contractor must remove all regrowth and spray as needed.
  - 2. Removal of all debris associated with tree and limb removal is the responsibility of the contractor. Regrade as necessary.
  - 3. Any stumps located along fence lines or next to foundations, which can not be pulled out, must be cut as close to the base as possible and treated with **Brush Be Gone**®. PHS should be notified of this issue before work commences. PHS must approve any product substitution.
- B. All fence lines, building edges, and sidewalks adjacent to site shall be sprayed. **This will not always be noted on the drawing but is the responsibility of the contractor.**
- C. Noxious weeds should be reported to PHS, a plan for removal shall be set-up and if needed additional prices from the contractor negotiated and added to scope of services.



## **Site Installation**

Site Conditions are noted on drawings and bid forms. Use this chart to determine appropriate steps.

<b>Site Condition A</b> go to step 1	Site is hard, compacted, has debris showing
<b>Site Condition B</b> go to step 1	Site has areas of compaction within existing lawn or has been recently leveled
<b>Site Condition C</b> go to step 3	Site has lawn which needs current maintenance

### **Step 1 - Lawn Preparation (if not applicable skip to Step 3):**

Project Sites listed as Condition A or B contain areas where lawn prep is needed to complete the scope of work. Contractor shall verify dimensions and measurements of project sites as described in Design Drawings and Scope of Work and notify PHS of any major discrepancy prior to beginning work.

#### **Site Condition A**

Install lawn on entire site unless otherwise indicated by design drawings, if hardscape exists, or there are other notations.

1. All rubble, trash, and debris shall be removed legally.
2. Existing vegetation in the determined work areas shall be cut down to a height of approximately 1-1½". If major weeds are evident, and they will affect growth of new grass, contractor must spray area with Roundup or equivalent product before proceeding and before site has been disturbed (other than for cleaning purposes).
3. Using appropriate earth moving equipment, such as a grader or front-end loader, a rough grade shall be established to remove depressions from site and level out grade; positive drainage off site is required unless otherwise noted. Contractor may use "cut and fill" techniques to establish a stable and level grade.
4. Any fill areas must be compacted to prevent future settling.
5. After rough grading and leveling, a BobCat with Harley Rake or preparatory attachment, shall make 3 passes over the entire area, with each pass being in a different direction, and to a depth of 3 to 4 inches. The existing soil should be properly scarified to prevent a hardpan under applied soil. Bid Forms will indicate the approximate amount of soil to be incorporated into each site. This is a guide and contractor shall inform PHS prior to ordering material if more soil will be needed. PHS will approve and give contractor the go ahead to order. This will not increase any other installation costs for PHS.
6. A 3" layer of amended topsoil is then to be incorporated into the prepared subsoil (this can be done on the third pass to minimize compaction) and fine raked to finished grade. Additional debris brought up to the surface through this process shall be removed from the site and disposed of legally and properly.



7. **Contractor shall set up all soil deliveries.** Soil shall not be delivered to site until all necessary debris removal and earthwork is completed and approved. **Costs for soil and shall be the responsibility of PHS.** Contractor or his agent must be on site to receive soil. All invoices to be turned into PHS within two weeks of delivery. Contractors will be given supplier of soil once contracts are awarded.

#### **Site Condition B**

Sites with this condition have areas of existing grass; areas of compaction; sub-surface debris or the site has been recently leveled. This site should be treated in a way that when finished the area will have positive drainage off site and a full stand of lawn. There may be a need to fill in depressions or remove mounds on site that will affect drainage patterns or cause difficulties in mowing. The site may also contain areas of heavy compaction or gravel evident in small spaces, in this case follow the steps provided for Site Condition A lawn installation were deemed necessary. Sites that are recent demolitions may require additional soil to be spread at a one-inch depth to start seed germination.

**\*Site Inspection and approval by PHS is required before proceeding to next steps.**

#### **Step 2 - Planting and Seeding (if not applicable, skip to step 3)**

Lawn Installation for Condition A & B \* **All lawn installation to occur by Friday October 20<sup>th</sup>**

- A. PHS shall provide grass seed mix to be spread over the area of lawn installation
- B. Hydro-seeding must be used at an **application rate of 8 lbs. per 1,000 sq. ft**
- C. The contractor shall provide manufacturer's literature and samples for any of the following items upon the request of PHS Operations Manager:
  1. Mulches
  2. Binders/Tackifiers
  3. Fertilizers
- D. Contractor shall follow seeding with watering to a depth of 3 inches. PHS strongly encourages contractors to seed prior to forecast rain, however the contractor is responsible for watering to a depth of 3 inches within 48 hours of seeding, whether this is by natural or mechanical methods. Watering at time of seeding is the responsibility of the Contractor and is included as part of the lawn installation. Contractors will be given supplier of seed once contracts are awarded.

**\*Site Inspection and approval of PHS is required before proceeding to next steps.**





### **Step 3 - Fencing (if not applicable, skip to step 4):**

Install Fence where shown on Design Drawings. **See Detail Fe02VL-R. All fences must meet the specifications or contractor will be required to rework the fence until deemed acceptable.**

- A. Fence location to be marked in field by contractor and approved by PHS before installation. Locate fence run noting the lay of the land and possibility of buried foundations.
- B. Fence shall be located as close to the sidewalk as possible (if more than two feet from sidewalk contact PHS to negotiate an acceptable location) unless noted on drawings or barring obstruction from unseen foundations. Keep fence posts one foot from existing structures. Fence to be laid out per design drawings, all fence openings to range from a 4' opening to a 6' opening unless otherwise noted. **Location of fence can be adjusted only with prior approval of PHS.**
- C. The linear feet of fence noted on drawings and bid sheets are a best estimate, actual linear feet may vary slightly. Field conditions will determine final fencing figures.
- D. Once excavation of fence holes starts contractor may not leave open over night.

**\*Site Inspection and approval of PHS is required before proceeding to next steps.**

### **Step 4 - Tree Planting (if not applicable, skip to step 5) :**

- A. PHS is providing all trees, paying the purchase fee only. All trees tagged are 2-2½" caliper. Tree type and quantity for individual sites is noted on Design Drawings. It is the contractor's responsibility to set-up delivery with Nursery, verify quantity, and to pay for all delivery costs involved in order to get trees from the nursery to their final locations.
- B. The Contractor will inspect trees upon delivery noting any defects, pre-existing damage, or other issues of concern affecting the quality or health of any tree. If issues arise, do not proceed with planting, but immediately contact PHS representative. PHS will assume all trees are acceptable upon delivery unless otherwise advised. PHS will inspect all trees on site. PHS has the right to inspect trees at any time while in the care of the contractor, given proper notification.
- C. The Contractor shall be responsible for storing and maintaining trees, as necessary. Trees will be maintained, at minimum, in the condition in which they were delivered. The condition and health of the trees shall be the Contractor's responsibility from delivery/pick-up through planting and final inspection. The Contractor shall store and care for trees according to best nursery standards and practices.



- 1) Trees shall be stored standing upright with appropriate spacing to protect trunks and limbs from abrasion
  - 2) Trees shall be watered regularly to maintain optimum moisture and prevent drying of the root ball
  - 3) Trees in storage for longer than 72 hours shall have root balls completely covered in wood chips or other appropriate mulching material.
  - 4) The Contractor shall take care to preserve the integrity of the root ball during moving and planting, handling as few times as possible.
  - 5) Trees shall not be thrown or dropped.
  - 6) The Contractor will protect the trunk and limbs of trees during moving and planting.
    - a. Trees shall not be moved using the trunk as a fulcrum.
    - b. Trunks shall be protected with cushioning material during moving and planting to prevent scraping and abrasion.
    - c. All trees should be tarped during transport. If trees are flagging, the contractor is responsible for immediate watering (not included as a maintenance watering).
- D. Trees shall be planted as quickly as possible to minimize storage time. Contractor shall be responsible for moving trees from the delivery/storage area to each project site.
- E. Per Design Drawings, contractor is to field mark tree locations with paint and/or flags, then seek PHS approval before continuing with planting. Any location deemed unfit due to impermeability or subsurface debris will need a suitable replacement approved by PHS.
- 1) Trees shall be planted according to site conditions as specified in Details PL01VL-R.
  - 2) Wire baskets shall be cut and/or pulled away from the top 6 inches of the root ball.
  - 3) Burlap shall be cut and/or pulled away from the top 6 inches of the root ball.
  - 4) Root crown or **trunk flare shall be exposed** and at a level equal to or slightly (+/- 1 inch) above the surrounding grade.
  - 5) Trees shall be **thoroughly watered as part of, and at the same time as, planting to a depth of 6 inches.**
  - 6) Trees shall be **mulched with wood chips** or double shredded bark mulch to a depth of 4" within 72 hours of planting.

**CONTRACT  
BY AND BETWEEN  
THE PENNSYLVANIA HORTICULTURAL SOCIETY  
AND**

---

*(Contractor)*

**FOR**

---

*(Project)*

THIS AGREEMENT is entered into as of this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by and between THE PENNSYLVANIA HORTICULTURAL SOCIETY, 100 N. 20th Street, Philadelphia, Pennsylvania 19103, hereinafter referred to as "PHS," and \_\_\_\_\_, hereinafter referred to as the "Contractor."

The parties hereto, intending to be legally bound hereby, agree as set forth below.

**SCOPE OF WORK/CONTRACT DOCUMENTS**

The Contractor agrees to undertake and carry out in a satisfactory manner the work described in the Contract Documents, as hereinafter defined, and to furnish all labor, materials and services as indicated in and reasonably inferable from the Contract Documents (the "Work").

A "Notice to Proceed" authorizes Contractor to commence the Work at a particular site (the "Project").

If maintenance is to be included in the Work, a separate maintenance bid schedule shall be included.

References to "Contract" shall be deemed to be references to this Agreement between Contractor and PHS and the other Contract Documents taken as a whole. Terms not defined herein shall have the meanings given elsewhere in the Contract Documents.

The Contract Documents which constitute the entire agreement between PHS and the Contractor consist of the following:

Technical Specifications and Drawings describing the scope of the Work incorporated herein as Exhibit "A"

Accepted Bid Response, incorporated herein as Exhibit "B"

This Agreement between PHS and Contractor including Exhibits "C"

Any amendments and/or addenda issued pursuant to the terms of this Contract.

In the event of a conflict, the documents shall have precedence in the order in which they are listed above.

This Contract represents the entire and integrated agreement between the parties hereto and supercedes any prior representations or agreements, written or oral. The Contract may be amended or modified only by written agreement of the parties.

### **TIME OF PERFORMANCE**

The time for performance of this Contract shall be from the date indicated in a Notice to Proceed to \_\_\_\_\_, unless PHS shall in writing grant an extension thereto.

On receipt of a Notice to Proceed from PHS's authorized representative, Contractor shall promptly commence the Work of the Project described in the Technical Specifications and Drawings.

The Contractor agrees to complete fully the provisions of this Contract as required by PHS during time for performance of the Contract stated in paragraph 2.1. If work can not be performed in the required time PHS may penalize the contractor. See Exhibit "C" for contractor penalization.

The Contractor shall be responsible for meeting the Work schedule requirements as directed by the PHS authorized representative.

### **COMPENSATION AND METHOD OF PAYMENT**

Contractor shall be paid only for Work authorized by the Technical Specifications and Drawings and approved by the authorized representative of PHS in accordance with paragraph 5.11, herein. Compensation shall be in conformance with the compensation provisions in Exhibit "C" hereto. PHS shall make payment to Contractor upon submission by the Contractor of documented invoices satisfactory to PHS in form and substance substantiating Contractor's right to payment.

Contractor shall receive monthly payments based on invoices submitted at the end of each month. Payments will only be issued once the scope of work for a site is completed within the satisfaction of PHS. PHS shall remit payment to Contractor for invoices submitted and approved within sixty days (60).

Contractor shall promptly pay all workers and material and equipment suppliers under this Contract.

PHS shall have the right to withhold approval of payment because of:

- defective Work not remedied;
- failure of the Contractor to make payment properly for labor, materials or equipment;
- damage to property;

failure to carry out the Work in accordance with the Contract Documents; or failure to comply with the provisions of this Contract.

When the above reasons for withholding approval of an invoice are removed, approval shall be granted for amounts previously withheld.

The approximate quantities represented in each bid package description are estimates and are not a guarantee by PHS of the quantities of what will be the actual requirements of this total Contract. Bidders shall make independent evaluation of these estimates in completing the bid forms.

### **TERMINATION/SUSPENSION**

**TERMINATION FOR CAUSE:** PHS may suspend or terminate this Contract, Work under the Contract, or payment under this Contract, in whole or in part, for cause including but not limited to the following: (1) failure to comply with any terms and conditions of this Contract; (2) failure of the Contractor to progress with the Work as necessary to ensure completion within the time specified by this Contract; (3) failure of the Contractor to complete the Work within the time fixed in this Contract for its completion or within the time to which such completion may be extended; and (4) failure of the Contractor to act promptly to remedy or repair defective Work. PHS shall provide a ten-day notice with the right to cure or commence to cure prior to the expiration of the ten-day period.

**SUSPENSION FOR CONVENIENCE:** PHS may, without cause, order the Contractor in writing to suspend, delay or interrupt the Work in whole or in part for such period of time as PHS may determine. Contractor shall be paid all sums due prior to suspension and any actual expenses incurred in the interruption and resumption of the Work. The time for performance of the Work may be equitably adjusted.

**TERMINATION FOR CONVENIENCE:** PHS may at any time terminate this Contract for PHS's convenience, without fault of the Contractor.

**ADEQUATE ASSURANCES:** It is recognized that if Contractor becomes insolvent, or institutes or has instituted against it a case under Title 11 of the United States Code, or makes a general assignment for the benefit of creditors, or if a receiver is appointed for the benefit of its creditors, or if a receiver is appointed on account of insolvency, such event or events could impair or frustrate Contractor's performance of this Agreement. Accordingly, it is agreed that upon the occurrence of any such event, PHS shall be entitled to request of Contractor or its successor adequate assurances of future performance in the opinion of PHS. Failure to satisfy such requirement within ten (10) days following delivery of the request shall entitle PHS to terminate this Contract pursuant to paragraph 4.1. Pending receipt of adequate assurances of performance and actual performance in accordance therewith, PHS shall be entitled to proceed with the Work with other contractors.

**PAYMENT ON TERMINATION/SUSPENSION:** If PHS suspends or terminates the Contract, or Work under it, PHS shall be responsible for payment to the Contractor only for Work satisfactorily performed to the date of termination or suspension.

### **GENERAL CONDITIONS**

**LAWS AND ORDINANCES:** All work performed and services rendered under this Contract shall strictly conform to all applicable laws, statutes and ordinances and all applicable rules, regulations, codes, methods, and procedures (collectively "laws") required by any governmental or quasi-governmental departments, agencies, boards, bureaus, offices, commissions or other bodies, including, but not limited to The City of Philadelphia and all its agencies.

**DISCRIMINATION.** In accordance with Chapter 17-400 of the Philadelphia Code as amended, Contractor agrees that its payment or reimbursement of membership fees or other expenses associated with the participation by its employees in an exclusionary private organization, insofar as such participation confers an employment advantage or constitutes or results in discrimination with regard to hiring, tenure of employment, promotions, terms, privileges or constitutes or results in discrimination with regard to hiring, tenure of employment, promotions, terms, privileges or conditions of employment on the basis or race, color, sex, sexual orientation, religion, national origin or ancestry, constitutes a substantial breach of the Contract entitling PHS to all rights and remedies provided in the Contract Documents or otherwise available at law or in equity. Contractor agrees to include the immediately preceding sentence (with appropriate adjustments for the identity of the parties) in all subcontracts and other agreements which are entered into for work to be performed pursuant to the Contract by subcontractors, consultants and others. Contractor further agrees to cooperate with the Commission on Human Relations of the City of Philadelphia in any manner which the said Commission deems reasonable and necessary for the Commission to carry out its responsibilities under Chapter 17-400 of the Philadelphia Code, as amended. Failure to so cooperate shall constitute a substantial breach of the Contract entitling PHS to all rights and remedies provided herein or otherwise available in law or equity.

**CONTRACT WORK HOURS AND SAFETY STANDARD ACTS ("THE ACT"):** The Contractor shall comply with all applicable provisions of the Contract Work Hours and Safety Standards Act and its implementing regulations. In addition to the causes for termination set forth in paragraph 4.1, above, PHS reserves the right to terminate this Contract if the Contractor fails to comply with the overtime provisions of the Act.

### **UNDERGROUND UTILITY LINE PROTECTION LAW:**

The Contractor shall abide by all provisions of the Pennsylvania Underground Utility Line Protection Law that specify the Contractor's responsibilities in regard to public health and safety during excavation and demolition operations in areas of underground utilities.

The Contractor is responsible for making all required calls to the PENNSYLVANIA ONE- CALL SYSTEM (1-800-242-1776), the calling system in direct contact with many utilities within the Commonwealth. Work site locations are included herein. The Contractor will provide to the PHS authorized representative the PA ONE-CALL serial number assigned to each Project within 24 hours of Project implementation.

The ONE-CALL SYSTEM does not replace the requirements of the Underground Utility Line Protection Law.

**PERMITS:** The Contractor shall be responsible for obtaining all permits for the project Work including tree planting permits and hydrant permits. The Contractor shall be responsible for obtaining all necessary permits, licenses and consents of any kind from any federal, state, or local governmental or quasi-governmental authorities for the performance of the Work, and shall give all notices required by law. The charge or fee for any permit, license or consent required for the performance of the Work shall be assumed by the Contractor. Contractor shall be fully responsible for knowledge and possession of all permits required and PHS will cooperate fully with Contractor in obtaining such permits.

**PROTECTION OF EXISTING SEWERS, CULVERTS, WATER LINES AND GAS AND ELECTRICAL UTILITIES:** The Contractor shall use approved methods of construction to insure the safety of the existing structures and utility lines. Any damage caused by the Contractor shall be the responsibility of the Contractor and the Contractor shall repair such damage at no cost to PHS, the City of Philadelphia or the owner of the property so damaged.

**NON DISCRIMINATION:** In the performance of this Contract, the Contractor shall not discriminate against any person because of race, color, religion, sex, sexual preference, disability, age, veteran status or national origin. In the event of such discrimination, PHS may terminate this Contract whereupon all of PHS's obligations under this Contract shall cease and desist, save only the obligation to pay Contractor the sums due for services previously performed prior to the date of termination in strict and exact accordance herewith.

#### **USE OF SITE/ACCESS TO WORK:**

The Contractor shall confine operations at the sites to areas permitted by Laws, permits and the Contract Documents, and shall not unreasonably encumber the sites with materials or equipment. Contractor shall not place or maintain any banners, signs, posters or structures on any site without the prior approval of PHS.

The Contractor shall, at all times, give to PHS and its authorized representatives access to all necessary facilities. The Contractor shall cooperate, including

providing access to take photographs, and to determine, both on the work sites and at the places of manufacture or preparation, that all workmanship and materials furnished under the Contract conform strictly to the specifications and terms of the Contract Documents.

**LABOR:** Contractor shall enforce strict discipline and good order among the Contractor's employees and other persons carrying out the Contract. The Contractor shall not permit employment of unfit persons, persons not skilled in tasks assigned to them or persons who cause any interruption to the performance of the Work of this Contract. Contractor shall dismiss from the Work any employee of the Contractor to whom PHS makes reasonable objection.

**SAFETY:**

The Contractor shall be responsible for all safety precautions at Project sites. The Contractor shall at all times exercise reasonable precautions for the safety of the public and of the employees of the Contractor and of PHS and other workers with regard to the work performed under this Contract, and shall comply with all applicable provisions of federal, state and local safety laws and regulations. All machinery shall be operated in accordance with manufacturer's instructions. Contractor shall guard against physical hazards in accordance with applicable standards and Laws, and utilize signs, caution tape or fencing as appropriate to protect the public.

In an emergency affecting the safety of persons or property Contractor shall act in the Contractor's discretion to prevent threatened damage, injury or loss. The Contractor shall give prompt written notice to PHS of any accident involving personal injury requiring a physician's care or any property damage exceeding \$250.00 in value. A detailed written report shall be furnished if requested by PHS.

If Contractor recognizes a hazardous condition on a Project site for which reasonable precautions will be inadequate to prevent foreseeable bodily injury or death to persons resulting from such conditions, including but not limited to hazardous materials such as asbestos or polychlorinated biphenyl (PCB), Contractor shall immediately stop Work in the affected area and report the condition to PHS in writing. When the condition has been rendered harmless, Work shall resume on written agreement of PHS and the Contractor. The time for performance of the Work may be extended appropriately.

**INSPECTION/RIGHT TO REJECT WORK:**

All materials furnished under the Contract shall be as specified and required in the Contract Documents and all the Work shall be completed to meet quality and standards described herein. PHS shall have the right to reject defective Work



or require its correction. If the Contractor fails to proceed at once with correction of rejected Work, PHS may, in its sole discretion and without prejudice to any other rights or remedies available to PHS, have the defects remedied and charge the cost of the same against any moneys which may be due the Contractor.

An authorized representative of PHS shall inspect the Work performed under this Contract, and he/she is also hereby authorized and empowered to reject and refuse all Work which does not comply in kind, quality, quantity, time or place with the requirements of the Contract Documents.

The inspection, approval or acceptance of any part of the Work or any payment on account thereof, shall not prevent the rejection of said Work at any time thereafter during the existence of the Contract and prior to final payment, should said Work be found to be defective or not in accord with requirements of the Contract Documents.

The presence of PHS authorized representatives shall not lessen the obligations of the Contractor for performance in accordance with the requirements of the Contract Documents, or be deemed a defense on the part of the Contractor for an infraction thereof. PHS authorized representatives are not authorized to revoke, alter, enlarge, relax or release any of the requirements of the Contract Documents. Any omission or failure on the part of PHS authorized representatives to disapprove or reject any Work shall not be construed to be an acceptance of any such defective Work.

#### PERMISSIBLE CHANGES AND ALTERATIONS IN THE WORK:

Should it be deemed necessary by PHS or the Contractor, in the execution of the work, to make variations desirable or necessary for the stability, safety, economy or betterment of the Work, which variations increase or decrease the quantities of work specified or change the location thereof to an extent not unreasonably affecting the conditions of the Work, the Contractor shall, upon written order from PHS to that effect, make such variations. If such variations diminish the quantity of the Work to be done, an appropriate reduction in the amount payable to the Contractor under the Contract will be made, and the Contractor shall make no claim for damages or for anticipated profits on the work that is eliminated. If such variations increase the amount of Work, the value of such increase shall be determined and fixed by PHS in accordance with the quantity of such Work actually done, and, where applicable, at the prices stipulated in the unit price schedule in the Contract Documents.

Should the Contractor consider itself entitled to extra compensation on account of the above alterations or changes, before proceeding with the Work in question it shall notify PHS in writing. No changes or alterations in the scope

of Work shall be made without prior authorization in writing by the PHS authorized representative. Should, in the opinion of PHS, any contemplated change in the quantities of the Work or alterations thereof materially increase the compensation for same, then the Work shall be considered to be "Extra Work" and the Contractor shall be paid for same in accordance with paragraph 5.13.

The Contractor may make substitutions only with the prior written consent of the PHS authorized representative.

Written orders varying the scope of the Work and indicating an adjustment in the time for performance of the Contract and/or the compensation due Contractor when signed by PHS and the Contractor stating their agreement to the terms are "Change Orders."

**EXTRA WORK:** Extra Work, not originally contemplated under the Contract and not otherwise provided for in a unit price schedule herein, shall be performed by the Contractor only when authorized by Change Order.

**INSURANCE:** The Contractor shall have in effect at all times during the term of the Contract insurance from a carrier rated "A" or better by A.M. Best or an analogous rating from a similarly recognized rating agency:

The Contractor shall carry or require that there be carried worker's compensation insurance for all persons engaged in the Work under the Contract and in accordance with all applicable worker's compensation laws.

The Contractor shall procure and maintain in effect for as long as the Contractor has obligations under the Contract adequate public liability and property damage insurance to protect the Contractor, its agents, or employees and/or subcontractors, the public, and PHS employees, from claims for bodily injury, accidental death and damage to property, which may arise from operations under this Contract, whether or not such operations are undertaken by the Contractor or anyone directly in its employment. Such insurance shall include the following coverage in at least the following amounts:

comprehensive public liability and property damage insurance in the amount of one million dollars (\$1,000,000.00) per occurrence with an annual limit of not less than two million dollars (\$2,000,000.00); and

protective liability and property damage insurance in the amount of one million dollars (\$1,000,000.00) with an annual limit of not less than two million dollars (\$2,000,000.00).

The Contractor shall carry, and require that there be carried by any of its agents or subcontractors doing work under this Contract, comprehensive automobile

liability insurance covering owned, hired and non-owned vehicles used in connection with any Work being performed under this Contract, with limits of one million dollars (\$1,000,000.00) per each person and one million dollars (\$1,000,000.00) per occurrence for bodily injury (including death) and property damage in a single primary contract of insurance.

Each such policy shall name PHS, and the City of Philadelphia as additional insureds and provide that PHS shall receive thirty (30) days' prior written notice of any material change in or cancellation of such policy. The Contractor shall at the request of PHS provide PHS with copies of certificates evidencing such insurance. The Contractor shall increase the amount of such insurance upon the reasonable request of PHS.

The Contractor shall provide prompt written notice to PHS of all losses, damages or injuries to any person or to the property of PHS or any third persons, which might in any way be related to the performance of the Work under this Contract. The Contractor shall promptly report to PHS all such claims of which the Contractor has notice, whether related to matters insured or uninsured. No settlement or payment for any claim or loss, injury or damage or other matter as to which PHS may be charged to make a payment or reimbursement shall be made by the Contractor without the prior written approval of PHS. The Contractor shall assist and cooperate with PHS and any insurance company in the adjustment or litigation of all claims.

The Contractor is responsible for compliance with the insurance requirements herein. No act or omission of any insurance agent, broker or insurance company representative shall relieve the Contractor of any of its obligations under this Contract.

**INDEMNIFICATION:** The Contractor shall indemnify, save and hold harmless PHS, the City of Philadelphia, and their agencies and departments, subsidiaries, affiliates and each of their directors, officers, representatives, agents, employees, and volunteers from and against all claims, damages, losses, liabilities, cause of action, orders, decrees or judgments or other expenses, including attorneys' fees, whether for injury, death or damage to person or property which arise out of or result from the performance or non performance of any of the Work by the Contractor under this Contract, provided that any such claim, damage, loss or expense is caused in whole or in part by the negligence, gross negligence or willful misconduct of the Contractor or any subcontractor of the Contractor, anyone directly or indirectly employed by any of them, or anyone for whose acts the Contractor is liable.

**ASSIGNMENT OF CONTRACT:** The Contractor and its designated representatives shall give his/her best efforts and personal attention to the faithful completion of the work and shall not subcontract Work or assign, transfer, convey or otherwise dispose of

either the Contract or any legal right, title or interest in or to the same or to any part thereof without the prior written consent of PHS.

**NOTICES:** Any notice given under the Contract shall be in writing. Written notice shall be sent by hand delivery, by receipted overnight delivery service by a reputable carrier, by registered or certified mail, postage prepaid, return receipt requested or by facsimile. Any notice sent by facsimile must be followed within three (3) days by written notice sent by one of the four other methods listed. Unless otherwise expressly provided in this Contract, all notices shall be effective two (2) days after deposit in the United States mail, or one (1) day after being sent by overnight delivery service or when delivered by hand, all as evidenced by a signed receipt. Notices shall be sent to the parties at the following addresses:

If to PHS:  
The Pennsylvania Horticultural Society  
100 North 20th Street, 5th Floor  
Philadelphia, PA 19103-1495  
Fax (215) 988-8810  
Attention: \_\_\_\_\_

If to Contractor:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**WEATHER:** PHS's authorized representative may in his or her sole discretion order the suspension of Work in whole or in part, due to weather or the effects of weather, for such time as (s)he considers to be unfavorable for the satisfactory performance of the Work.

**SECURITY OF STORAGE FACILITY:** The Contractor shall be responsible for maintaining a secure and safe storage facility for all equipment and supplies being stored for PHS Work at Contractor's yard, storage/nursery facility. Contractor shall deliver, handle, and store all plant stock and materials in accordance with the highest standard of care.

**REQUIRED REPORTING:** The Contractor shall maintain records satisfactory to PHS of Work performed, including labor, equipment and material used.

**LIENS.** Contractor, for itself and anyone else acting or claiming through or under it, does hereby waive and relinquish all right to file a mechanics' or materialman's lien, or notice of intention to file any lien, and does hereby covenant, promise and agree that no mechanic's lien or other lien of any kind shall be filed or maintained against any Project or improvements at any Project site or the estate or title of any owner of

real property, PHS, and the City of Philadelphia for services rendered, Work done or materials furnished in connection with this Contract.

MISCELLANEOUS:

Only the authorized representatives of the parties may amend or waive provisions of the Contract. Any amendment to the Contract and any waiver of any of the provisions of the Contract must be in writing executed by both of the parties to the Contract. If either party fails to enforce any term of the Contract, failure to enforce on that occasion shall not prevent enforcement on any other occasion.

All rights and remedies conferred by the Contract are cumulative and may be exercised singularly or concurrently. If any provision of the Contract is held invalid by any law or regulation of any government or by any court, such invalidity shall not affect the enforceability of other provisions in the Contract. The Contract shall be governed by and interpreted in accordance with the laws of the Commonwealth of Pennsylvania without regard to the conflict of laws statutes.

Each party hereto acknowledges that it has entered into the Contract as an independent contractor and is not, and shall not hold itself out as an agent, representative or employee of the other party hereto, except as provided for under this Contract or by operation of law.

The Contractor acknowledges that it has read the Contract, understands the same and agrees to be bound by same. This Contract shall supersede all prior contracts, agreements, amendments, addenda, extension and proposals, whether oral or written, and any and all negotiations, conversations and discussions relating to same.

All descriptive headings in this Agreement are for convenience of reference only and in no way shall be used to construe or interpret this document.

The obligations of the Contractor under the selections titled "Insurance" and "Indemnification" shall survive the termination or expiration of the Contract.

PHS and the Contractor have executed this Agreement on the date indicated below with the document intended to be effective as of the date first written above.

THE PENNSYLVANIA HORTICULTURAL SOCIETY

By \_\_\_\_\_

Date: \_\_\_\_\_

CONTRACTOR

By \_\_\_\_\_

Date: \_\_\_\_\_

SAMPLE

Exhibit A

Technical Specifications and Drawings

See drawings and scope in bid documents.

SAMPLE

Exhibit B

Accepted Bid Response

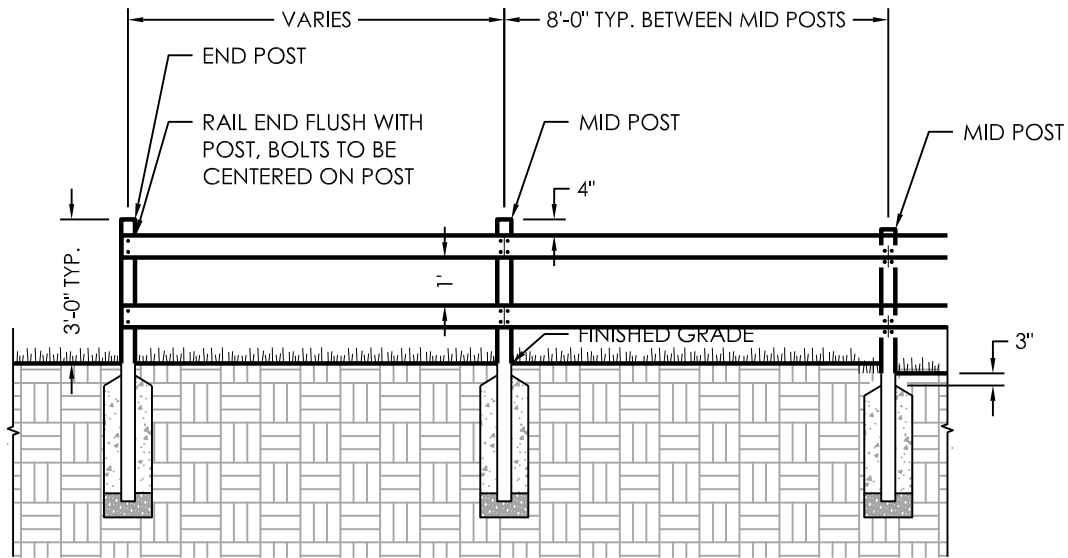
SAMPLE



## Exhibit C





### Compensation

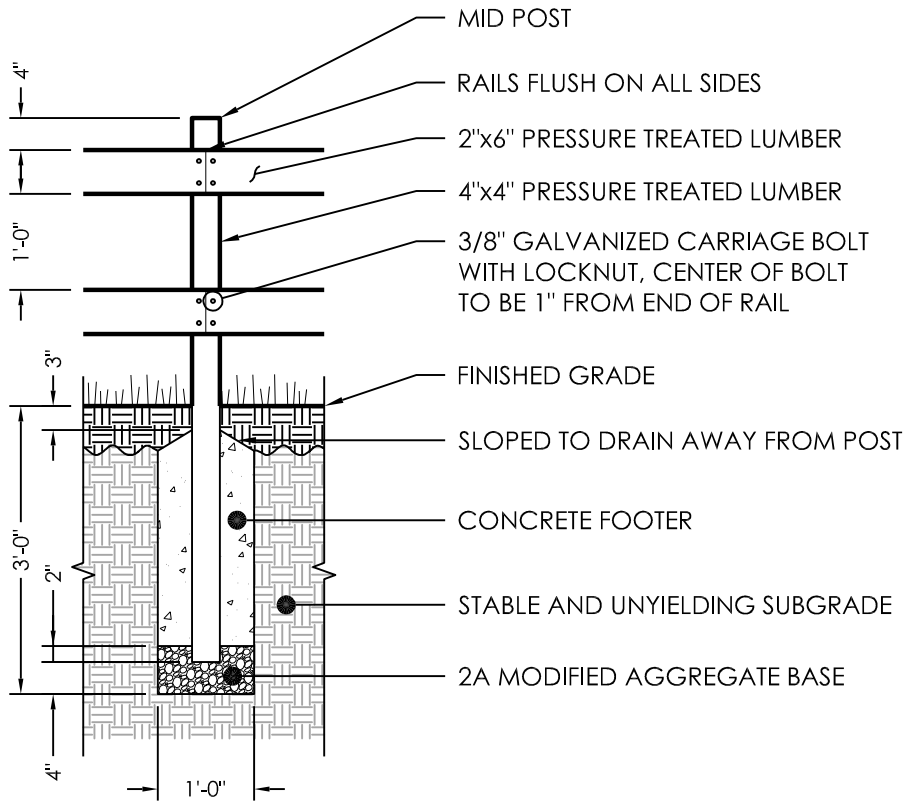
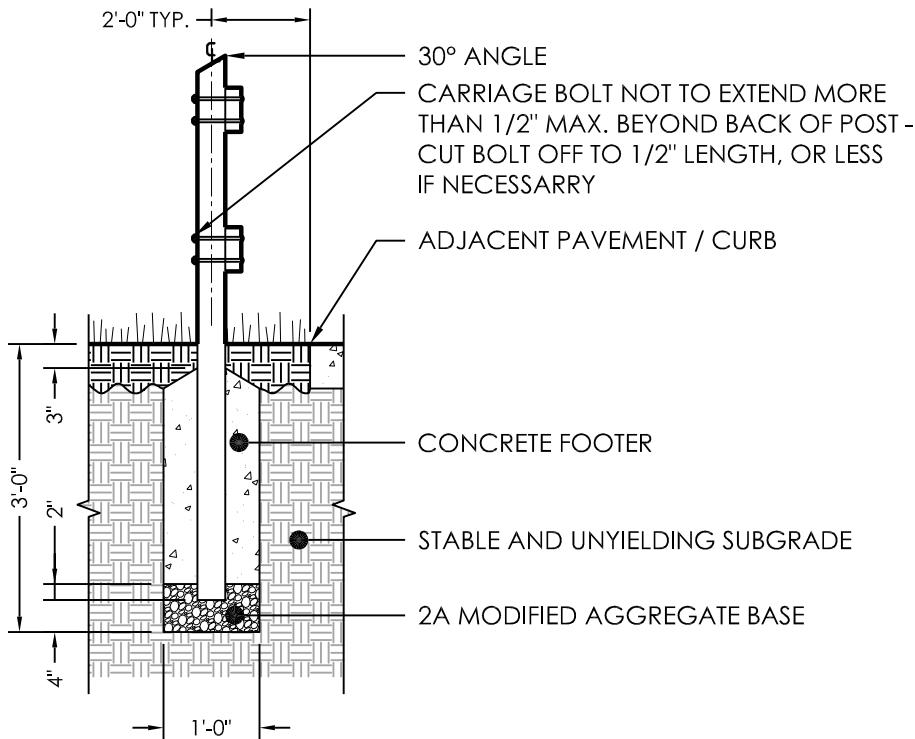
Penalization: PHS will hold contractor to all dates set forth in the contract. If contractor fails to meet deadlines PHS will either cancel contract or impose a 5% penalty for work not completed. All sites which are not complete will receive a 5% penalty every week that they are late.



**GENERAL NOTES:**

1. VERIFY THE EXACT LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE STARTING WORK. CALL PA ONE CALL SYSTEM: 811 OR 1-800-242-1776.
2. USE EXTREME CARE TO PROTECT ALL EXISTING ELEMENTS FROM DAMAGE OR DISPLACEMENT. REMOVE ANY DEBRIS OR TRASH UNEARTHED DURING EXCAVATION AND DISPOSE OF LEGALLY.
3. LAYOUT AND STAKING OF POST AND RAIL FENCE IS TO BE DONE IN THE FIELD BY THE CONTRACTOR AND APPROVED BY PHS BEFORE THE START OF CONSTRUCTION. TYPICAL HEIGHT OF POST AND RAIL WOOD FENCE SHOULD BE 3'-0" UNLESS SPECIFIED OTHERWISE ON DRAWING.
4. DRILL OR HAND-EXCAVATE HOLE FOR WOOD POST TO A DEPTH, DIAMETER, AND SPACING INDICATED ON THE DRAWING OR PLAN. EXCAVATE HOLE IN FIRM, UNDISTURBED, OR COMPACTED SOIL TO LOCAL FROST DEPTH.
5. POSITION PRESSURE-TREATED WOOD POST IN SIX (6) INCH AGGREGATE BASE TO PROVIDE FIRM FOOTING. POST SHOULD REST IN FOUR (4) INCHES OF TAMPED AGGREGATE AND HAVE TWO (2) INCHES PLACED AT THE BOTTOM OF POST FOR DRAINAGE.
6. FILL THE HOLE WITH CONCRETE, SETTING WOOD POST TRUE AND PLUMB. CONCRETE SHOULD NOT ENGULF THE BOTTOM OF THE POST. TAKE CARE TO SLOPE TOP OF CONCRETE AWAY FROM WOOD POST FOR DRAINAGE PURPOSES AS SHOWN IN DETAIL DRAWING ABOVE.
7. REPEAT STEPS 4-6 FOR EACH FENCE POST. VERIFY THAT POSTS ARE SET PLUMB, ALIGNED, AND AT CORRECT HEIGHT AND SPACING AS SPECIFIED ON DRAWING. HOLD IN POSITION DURING PLACEMENT AND FINISHING OPERATIONS UNTIL CONCRETE IS SUFFICIENTLY CURED. FINISHED CONCRETE SHOULD BE THREE (3) INCHES BELOW EXISTING GRADE, AS SHOWN IN DETAIL DRAWING ABOVE.
8. ATTACH 2" X 6" PRESSURE-TREATED WOOD TO POSTS WITH TWO (2) 3/8" CARRIAGE BOLTS AND LOCKNUT, ENSURING THAT WOOD IS CENTERED ON POSTS AS SHOWN IN DETAIL DRAWING ABOVE.
9. IF FENCE LOSSES MORE THAN 3" OF HEIGHT OVER 30' DISTANCE THEN CONTRACTOR SHALL SLOPE FENCE WITH GRADE.

Revision Date 01/25/12	<h2 style="margin: 0;">POST &amp; RAIL WOOD FENCE</h2> <p style="margin: 0;">LENGTHWISE SECTION / ELEVATION DETAIL</p>	Project Of: 	Project Manager: 
Scale 1/4" = 1'-0"		 	
FE02VL-R		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800	



Revision Date  
01/25/12

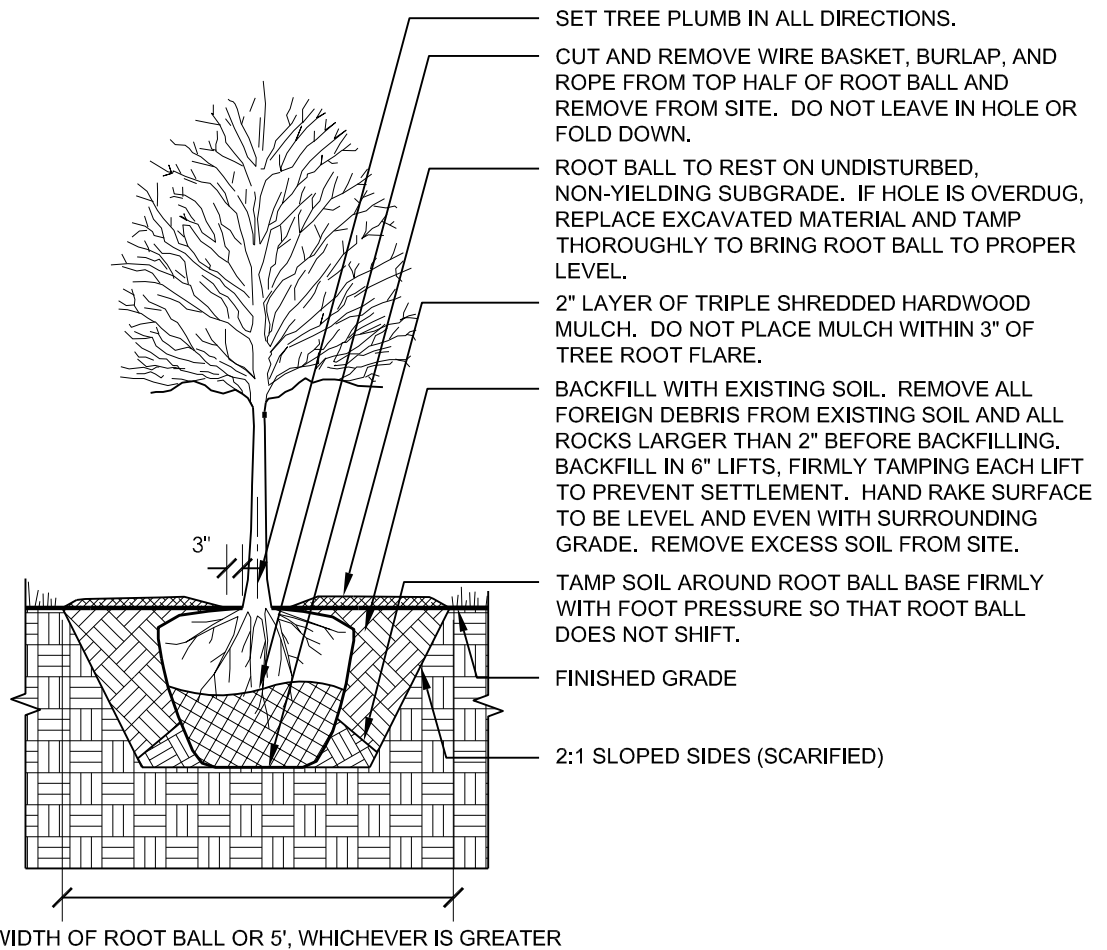
Scale  
1/2" = 1'-0"

# POST & RAIL WOOD FENCE

CROSS-SECTION DETAILS



FE02VL-R



**GENERAL NOTES:**

- CONTRACTOR SHALL ENSURE THE HIGHEST TREE ROOT FLARE IS LOCATED PRIOR TO EXCAVATING. CONTRACTOR SHALL EXCAVATE PIT TO A DEPTH THAT ENSURES **THE HIGHEST ROOT FLARE IS FLUSH WITH EXISTING GRADE**. THE TREE MUST REST ON UNDISTURBED OR COMPACTED SUBGRADE. **TREES PLANTED LOW OR HIGH WILL BE REJECTED.**
- PRIOR TO PLANTING, THE CONTRACTOR SHALL NOTIFY PHS IN WRITING, IF SOIL CONDITIONS ARE DEEMED BY CONTRACTOR DETRIMENTAL TO PLANT GROWTH.
- CONTRACTOR SHALL VERIFY TREE PIT IS FREE DRAINING AND NOTIFY PHS IF IT IS NOT.
- CONTRACTOR SHALL NOTIFY PHS OF BELOW GRADE OBSTRUCTIONS PRIOR TO PLANTING.
- THE TRUNK OF THE TREE SHALL NOT BE USED AS A LEVER IN POSITIONING OR MOVING THE TREE.
- CONTRACTOR SHALL REMOVE TREE WRAP AND/OR SHIPPING MATERIALS FROM TREE ONCE PLANTING IS COMPLETE.
- CONTRACTOR SHALL LEAVE IN PLACE PHS/CONTRACTOR TAGGING SEAL. DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CO-DOMINANT LEADERS, BROKEN, DEAD, OR DAMAGED BRANCHES. PRUNE WITH A CLEAN CUT PER ANSI A300 & ISA (2008) STANDARDS. DO NOT CUT TREE LEADER.

Revision Date 08/01/11	<b>BASIC TREE PLANTING</b> SECTION / ELEVATION DETAIL	Project Of: 	Project Manager: 
Scale 1/4" = 1'-0"			
PL01VL-R			
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800			

**THE PENNSYLVANIA HORTICULTURAL SOCIETY**

**PHILADELPHIA LANDCARE STABILIZATION**  
**Fall 2023**

**Group A**  
**Strawberry Masion**



*Project funded by the City of Philadelphia  
Division of Housing and Community Development*

Group A Site List  
Fall 2023  
Strawberry Masion  
Page 1 of 1

<u>VL#</u>	<u>Address Range</u>
VL10500NC_CLP	2153 NORTH STANLEY STREET; 3028 WEST SUSQUEHANNA AVENUE
VL10501NC_CLP	2310 N 25TH ST
VL10502NC_CLP	2317 W HUNTINGDON ST
VL10504NC_CLP	2403 N NEWKIRK ST
VL10505NC_CLP	2731 W YORK ST *
VL10508NC_CLP	2408-2410 W FIRTH ST
VL10509NC_CLP	2415-2419 N NATRONA ST
VL10510NC_CLP	2421 N NAPA ST
VL10511NC_CLP	2428 W FIRTH ST
VL10512NC_CLP	2431 N STANLEY ST
VL10513NC_CLP	2432 N 26TH ST
VL10514NC_CLP	2457 N HOLLYWOOD ST
VL10515NC_CLP	2459 N STANLEY ST
VL10517NC_CLP	2511 W DAKOTA ST
VL10518NC_CLP	2511-2513 W DAUPHIN ST
VL10519NC_CLP	2516 W DAKOTA ST
VL10520NC_CLP	2521 W DAUPHIN ST
VL10521NC_CLP	2523 W GORDON ST
VL10522NC_CLP	2527-2529 W DAKOTA ST
VL10523NC_CLP	2531 W GORDON ST
VL10525NC_CLP	2540 W YORK ST
VL10526NC_CLP	2550-2552 N DOVER ST
VL10528NC_CLP	2611-29 W HAROLD ST
VL10529NC_CLP	2619-2621 N NAPA ST
VL10530NC_CLP	2622-2632 W ARIZONA ST
VL10532NC_CLP	2913 W GORDON ST
VL10535NC_CLP	3016 W SUSQUEHANNA AVE
VL10537NC_CLP	3023 W SUSQUEHANNA AVE
VL10540NC_CLP	3030 W GORDON ST
VL10542NC_CLP	3116 W GORDON ST



*Project funded by the City of Philadelphia  
Division of Housing and Community Development*



**PHS**



City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group A:  
Strawberry Mansion - Fall 2023

- Fall 2023 Parcels
- Building







**PHS**



City of  
**Philadelphia**

Philadelphia LandCare Sites  
Proposed for Group A:  
Strawberry Mansion - Fall 2023

-  Fall 2023 Parcels
-  Building









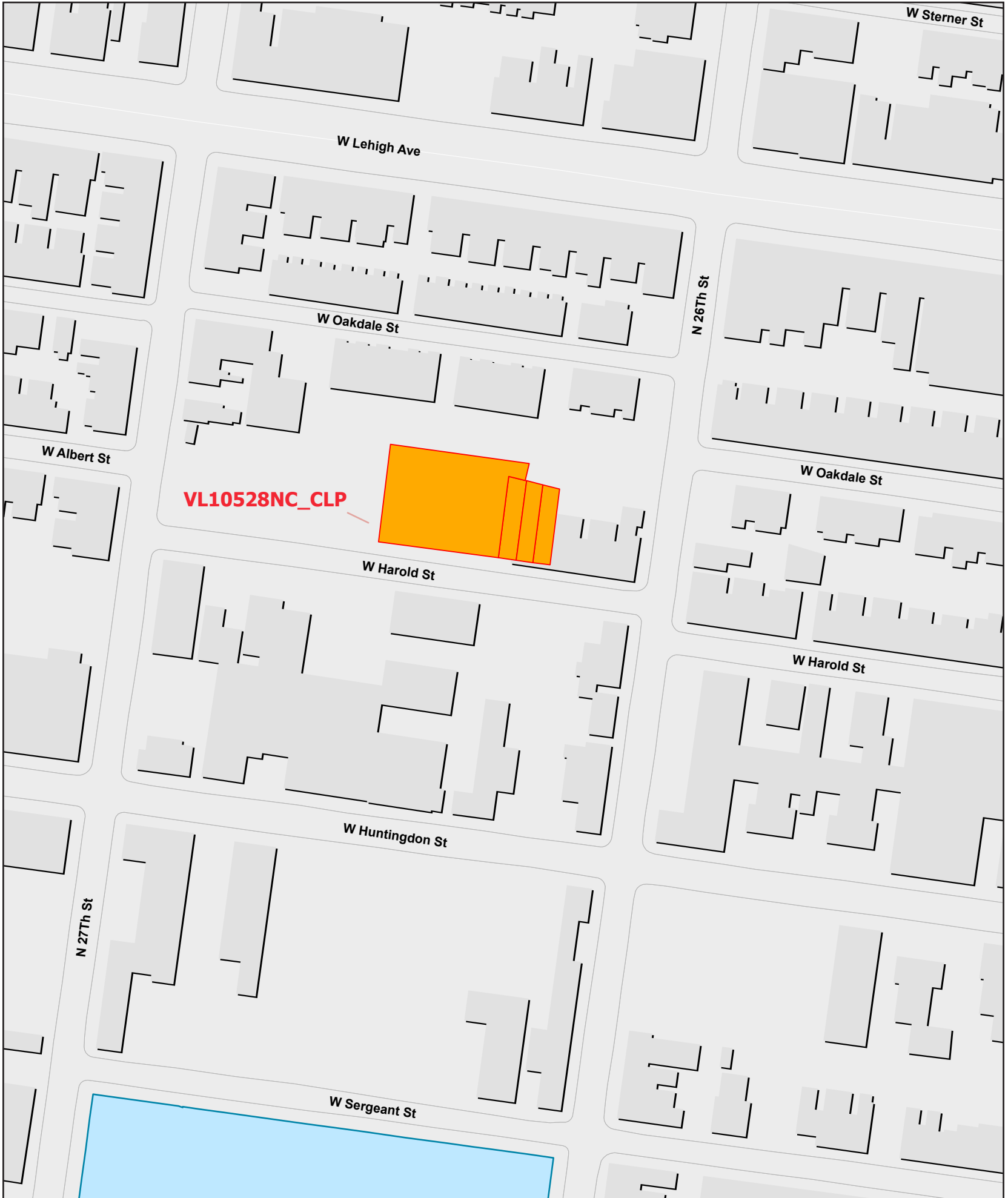
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City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group A:  
Strawberry Mansion - Fall 2023

-  Fall 2023 Parcels
-  Building





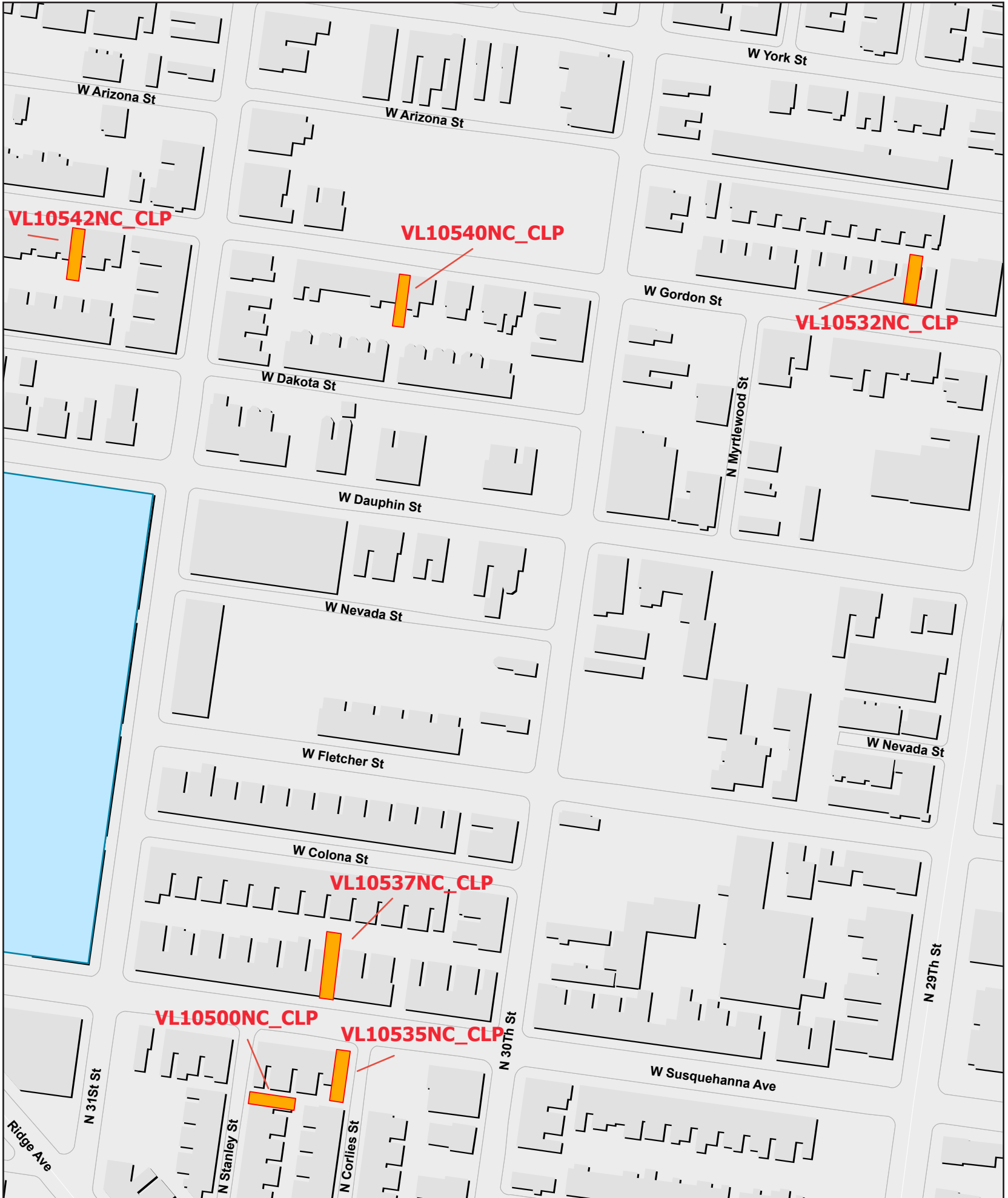
**PHS**



City of  
**Philadelphia**

Philadelphia LandCare Sites  
Proposed for Group A:  
Strawberry Mansion - Fall 2023

- Fall 2023 Parcels
- Building





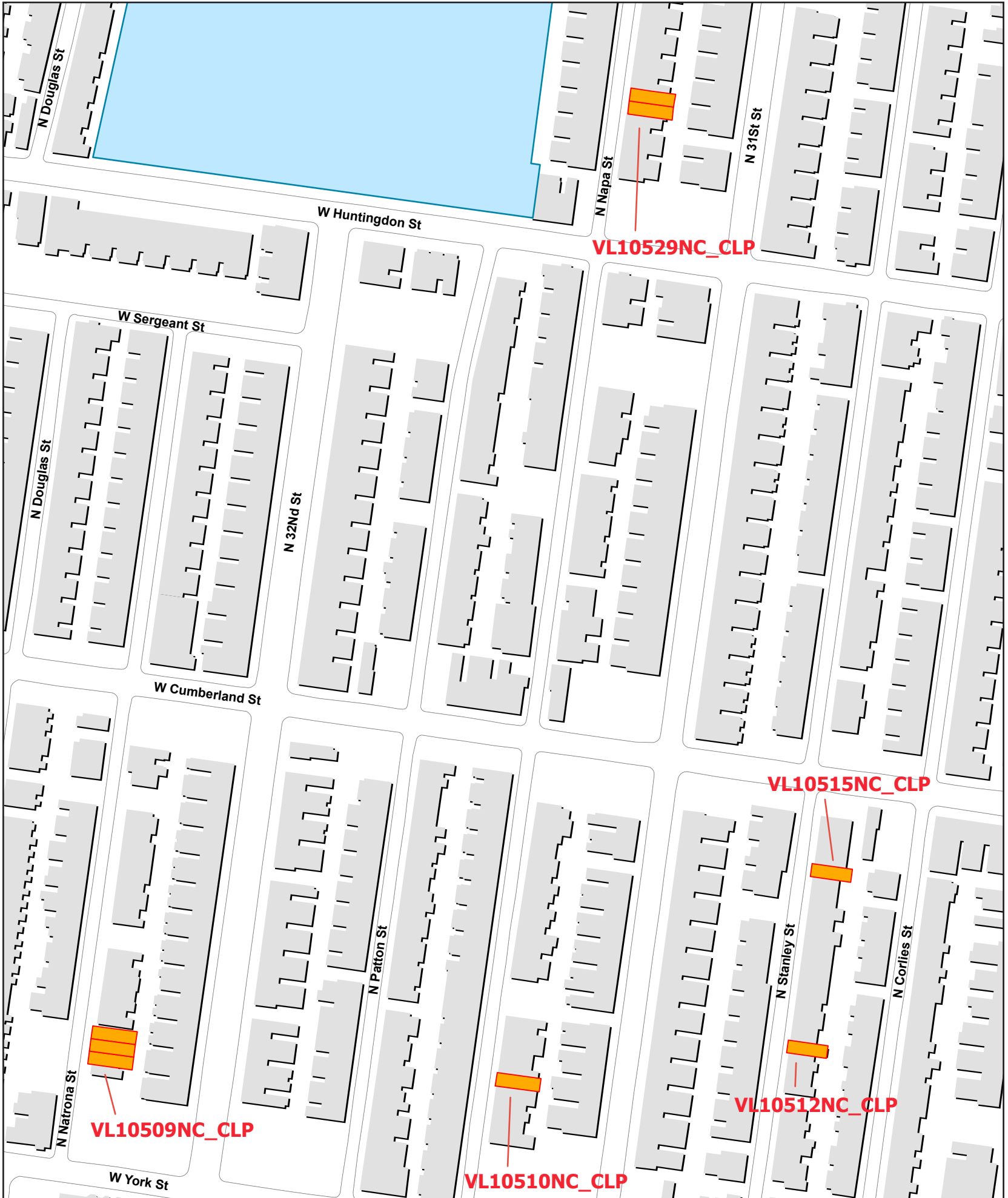
**PHS**



City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group A:  
Strawberry Mansion - Fall 2023

Fall 2023 Parcels  
 Building





**PHS**

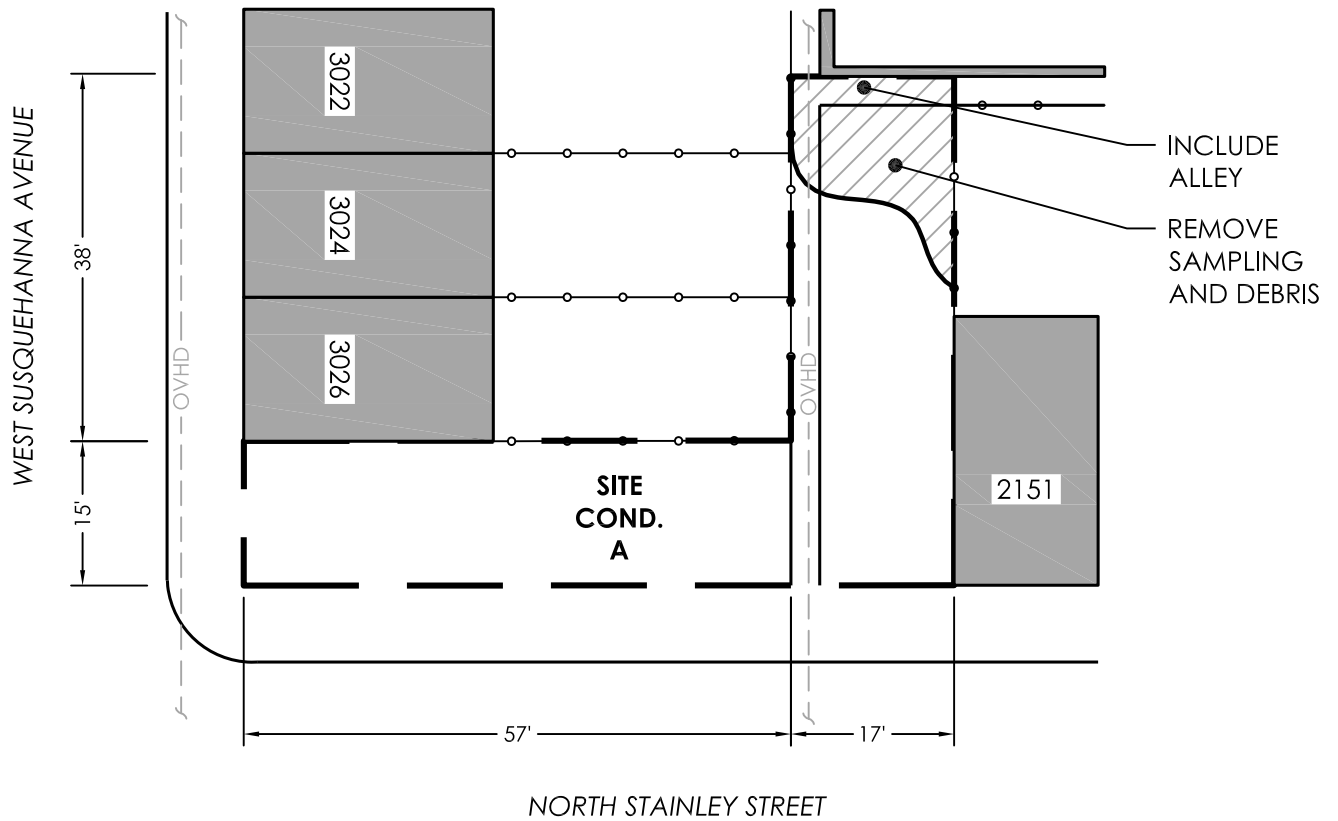


City of Philadelphia

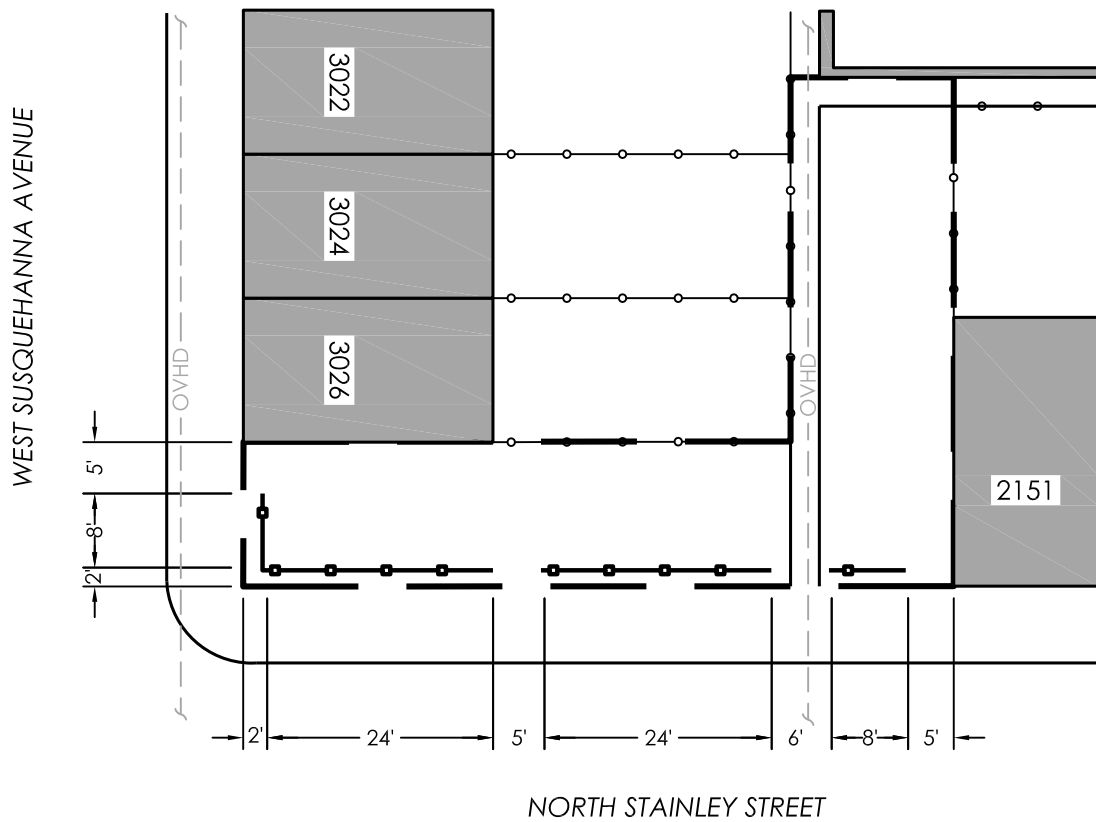
Philadelphia LandCare Sites  
Proposed for Group A:  
Strawberry Mansion - Fall 2023

- Fall 2023 Parcels
- Building

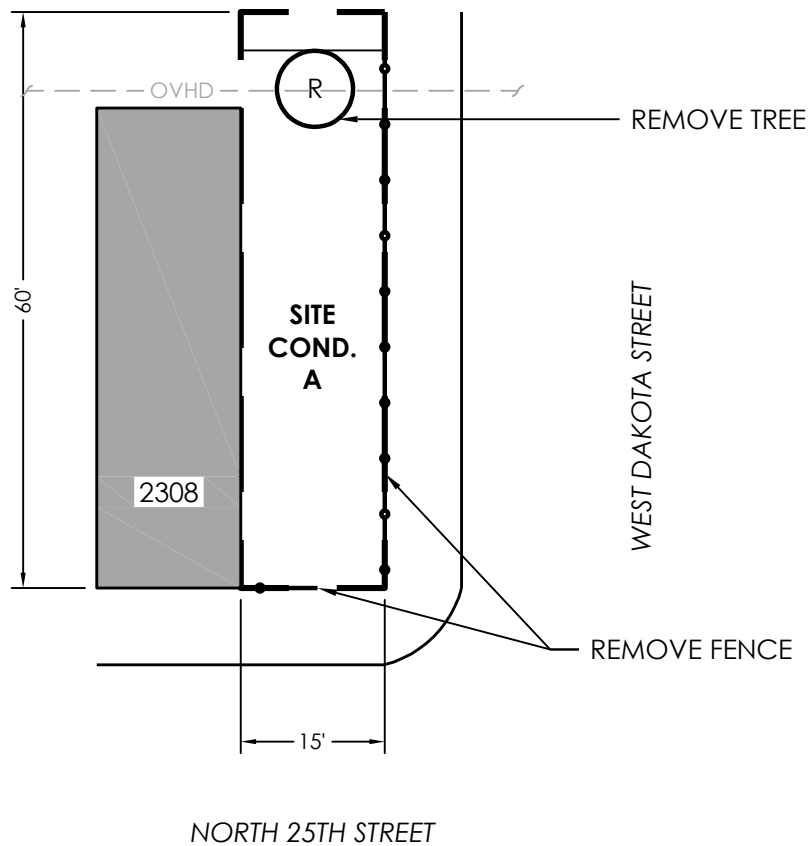




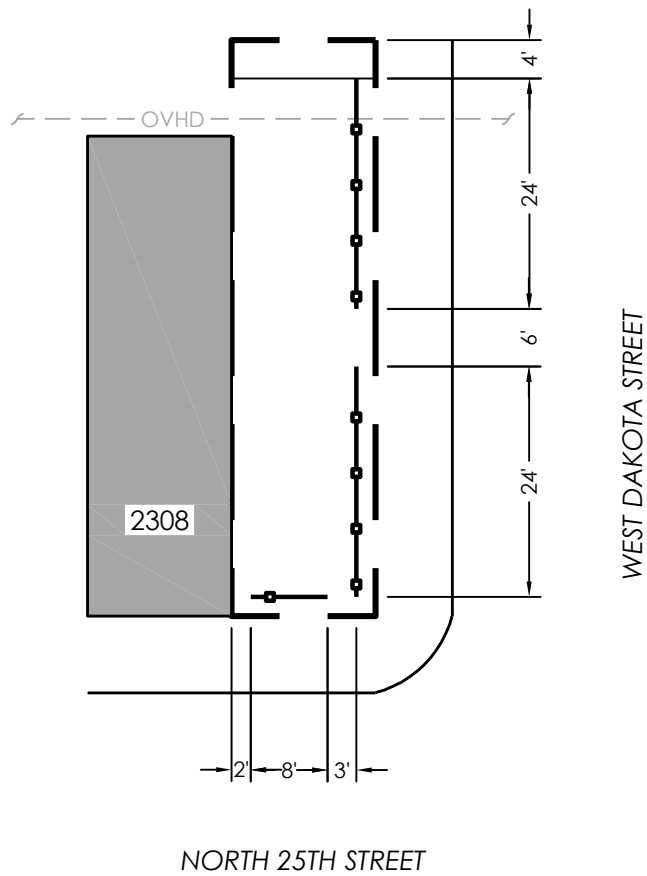
Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2153 NORTH STANLEY STREET; 3028 WEST SUSQUEHANNA AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10500NC_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date 8/15/2023		<h2>FENCE &amp; TREE LAYOUT</h2> <p>2153 NORTH STANLEY STREET; 3028 WEST SUSQUEHANNA AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10500NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date 8/9/2023		<h1>EXISTING CONDITIONS</h1> <p>2310 NORTH 25TH STREET</p>	Project Of: 	Project Manager: 
Scale 1" = 20'			Group A	VL10501NC_CLP
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date	8/9/2023
Scale	1" = 20'
Group	Group A
Project ID	VL10501NC_CLP

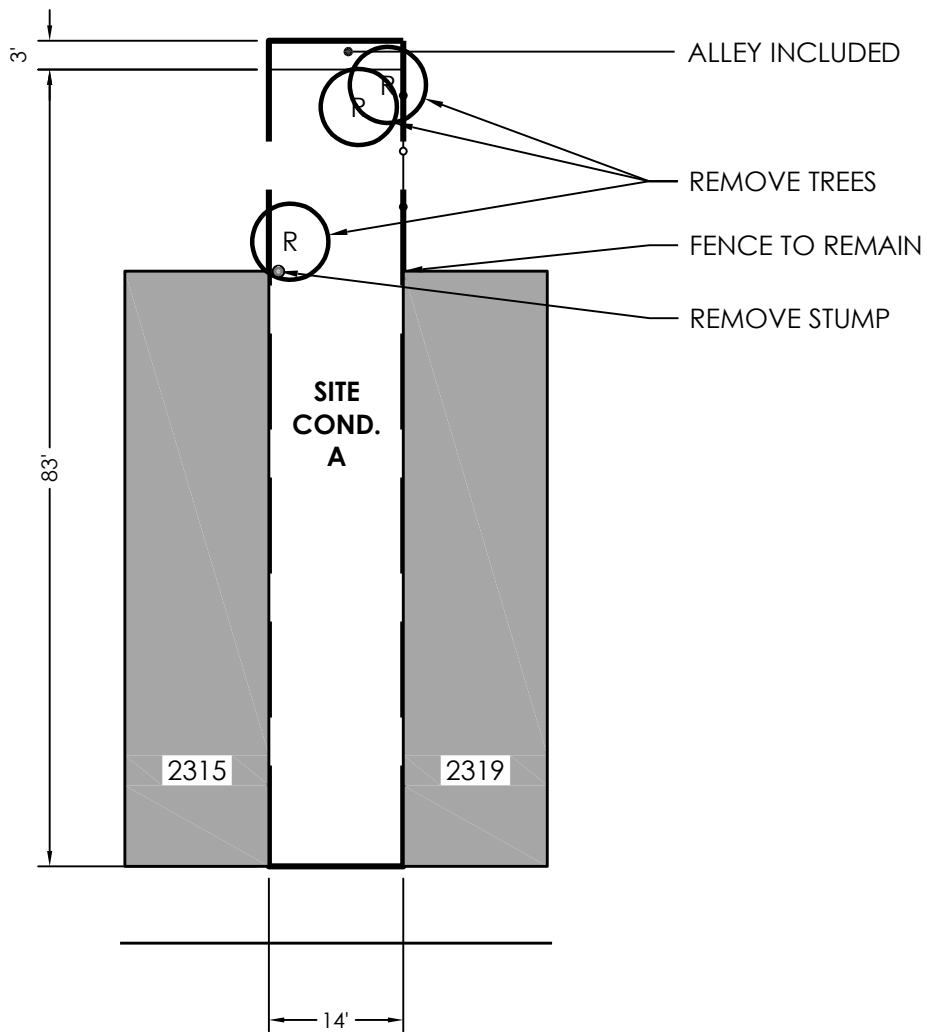


# FENCE & TREE LAYOUT

2310 NORTH 25TH STREET

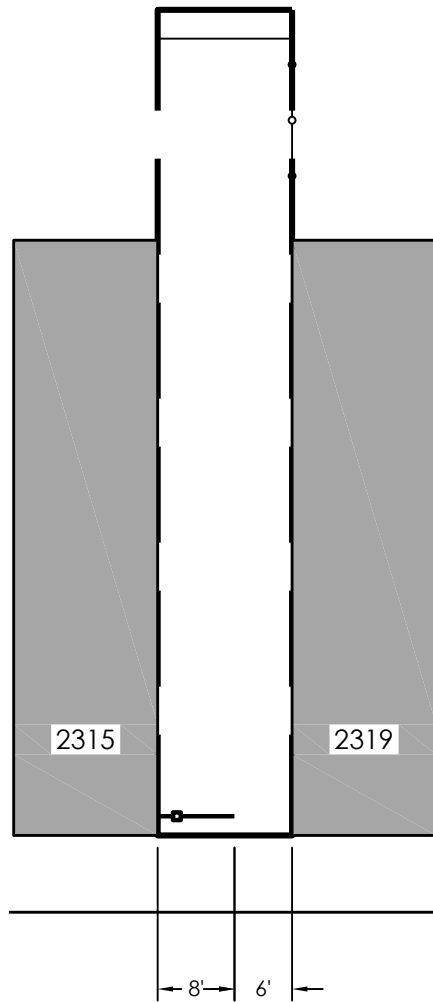






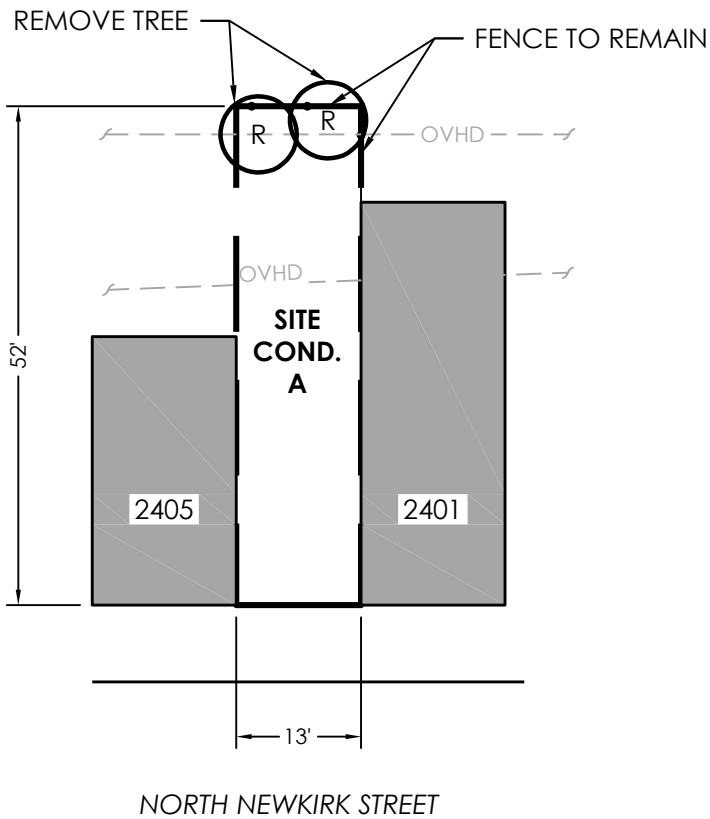
EAST HUNTINGDON STREET

Initial Date 8/4/2023		<b>EXISTING CONDITIONS</b> 2317 EAST HUNTINGDON STREET	Project Of: 	Project Manager: 
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Group A				
VL10502NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

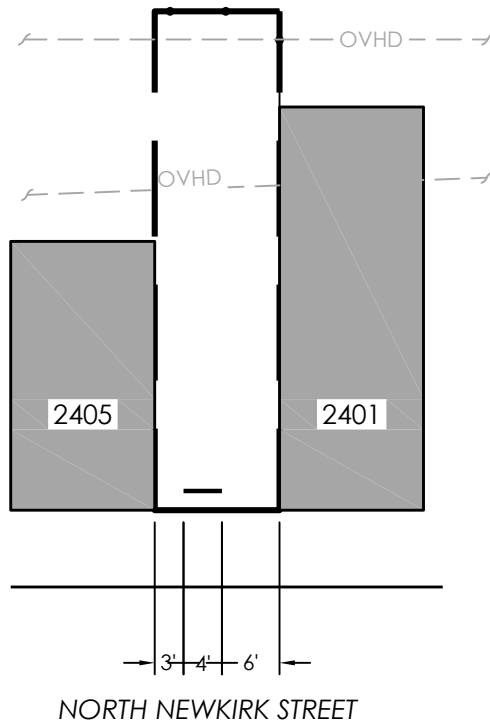


EAST HUNTINGDON STREET

Initial Date 8/4/2023		<h2>FENCE &amp; TREE LAYOUT</h2> <p>2317 EAST HUNTINGDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10502NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date 8/10/2023		<h1>EXISTING CONDITIONS</h1> <p>2403 NORTH NEWKIRK STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10504NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/10/2023

Scale  
1" = 20'

Group A

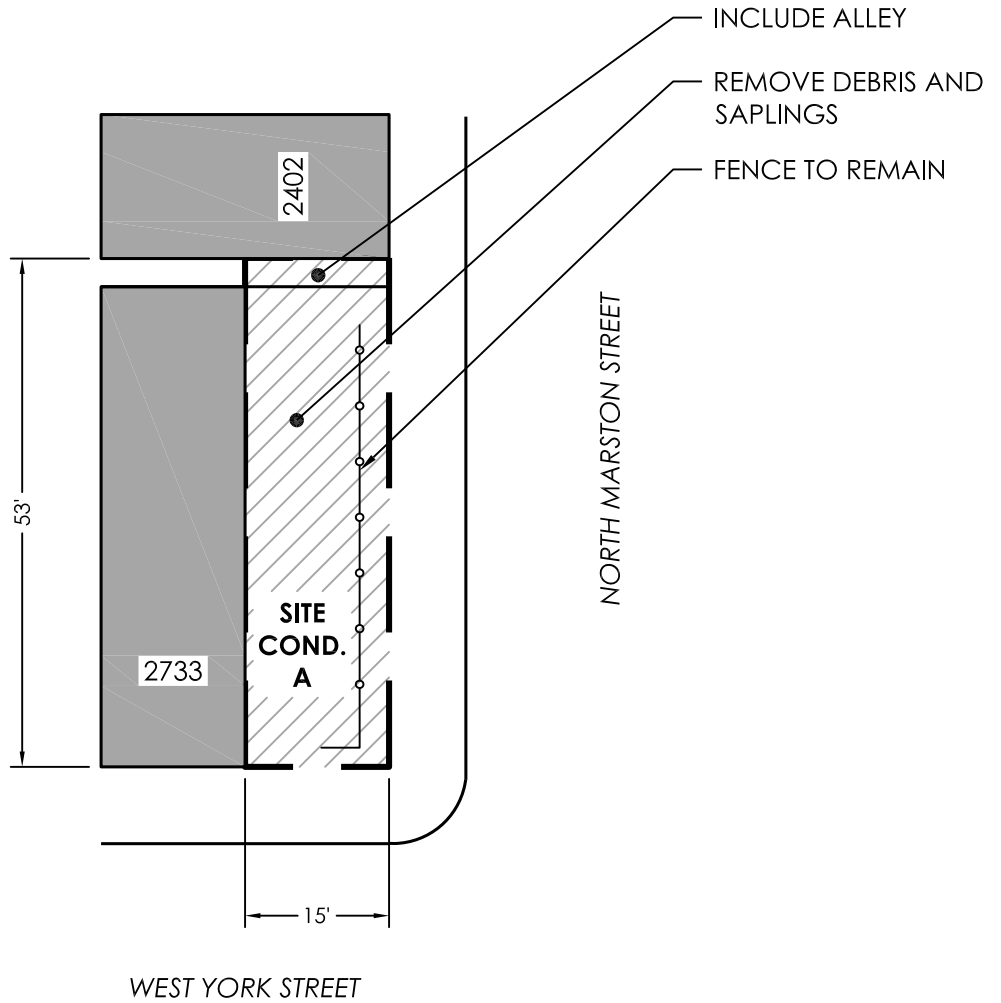
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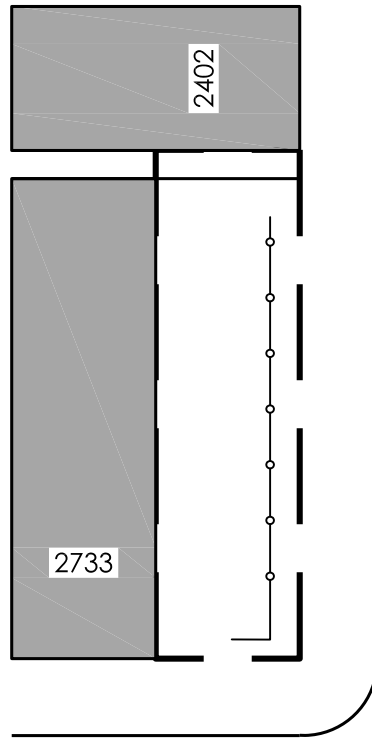
**FENCE & TREE LAYOUT**

2403 NORTH NEWKIRK STREET





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2731 WEST YORK STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10505NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH MARSTON STREET

WEST YORK STREET

Initial Date  
8/15/2023

Scale  
1" = 20'

Group A

VL10505NC\_CLP



# FENCE & TREE LAYOUT

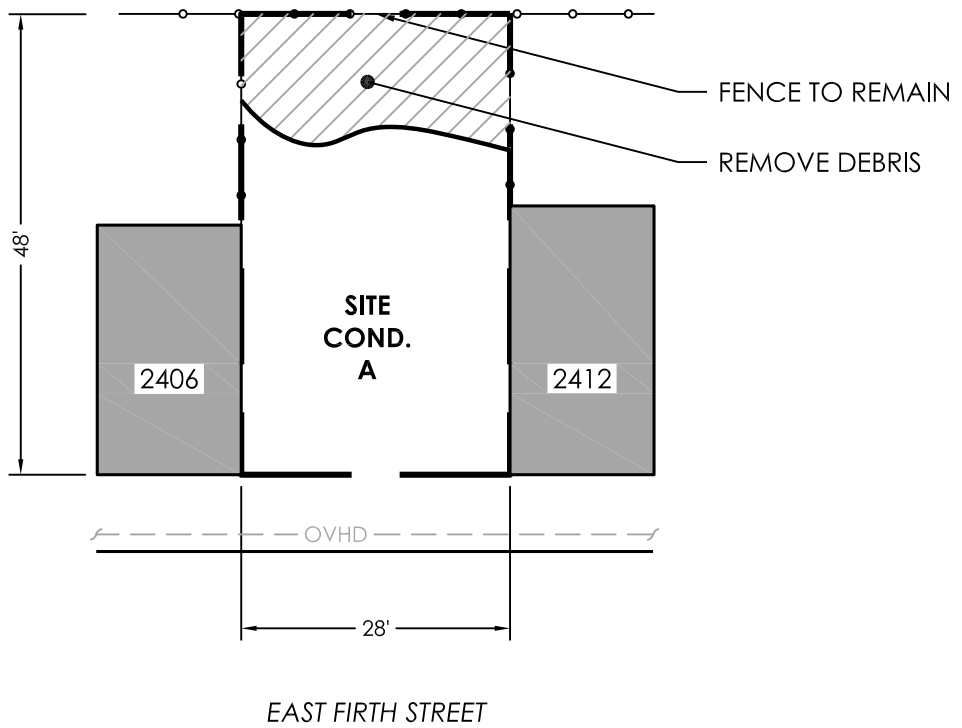
2731 WEST YORK STREET

Project Of:

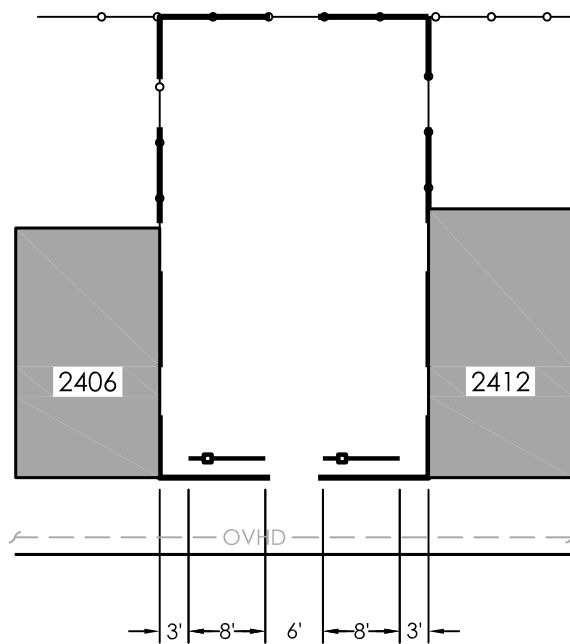


Project Manager:





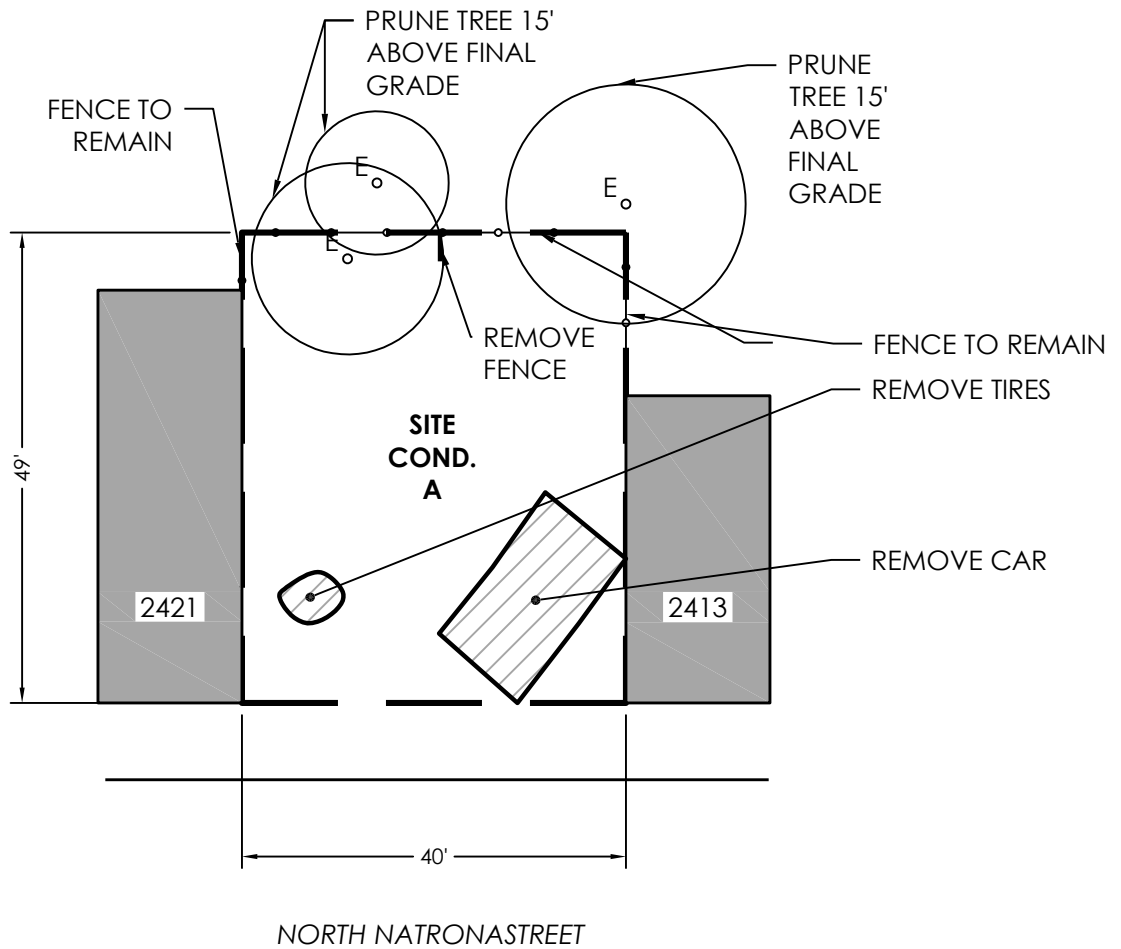
Initial Date 8/4/2023		<h1>EXISTING CONDITIONS</h1> <p>2408-2410 EAST FIRTH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10508NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



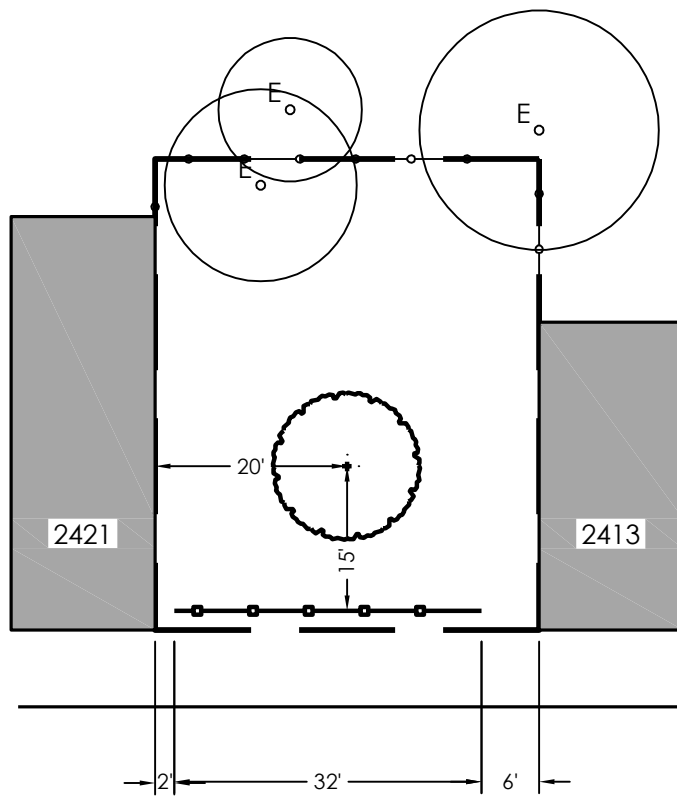
EAST FIRTH STREET

Initial Date		<h2 style="text-align: center;">FENCE &amp; TREE LAYOUT</h2> <p style="text-align: center;">2408-2410 EAST FIRTH STREET</p>	Project Of:	Project Manager:
Scale				
Group A			VL10508NC_CLP	
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



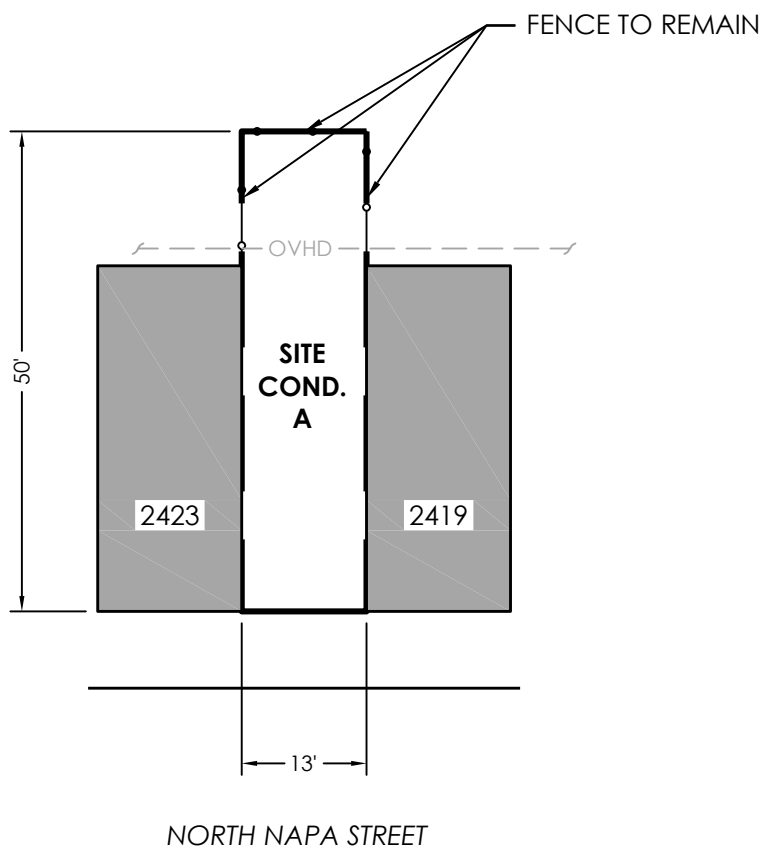


Initial Date 8/10/2023		<h1>EXISTING CONDITIONS</h1> <p>2415-2419 NORTH NATRONA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10509NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

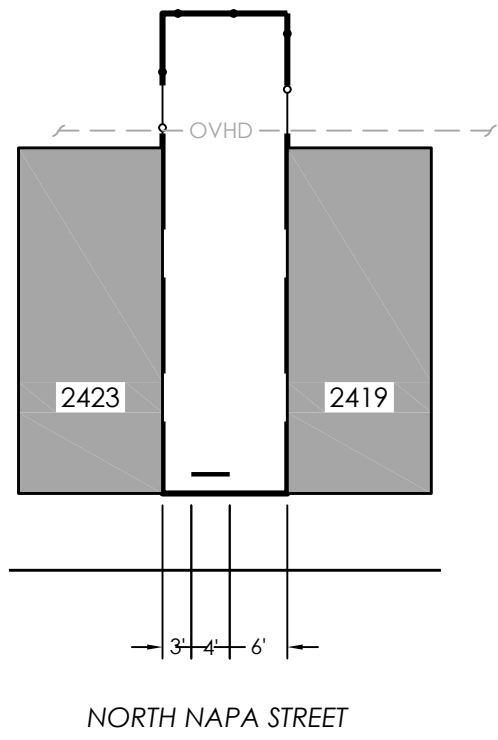


NORTH NATRONASTREET

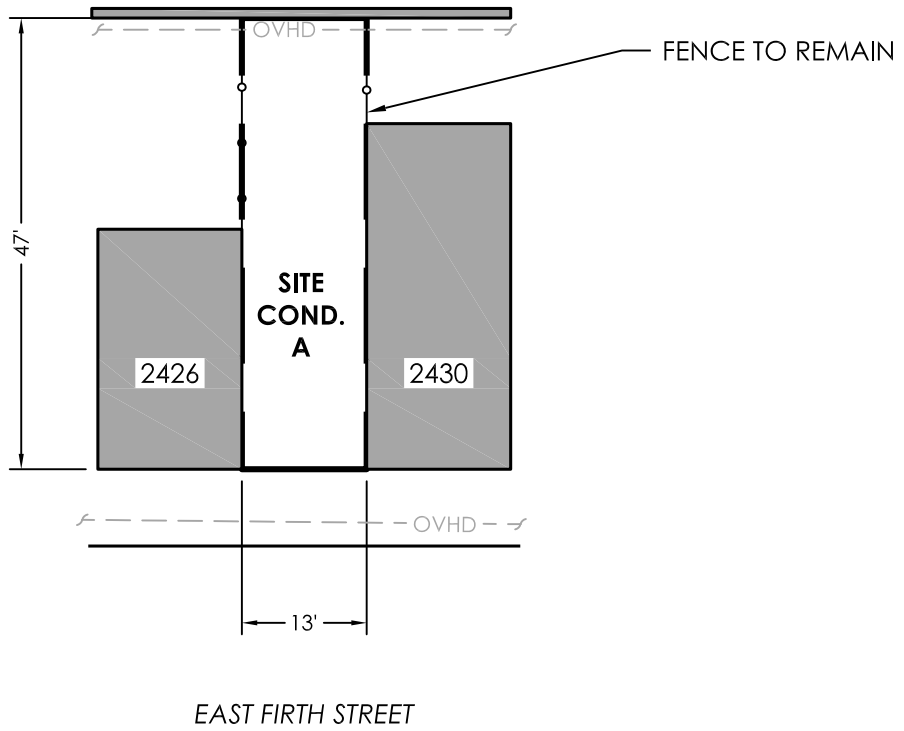
Initial Date 8/10/2023		<h2>FENCE &amp; TREE LAYOUT</h2> <p>2415-2419 NORTH NATRONA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10509NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



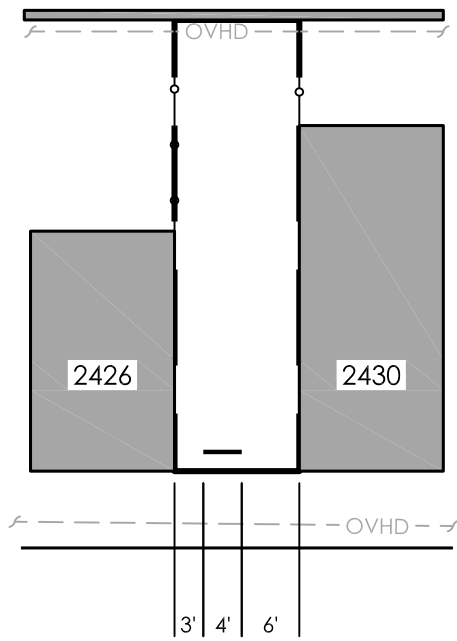
Initial Date 8/10/2023		<b>EXISTING CONDITIONS</b> 2421 NORTH NAPA STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10510NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date 8/10/2023		<h1>FENCE &amp; TREE LAYOUT</h1> <p>2421 NORTH NAPA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10510NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date 8/4/2023		<h1>EXISTING CONDITIONS</h1> <p>2428 EAST FIRTH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10511NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



EAST FIRTH STREET

Initial Date  
8/4/2023  
Scale  
1" = 20'  
Group A



# FENCE & TREE LAYOUT

2428 EAST FIRTH STREET

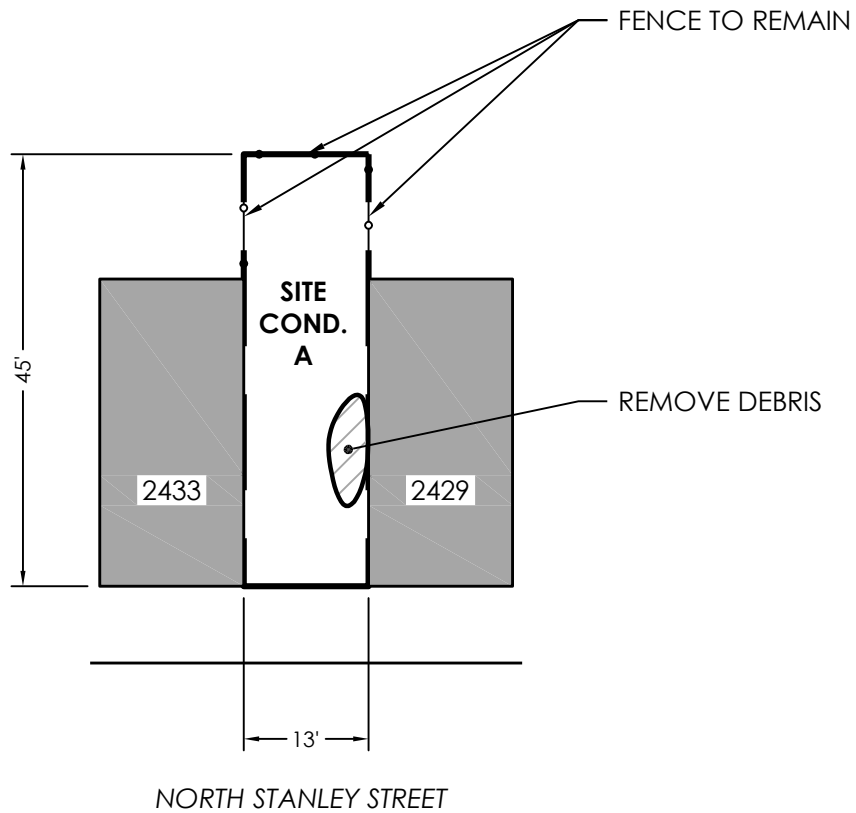
Project Of:



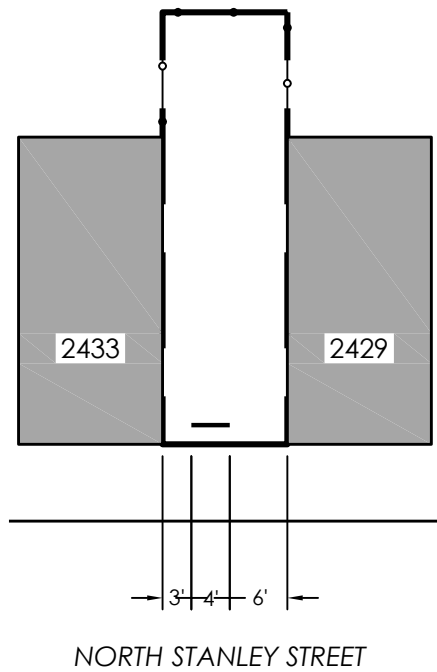
Project Manager:



VL10511NC\_CLP



Initial Date 8/10/2023		<h1>EXISTING CONDITIONS</h1> <p>2431 NORTH STANLEY STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10512NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date  
8/10/2023

Scale  
1" = 20'

Group A



VL10512NC\_CLP

# FENCE & TREE LAYOUT

2431 NORTH STANLEY STREET

Project Of:

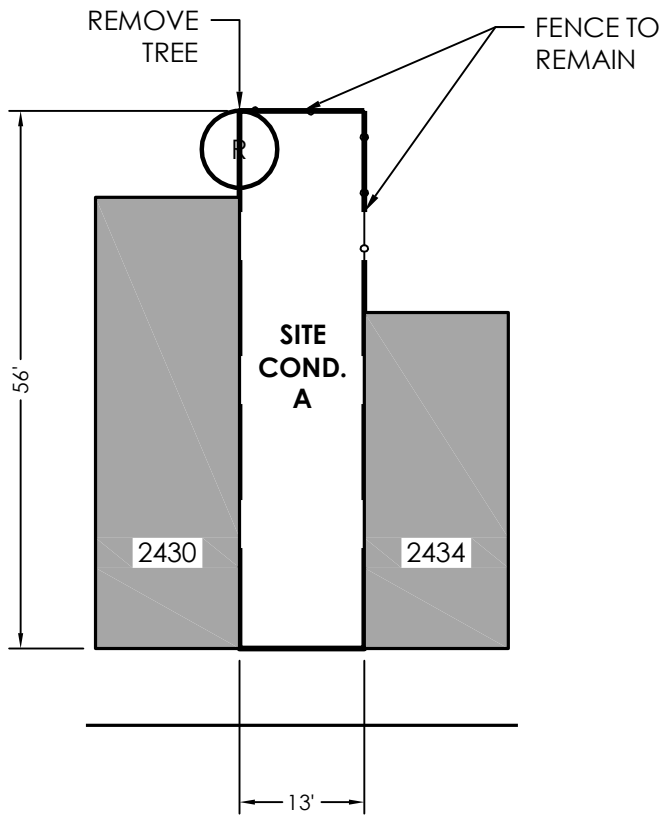


Project Manager:



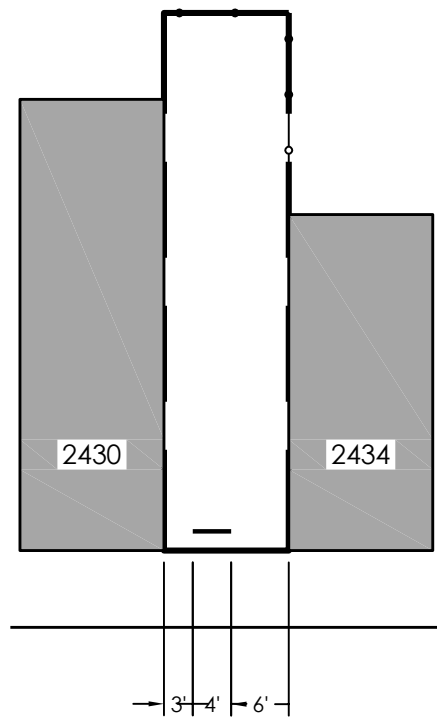
**PHS**





NORTH 26TH STREET

Initial Date 8/10/2023		<h1>EXISTING CONDITIONS</h1> <p>2432 NORTH 26TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10513NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH 26TH STREET

Initial Date  
8/10/2023

Scale  
1" = 20'

Group A

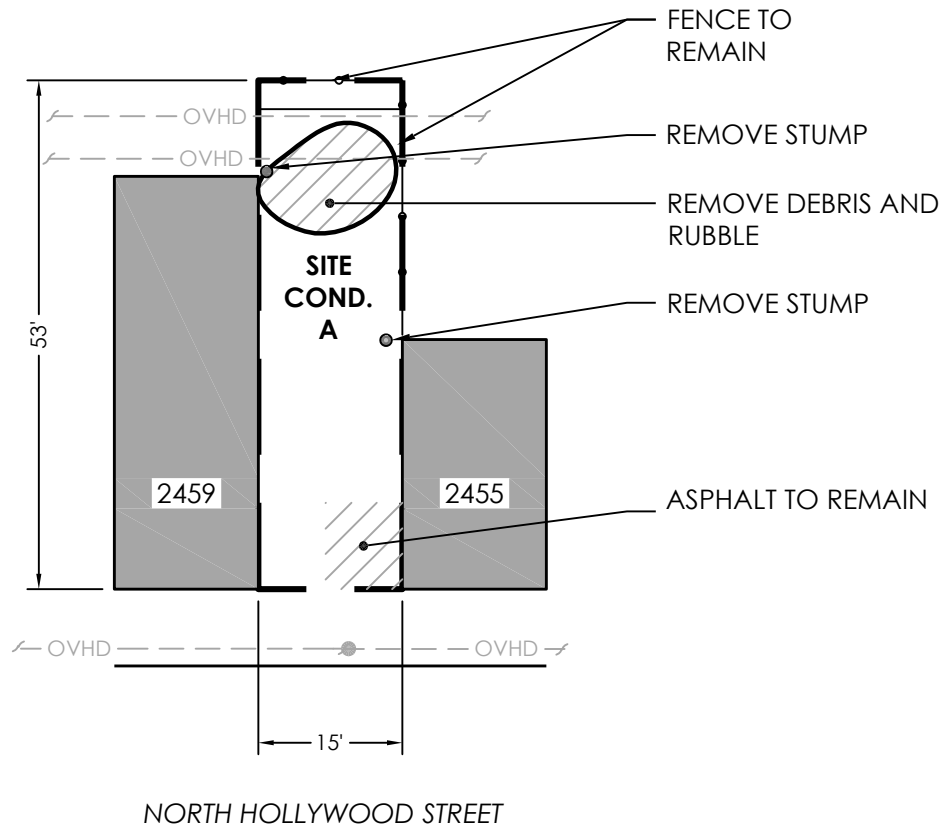
VL10513NC\_CLP



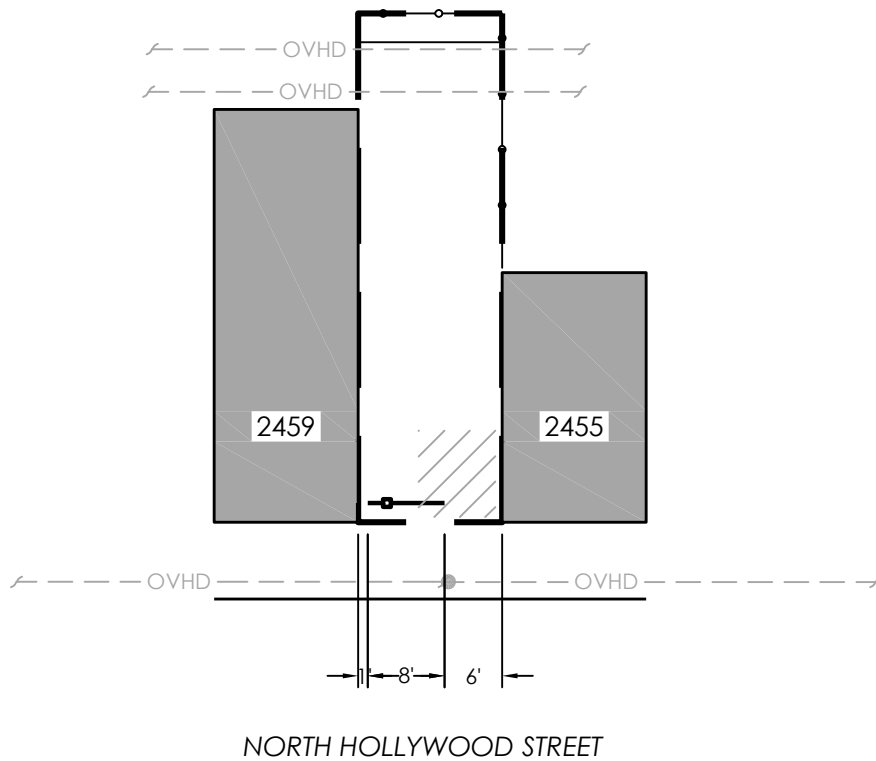
**FENCE & TREE LAYOUT**

2432 NORTH 26TH STREET



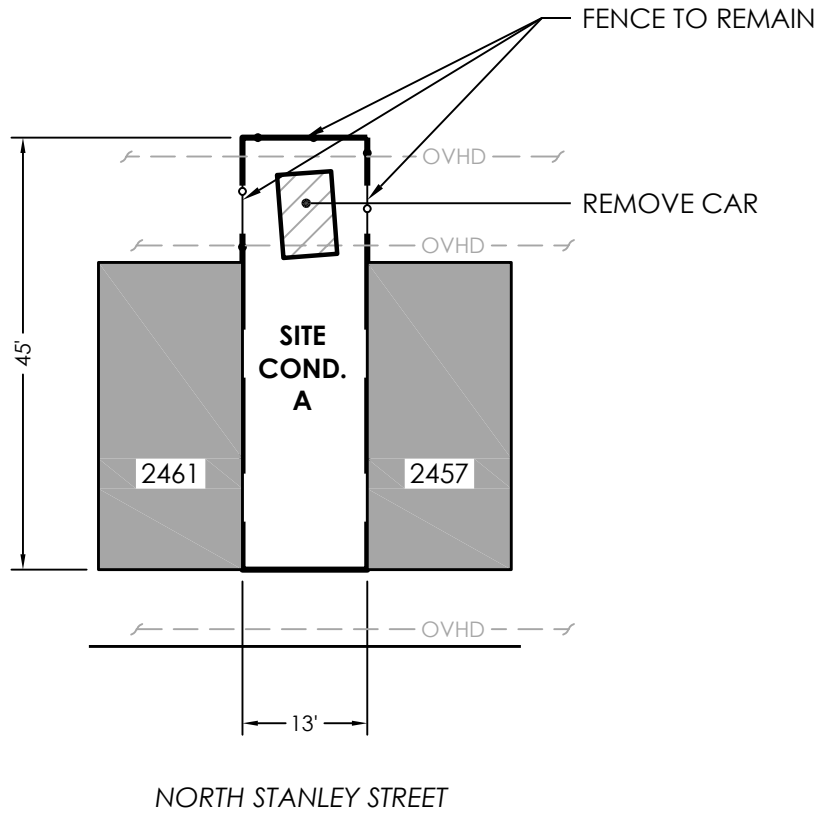


Initial Date 8/10/2023		<h1>EXISTING CONDITIONS</h1> <p>2457 NORTH HOLLYWOOD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10514NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

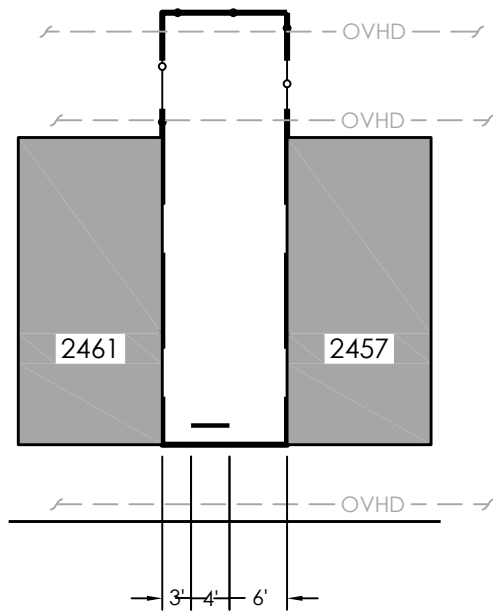


NORTH HOLLYWOOD STREET

Initial Date 8/10/2023		<h1>FENCE &amp; TREE LAYOUT</h1> <p>2457 NORTH HOLLYWOOD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10514NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date 8/10/2023		<h1>EXISTING CONDITIONS</h1> <p>2459 NORTH STANLEY STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10515NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



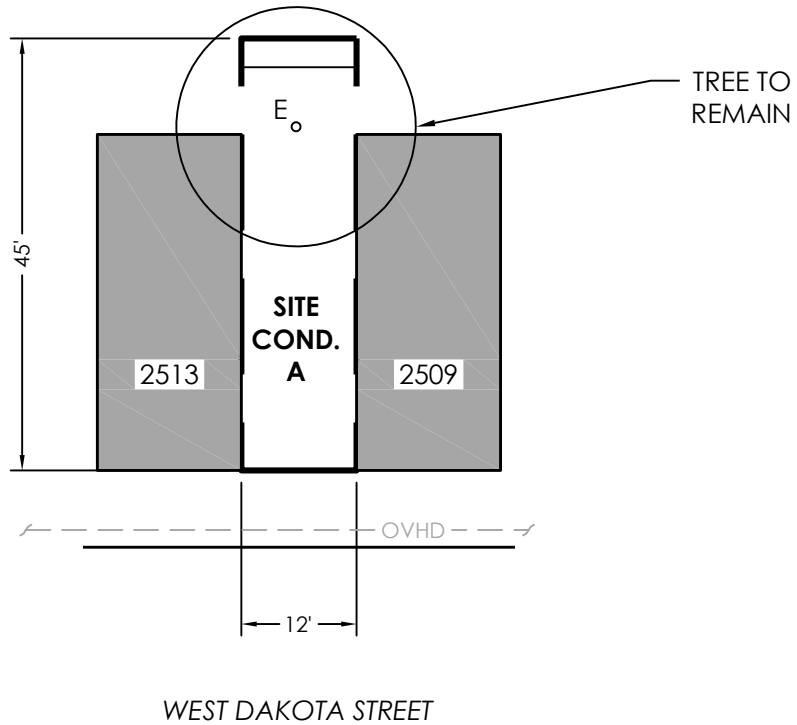
NORTH STANLEY STREET

Initial Date	8/10/2023
Scale	1" = 20'
Group A	
VL10515NC_CLP	

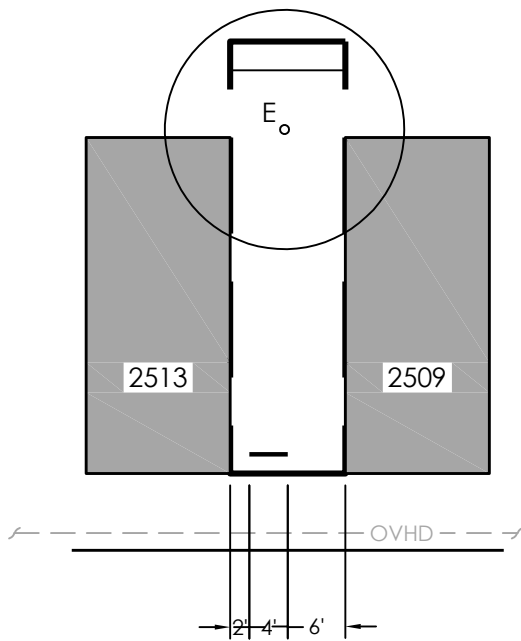


**FENCE & TREE LAYOUT**  
 2459 NORTH STANLEY STREET





Initial Date 9/8/8/2023		<h1>EXISTING CONDITIONS</h1> <p>2511 WEST DAKOTA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10517NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST DAKOTA STREET

Initial Date	9/8/8/2023
Scale	1" = 20'
Group A	
VL10517NC_CLP	

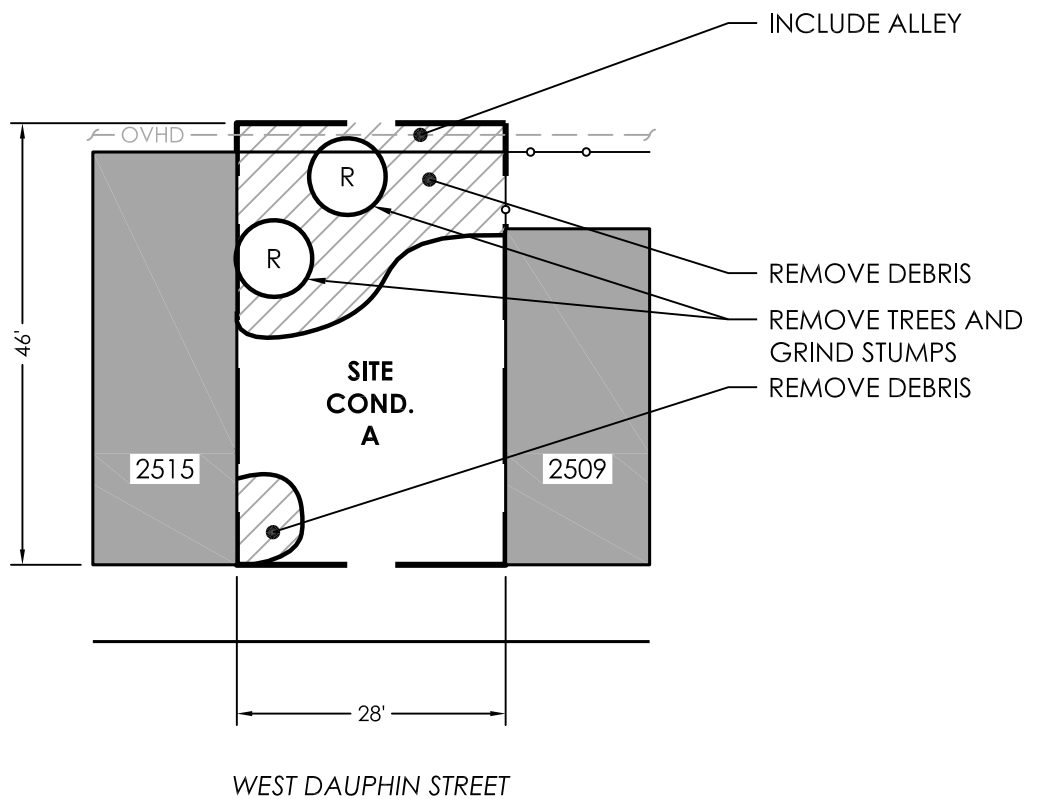


# FENCE & TREE LAYOUT

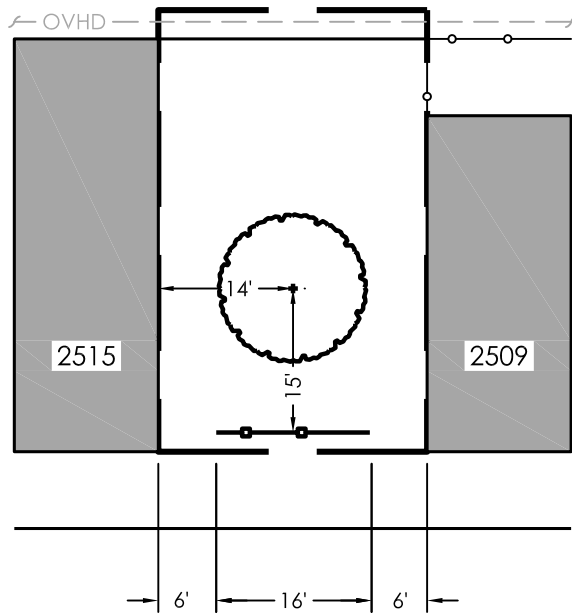
2511 WEST DAKOTA STREET







Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2511-2513 WEST DAUPHIN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10518NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



WEST DAUPHIN STREET

Initial Date  
8/15/2023

Scale  
1" = 20'

Group A

VL10518NC\_CLP



# FENCE & TREE LAYOUT

2511-2513 WEST DAUPHIN STREET

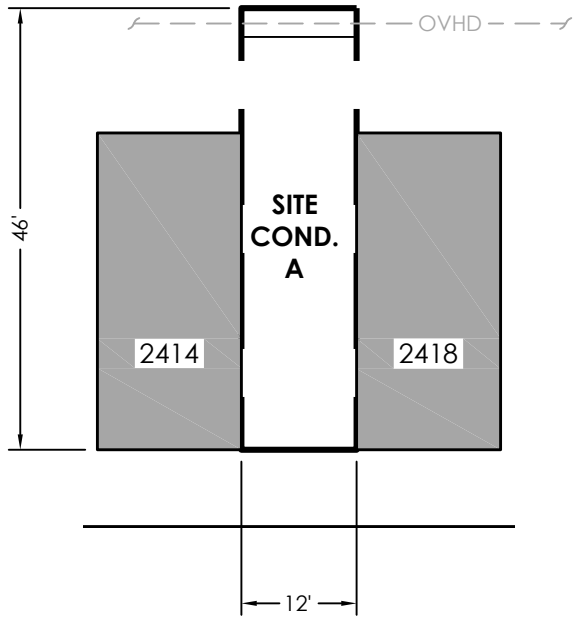
Project Of:



Project Manager:

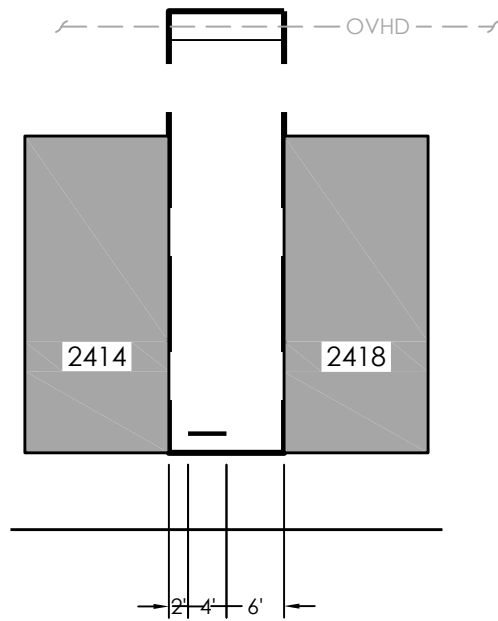


**PHS**



EAST DAKOTA STREET

Initial Date 8/8/2023		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">2416 EAST DAKOTA STREET</p>	Project Of: 	Project Manager: 
Scale 1" = 20'			Group A	VL10519NC_CLP
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



EAST DAKOTA STREET

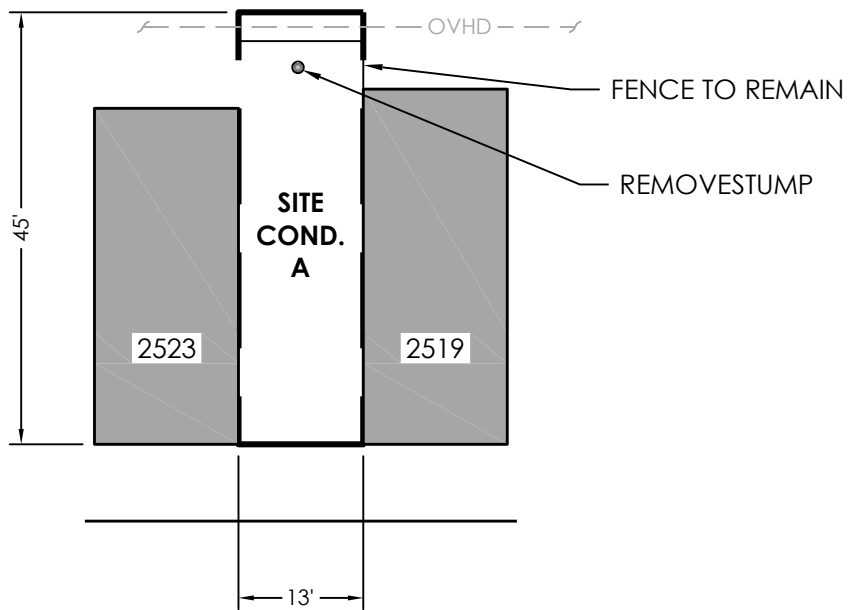
Initial Date	8/8/2023
Scale	1" = 20'
Group A	
VL10519NC_CLP	



# FENCE & TREE LAYOUT

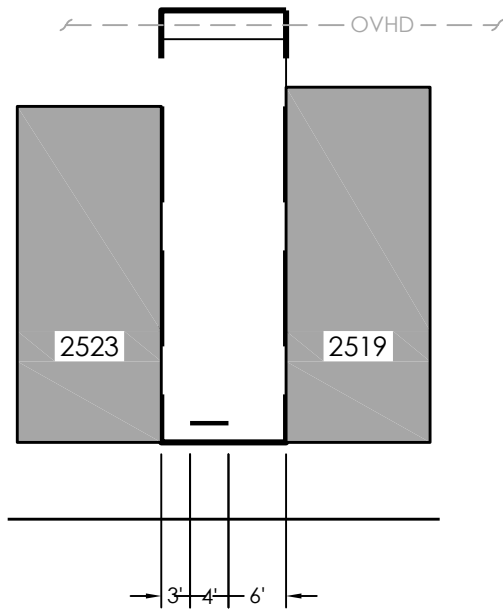
2416 EAST DAKOTA STREET





EAST DAUPHIN STREET

Initial Date 8/9/2023		<h1>EXISTING CONDITIONS</h1> <p>2521 EAST DAUPHIN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10520NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



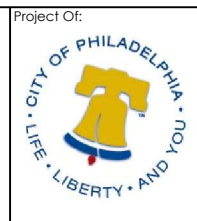
EAST DAUPHIN STREET

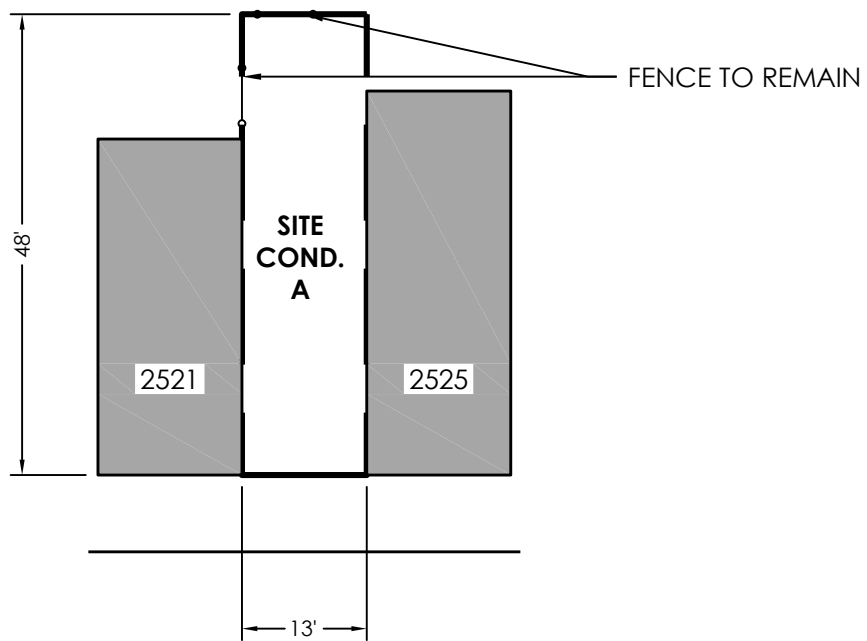
Initial Date	8/9/2023
Scale	1" = 20'
Group A	
VL10520NC_CLP	



# FENCE & TREE LAYOUT

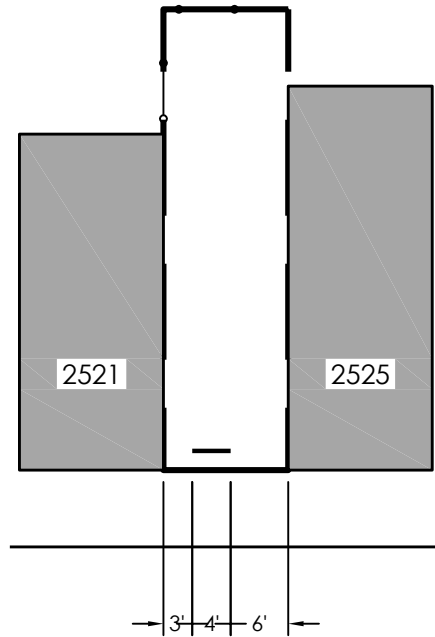
2521 EAST DAUPHIN STREET





EAST GORDON STREET

Initial Date 8/9/2023		<h2>EXISTING CONDITIONS</h2> <p>2523 EAST GORDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL40521NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



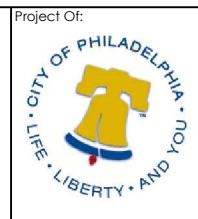
EAST GORDON STREET

Initial Date	8/9/2023
Scale	1" = 20'
Group A	
VL40521NC_CLP	

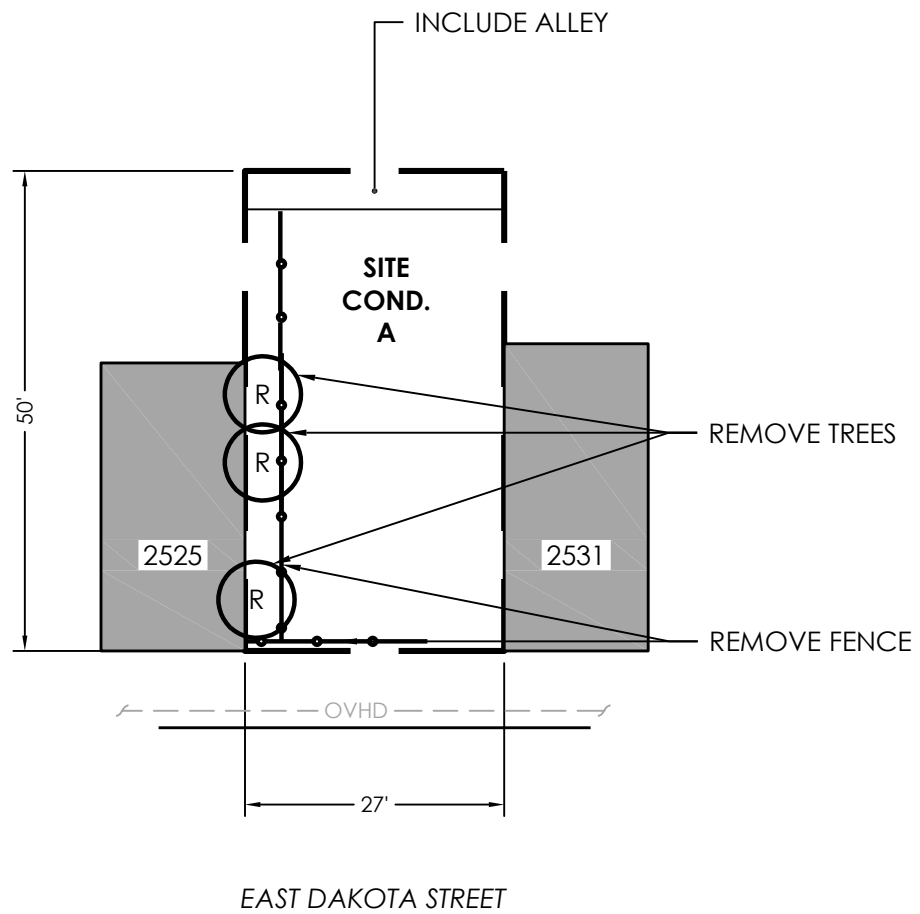


# FENCE & TREE LAYOUT

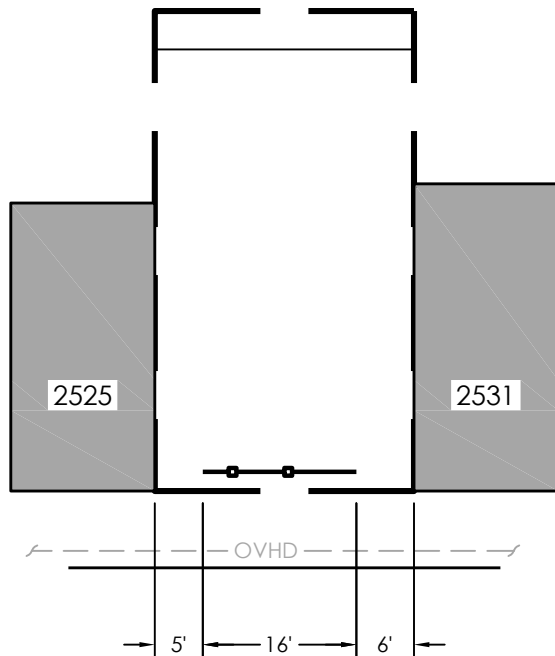
2523 EAST GORDON STREET





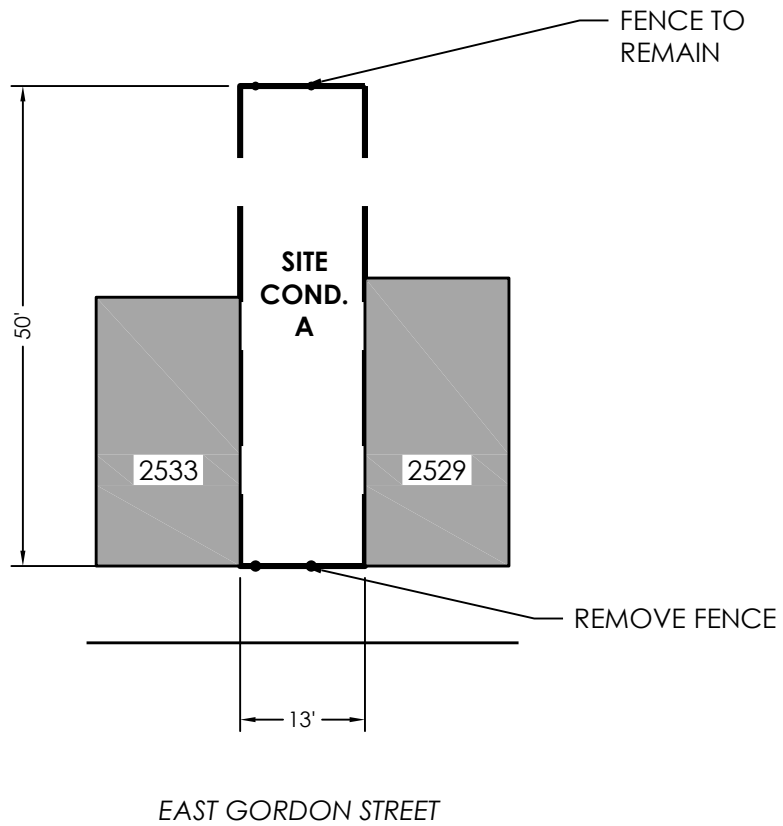


Initial Date 8/8/2023		<b>EXISTING CONDITIONS</b> 2527-2529 EAST DAKOTA STREET	Project Of: 	Project Manager: 
Scale 1" = 20'				
Group A				
VL10522NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

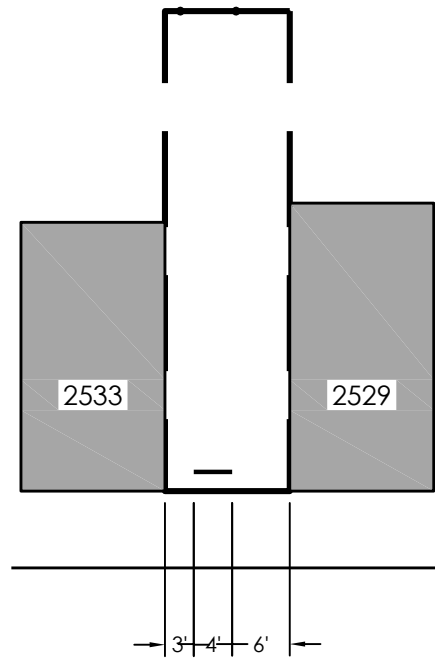


EAST DAKOTA STREET

Initial Date 8/8/2023		<h1>FENCE &amp; TREE LAYOUT</h1> <p>2527-2529 EAST DAKOTA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10522NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		

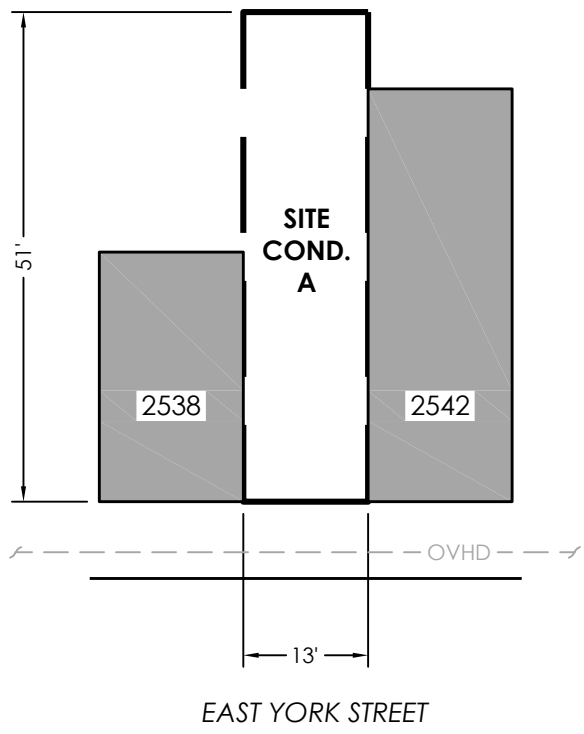


Initial Date 8/9/2023		<h1>EXISTING CONDITIONS</h1> <p>2531 EAST GORDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL40523NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

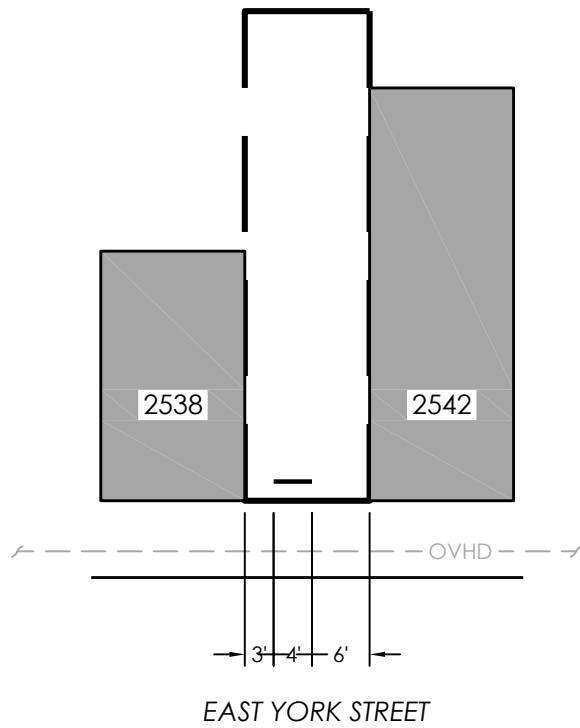


EAST GORDON STREET

Initial Date 8/9/2023		<h1>FENCE &amp; TREE LAYOUT</h1> <p>2531 EAST GORDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL40523NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date 8/4/23		<h1>EXISTING CONDITIONS</h1> <p>2540 EAST YORK STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10525NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

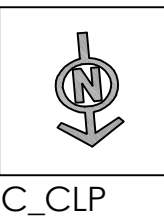


Initial Date  
8/4/23

Scale  
1" = 20'

Group A

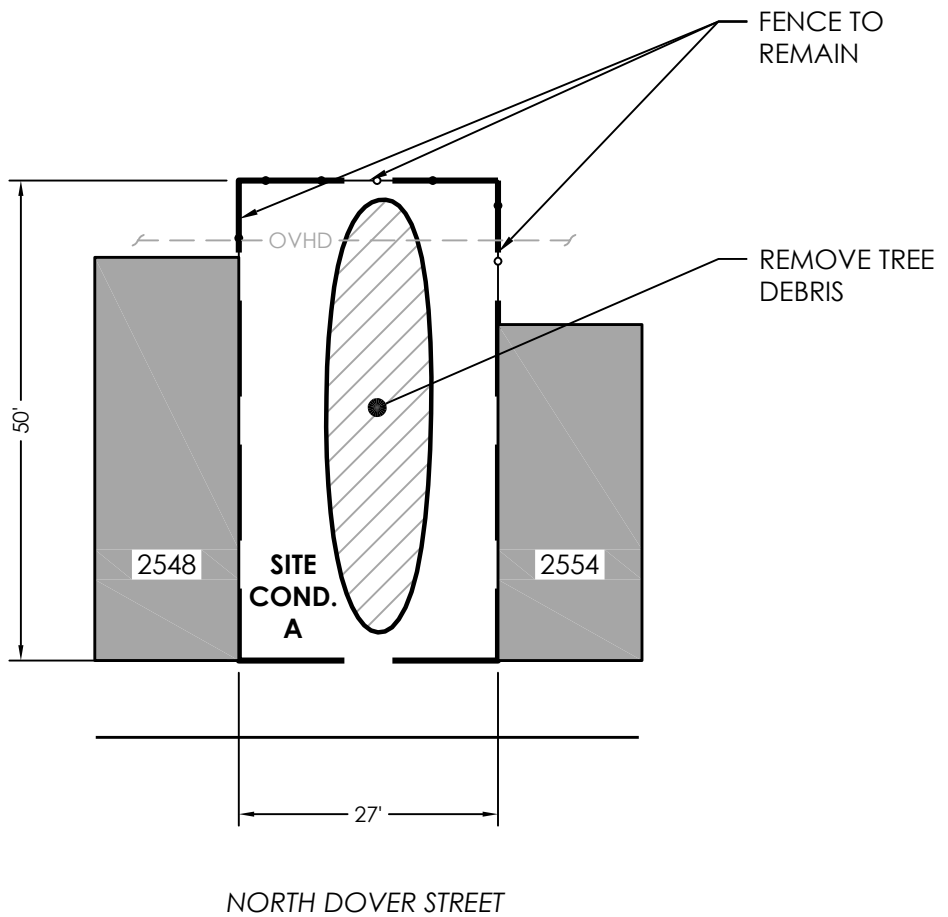
VL10525NC\_CLP



**FENCE & TREE LAYOUT**

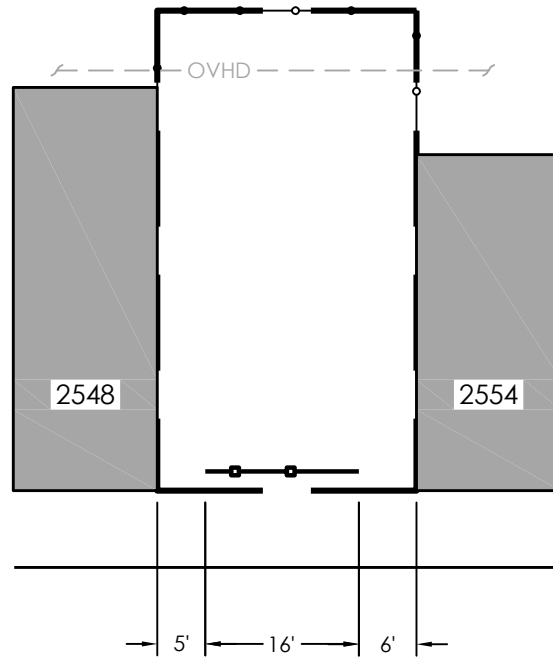
2540 EAST YORK STREET





NORTH DOVER STREET

Initial Date 8/10/2023		<h2>EXISTING CONDITIONS</h2> <p>2550-2552 NORTH DOVER STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10526NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



NORTH DOVER STREET

Initial Date  
8/10/2023  
Scale  
1" = 20'  
Group A

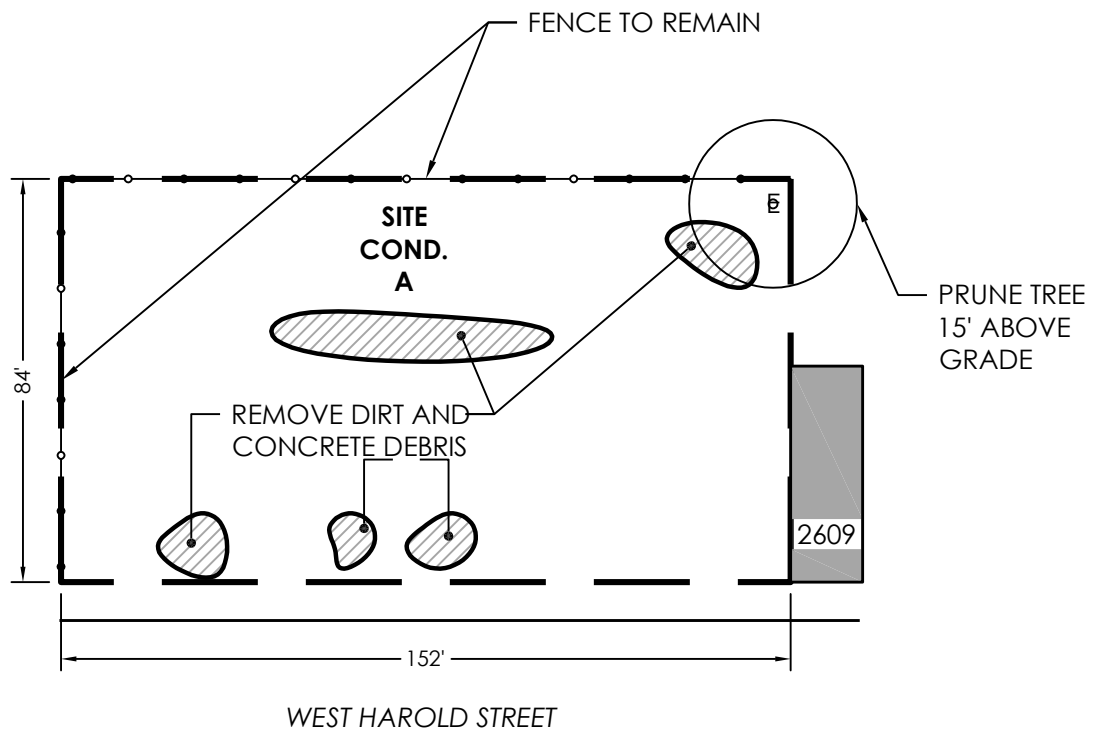


# FENCE & TREE LAYOUT

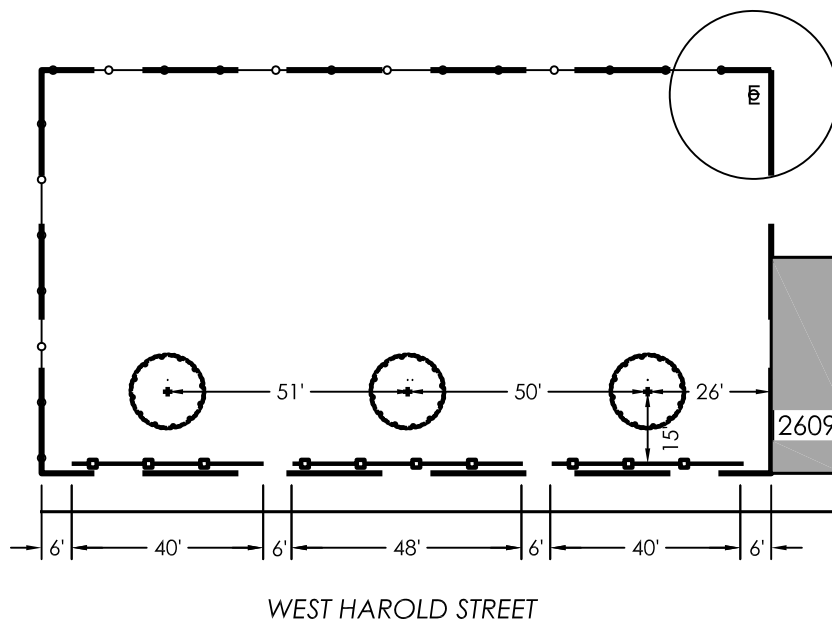
2550-2552 NORTH DOVER STREET







Initial Date 8/10/2023		<h2>EXISTING CONDITIONS</h2> <p>2611-2629 WEST HAROLD STREET</p>	Project Of:	Project Manager:
Scale 1" = 40'				
Group A				
VL10528NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/10/2023

Scale  
1" = 40'

Group A

VL10528NC\_CLP



# FENCE & TREE LAYOUT

2611-2629 WEST HAROLD STREET

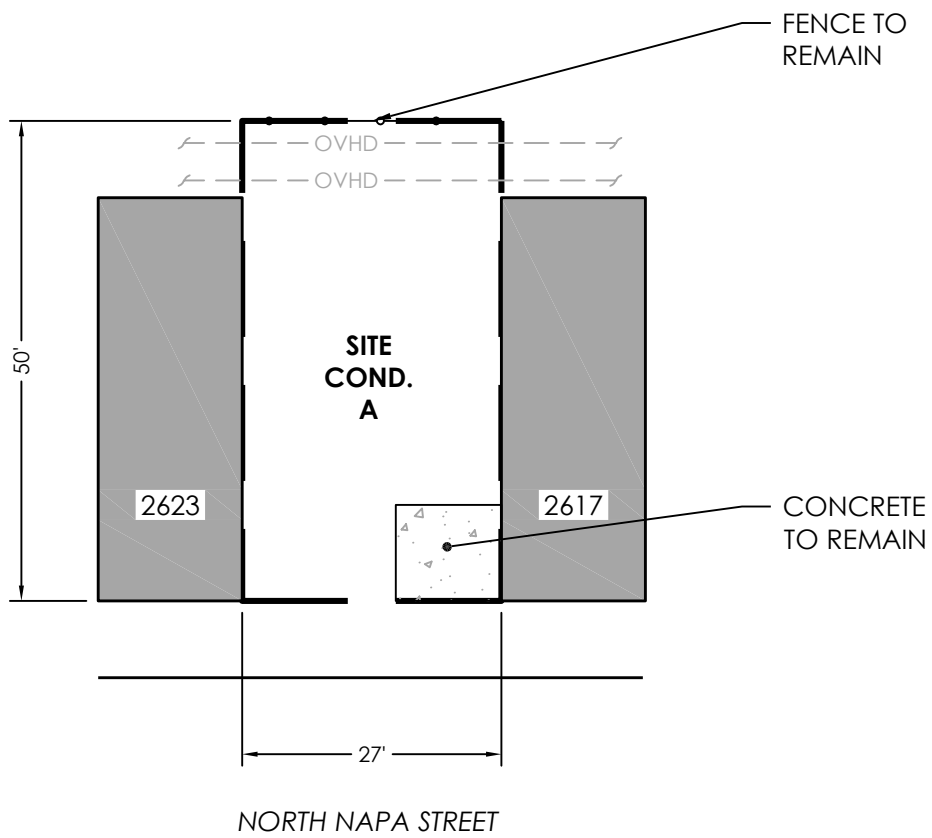
Project Of:



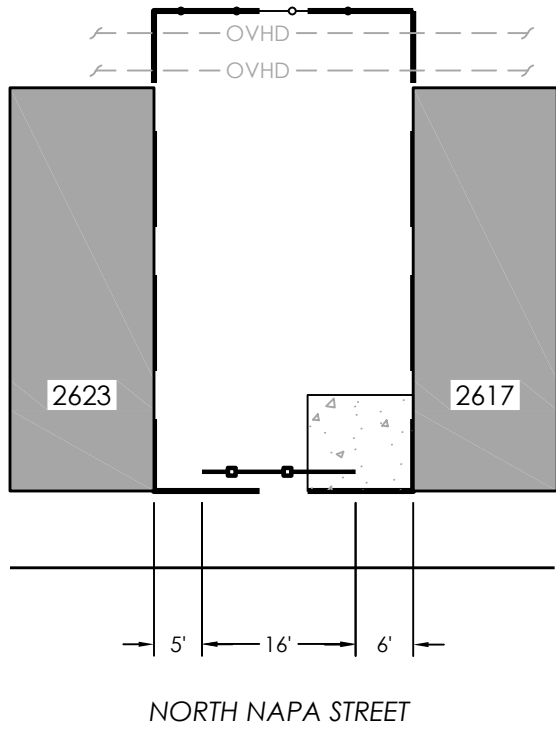
Project Manager:



**PHS**



Initial Date 8/10/2023		<h2>EXISTING CONDITIONS</h2> <p>2619-2621 NORTH NAPA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10529NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

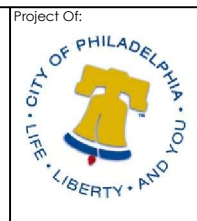


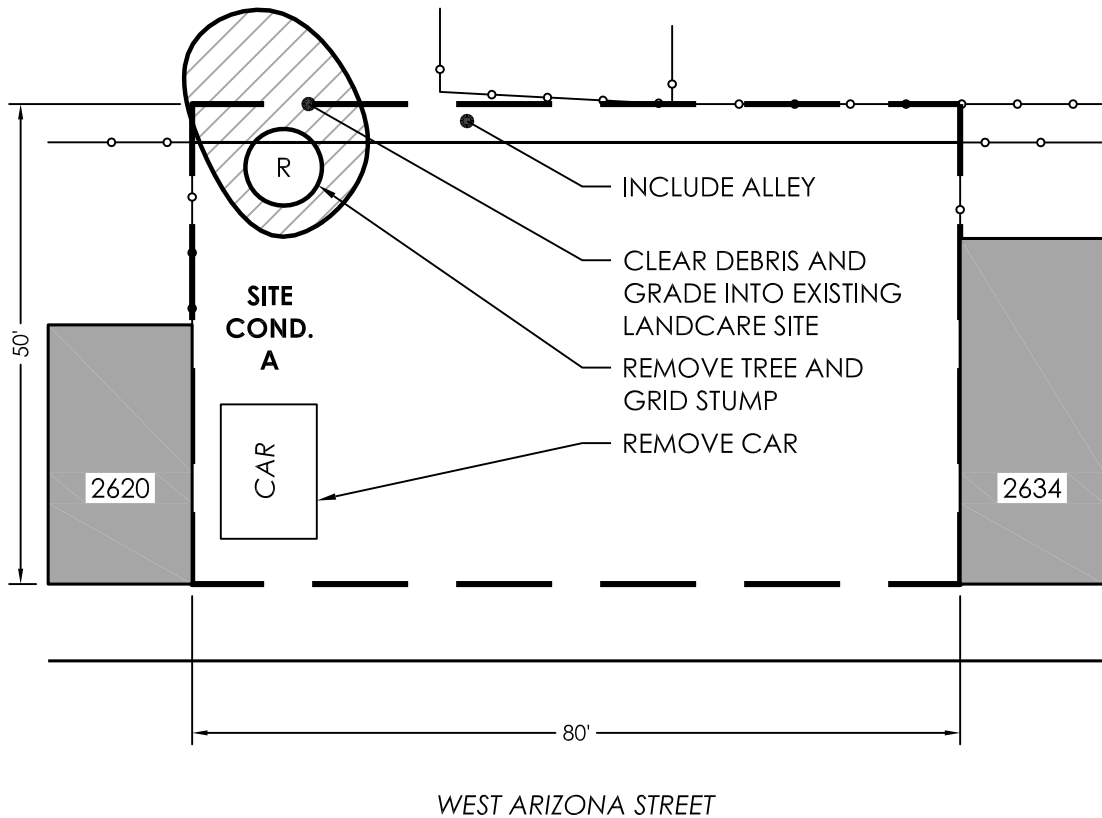
Initial Date	8/10/2023
Scale	1" = 20'
Group A	
VL10529NC_CLP	



# FENCE & TREE LAYOUT

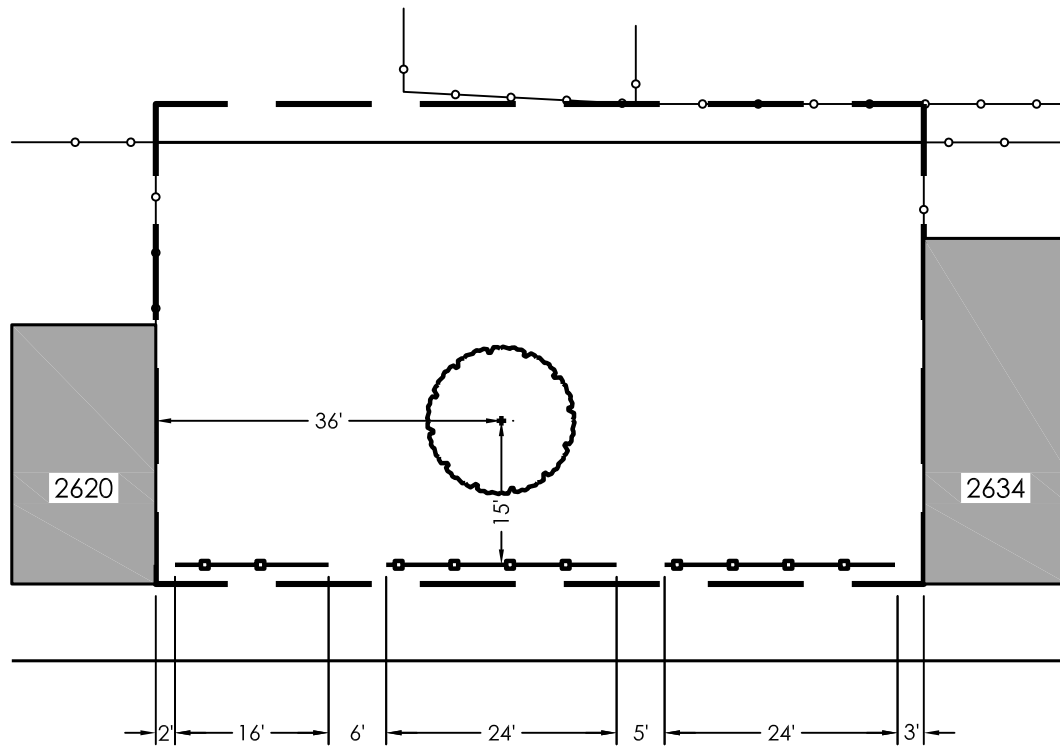
2619-2621 NORTH NAPA STREET





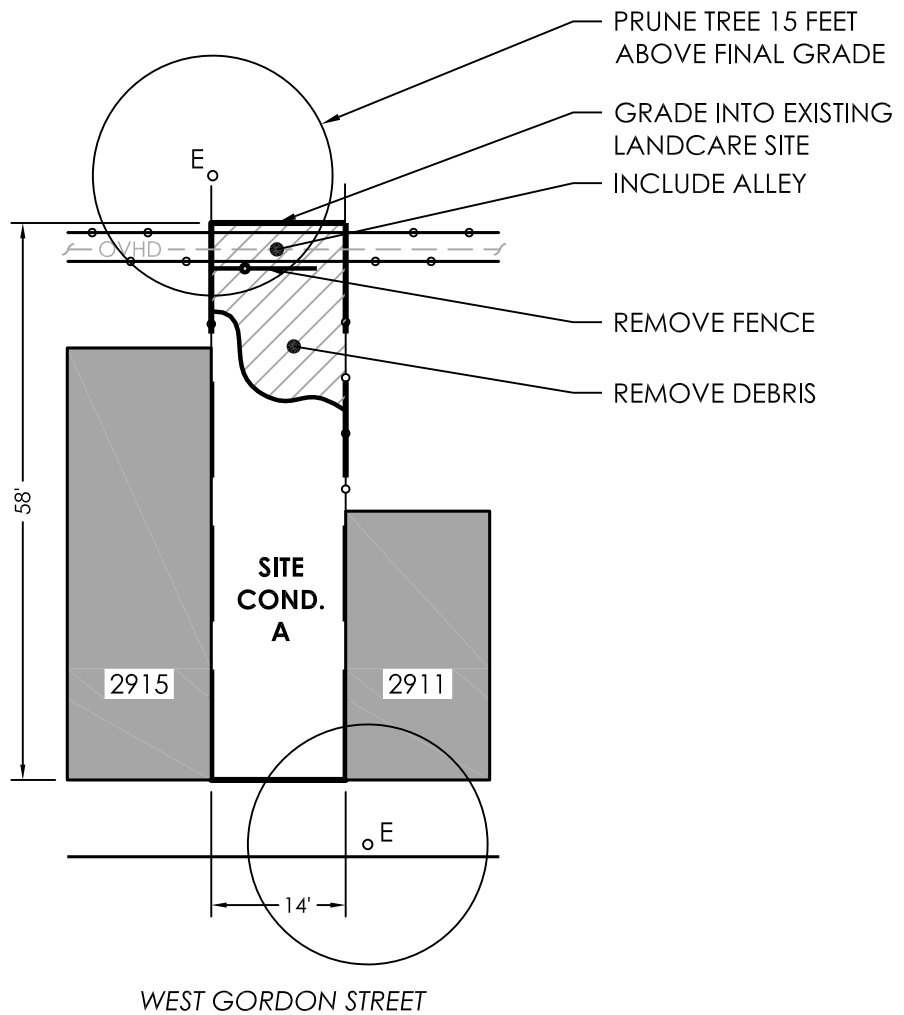
WEST ARIZONA STREET

Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2622-2632 WEST ARIZONA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10530NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

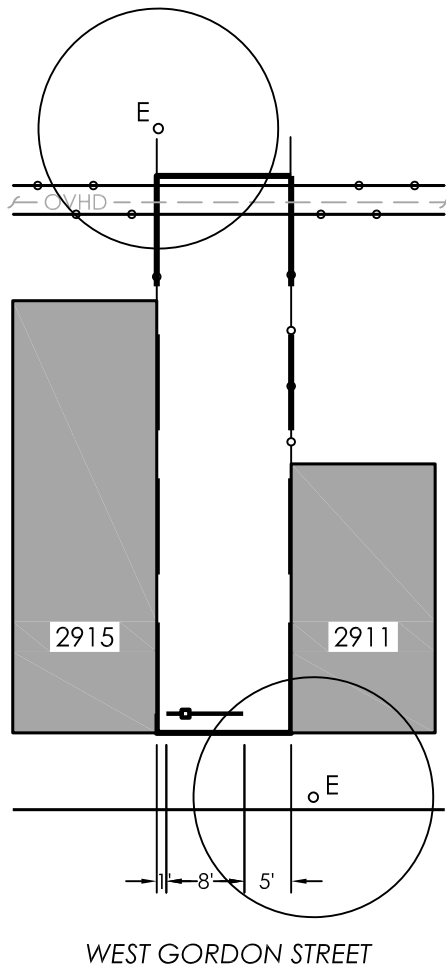


WEST ARIZONA STREET

Initial Date 8/15/2023		<h2>FENCE &amp; TREE LAYOUT</h2> <p>2622-2632 WEST ARIZONA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10530NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2913 WEST GORDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10532NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST GORDON STREET

Initial Date  
8/15/2023

Scale  
1" = 20'

Group A

VL10532NC\_CLP



# FENCE & TREE LAYOUT

2913 WEST GORDON STREET

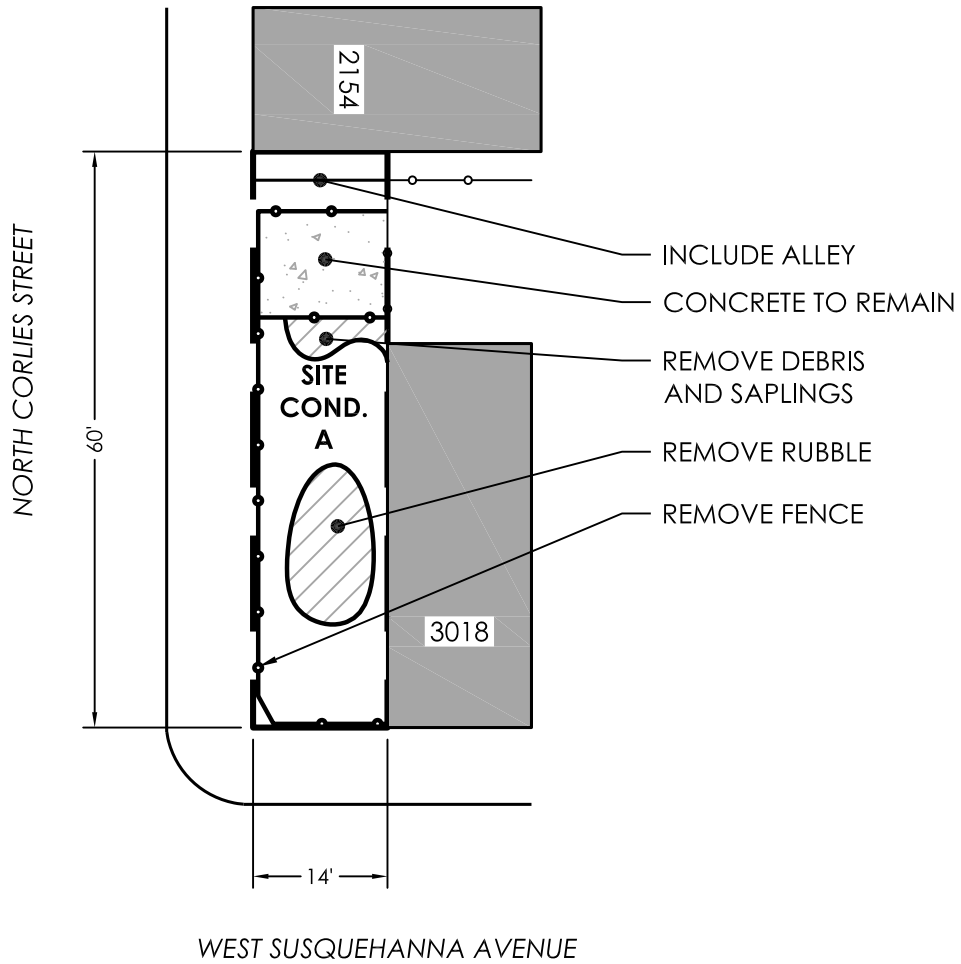
Project Of:



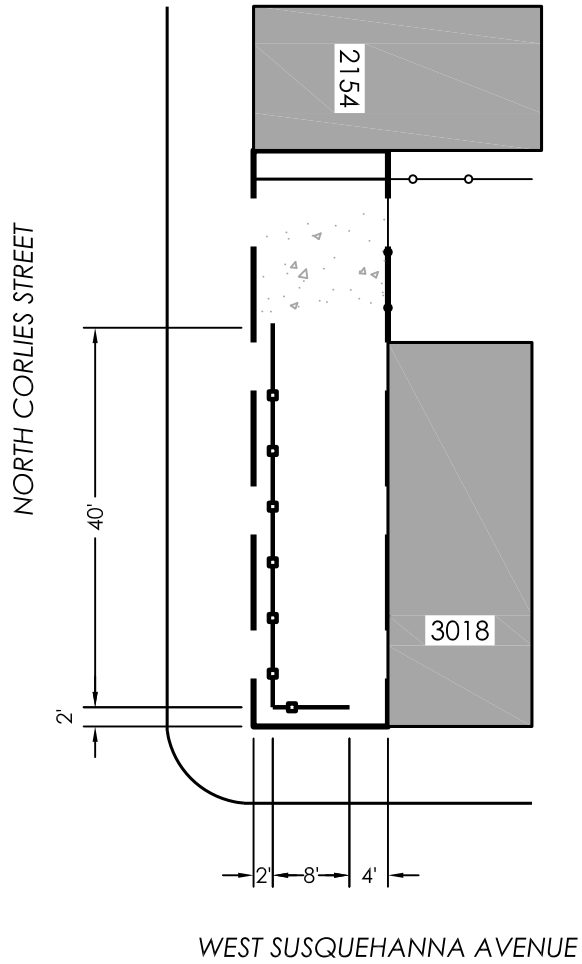
Project Manager:







Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>3016 WEST SUSQUEHANNA AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10535NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023  
Scale  
1" = 20'  
Group A



# FENCE & TREE LAYOUT

3016 WEST SUSQUEHANNA AVENUE

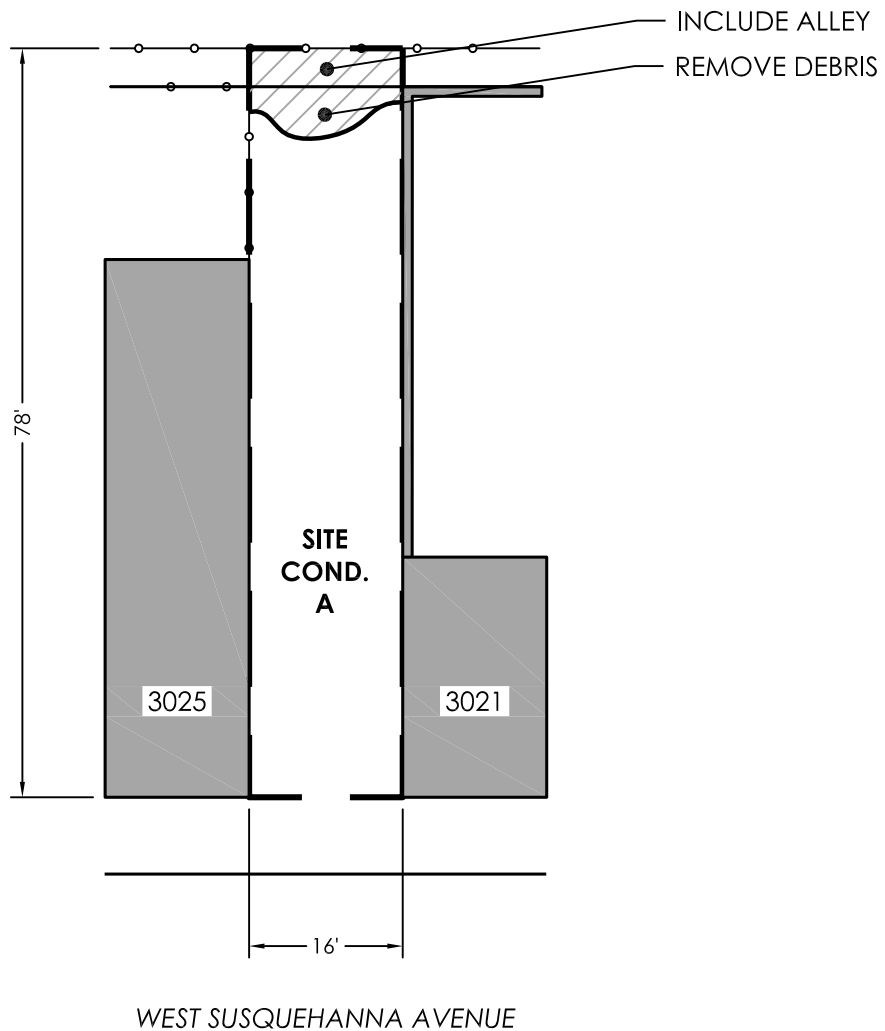
Project Of:



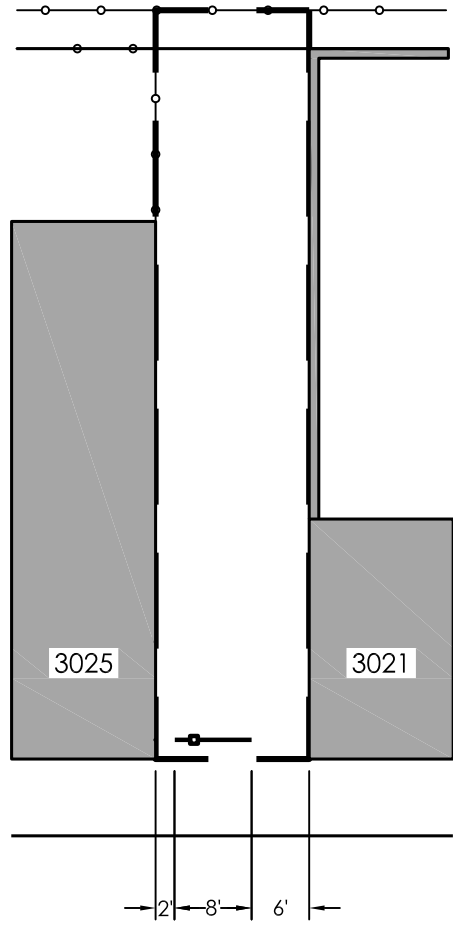
Project Manager:



VL10535NC\_CLP



Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>3023 WEST SUSQUEHANNA AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10537NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST SUSQUEHANNA AVENUE

Initial Date  
8/15/2023

Scale  
1" = 20'

Group A

VL10537NC\_CLP



# FENCE & TREE LAYOUT

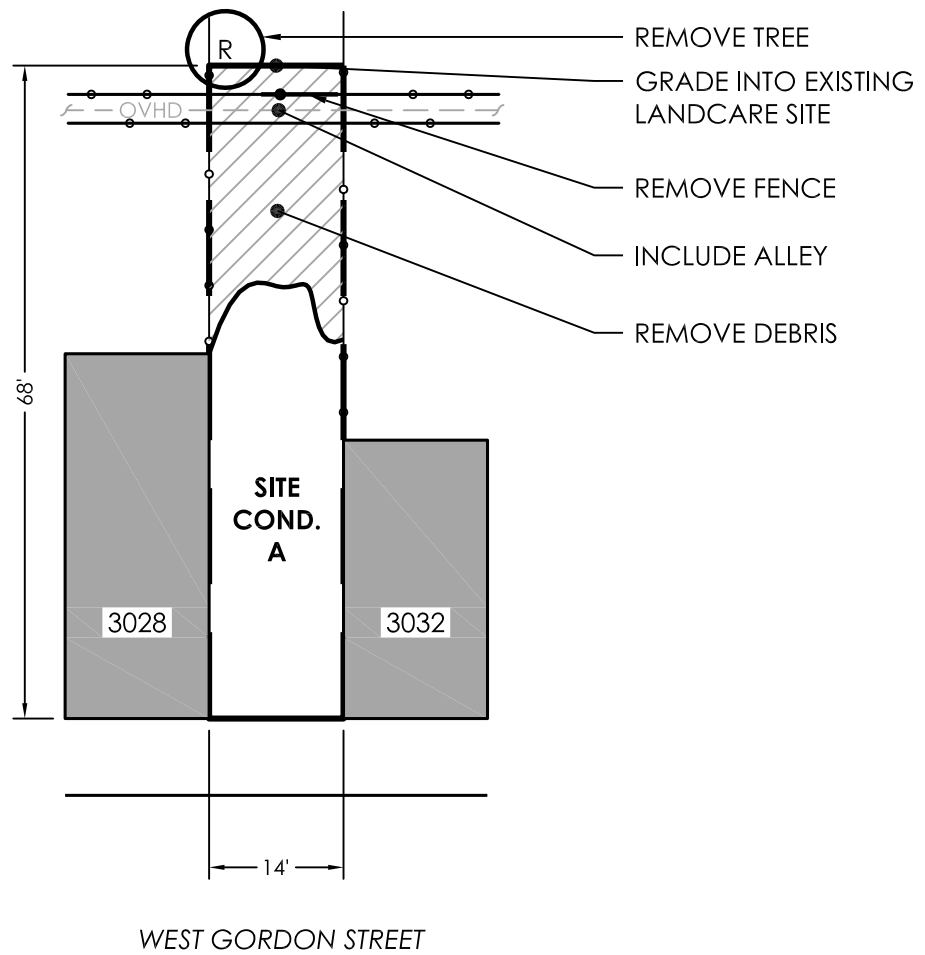
3023 WEST SUSQUEHANNA AVENUE

Project Of:

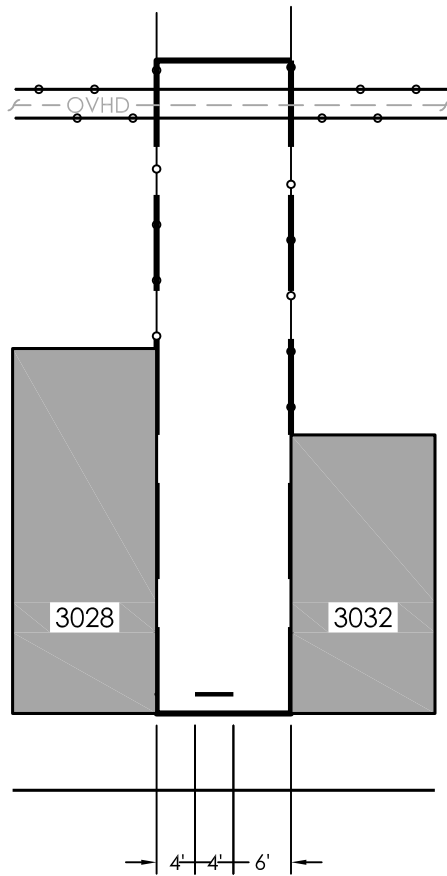


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>3030 WEST GORDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group A				
VL10540NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST GORDON STREET

Initial Date  
8/15/2023

Scale  
1" = 20'

Group A

VL10540NC\_CLP



# FENCE & TREE LAYOUT

3030 WEST GORDON STREET

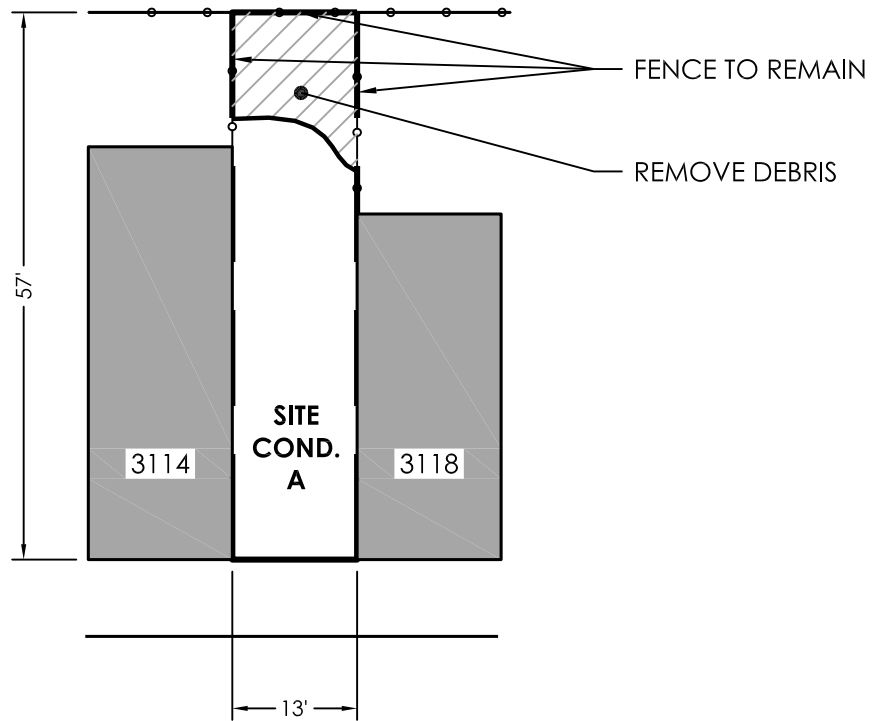
Project Of:



Project Manager:



**PHS**



WEST GORDON STREET

Initial Date 8/15/2023		<p><b>EXISTING CONDITIONS</b></p> <p>3116 WEST GORDON STREET</p>	Project Of: 	Project Manager: 
Scale 1" = 20'				
Group A				
VL10542NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST GORDON STREET

Initial Date  
8/15/2023

Scale  
1" = 20'

Group A

VL10542NC\_CLP



## FENCE & TREE LAYOUT

3116 WEST GORDON STREET

Project Of:



Project Manager:





**THE PENNSYLVANIA HORTICULTURAL SOCIETY**

**PHILADELPHIA LANDCARE STABILIZATION**

**Fall 2023**

**Group B  
Hartranft**



*Project funded by the City of Philadelphia  
Division of Housing and Community Development*

<u>VL#</u>	<u>Address Range</u>
VL10550EN_CLP	1000-1006 W HUNTINGDON ST
VL105530EN_CLP	1010 W HUNTINGDON ST
VL105540EN_CLP	1010-12 W COLONA ST; 2216 N 10TH ST
VL105550EN_CLP	1011-1015 W HUNTINGDON ST
VL105560EN_CLP	1038 W DAUPHIN ST
VL105570EN_CLP	1111-1113 W NEVADA ST
VL105580EN_CLP	1113 W DAUPHIN ST
VL105590EN_CLP	1214-1220 W DAUPHIN ST; 2253-2257 N CAMAC ST
VL105600EN_CLP	1228 W HAROLD ST
VL105610EN_CLP	1243-1245 W HAROLD ST
VL105620EN_CLP	1246-1248 W HAZZARD ST; 1245-1247 W SERGEANT ST
VL105630EN_CLP	2030 N 8TH ST
VL105670EN_CLP	2235 N 11TH ST
VL105680EN_CLP	2241 N 12TH ST
VL105710EN_CLP	2258-2260 N 10TH ST
VL105720EN_CLP	2301 N FAWN ST
VL105730EN_CLP	2308-2310 N FAWN ST
VL105740EN_CLP	2314-2322 N FAWN ST
VL105750EN_CLP	2328-2332 N FAWN ST
VL105760EN_CLP	2336-2344 N FAWN ST
VL105770EN_CLP	2341-2343 N FAWN ST
VL105800EN_CLP	2426-2428 N 13TH ST
VL105810EN_CLP	2441-2443 N DELHI ST
VL105820EN_CLP	2452-2458 GERMANTOWN AVE
VL105860EN_CLP	2620-22 GERMANTOWN AVE
VL105870EN_CLP	2638-2640 N SARTAIN ST
VL105880EN_CLP	518-520 W SUSQUEHANNA AVE
VL105890EN_CLP	715-717 W CUMBERLAND ST
VL105900EN_CLP	719-727 W CUMBERLAND ST





**PHS**



City of  
**Philadelphia**

Philadelphia LandCare Sites  
Proposed for Group B:  
Hartranft - Fall 2023



Fall 2023 Parcels



Building



Map B1

1 inch = 100 feet







**PHS**



City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group B:  
Hartranft - Fall 2023

 Fall 2023 Parcels  
 Building



Map B2

1 inch = 150 feet





**PHS**



City of  
**Philadelphia**

Philadelphia LandCare Sites  
Proposed for Group B:  
Hartranft - Fall 2023

- Fall 2023 Parcels
- Building







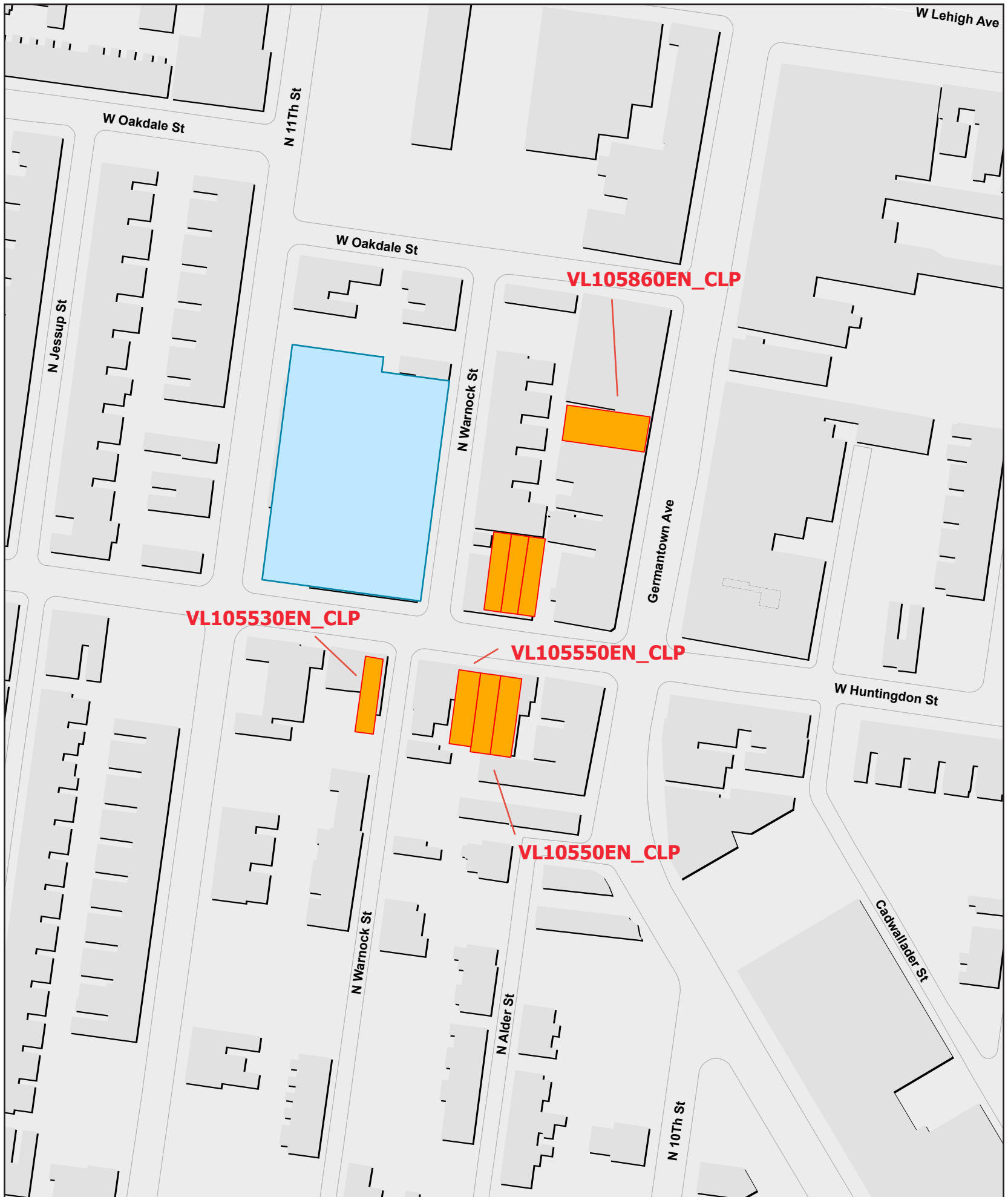
PHS



City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group B:  
Hartranft - Fall 2023

-  Fall 2023 Parcels
-  Building



Map B4

1 inch = 100 feet





**PHS**



City of  
**Philadelphia**

Philadelphia LandCare Sites  
Proposed for Group B:  
Hartranft - Fall 2023



Fall 2023 Parcels



Building





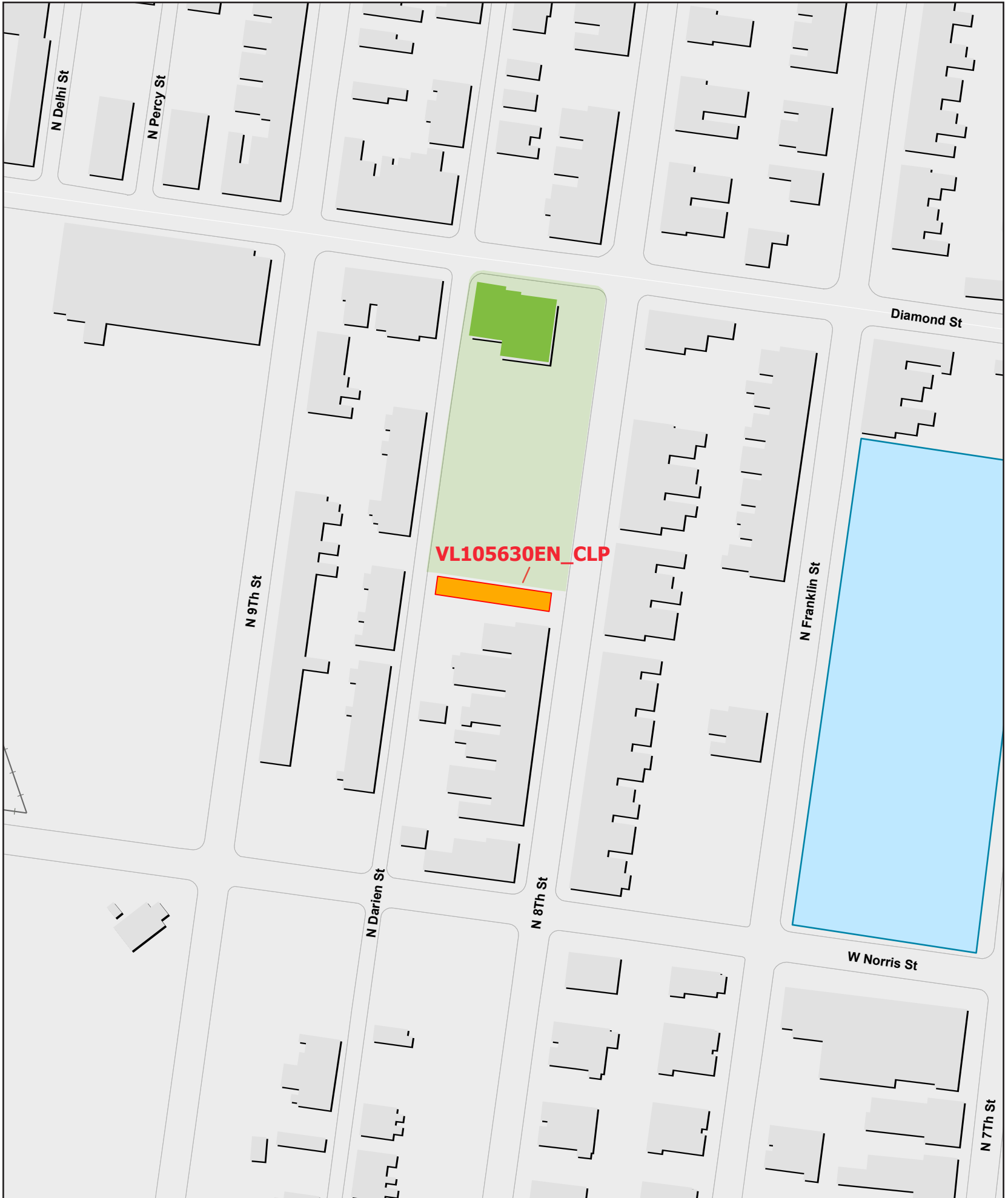
**PHS**



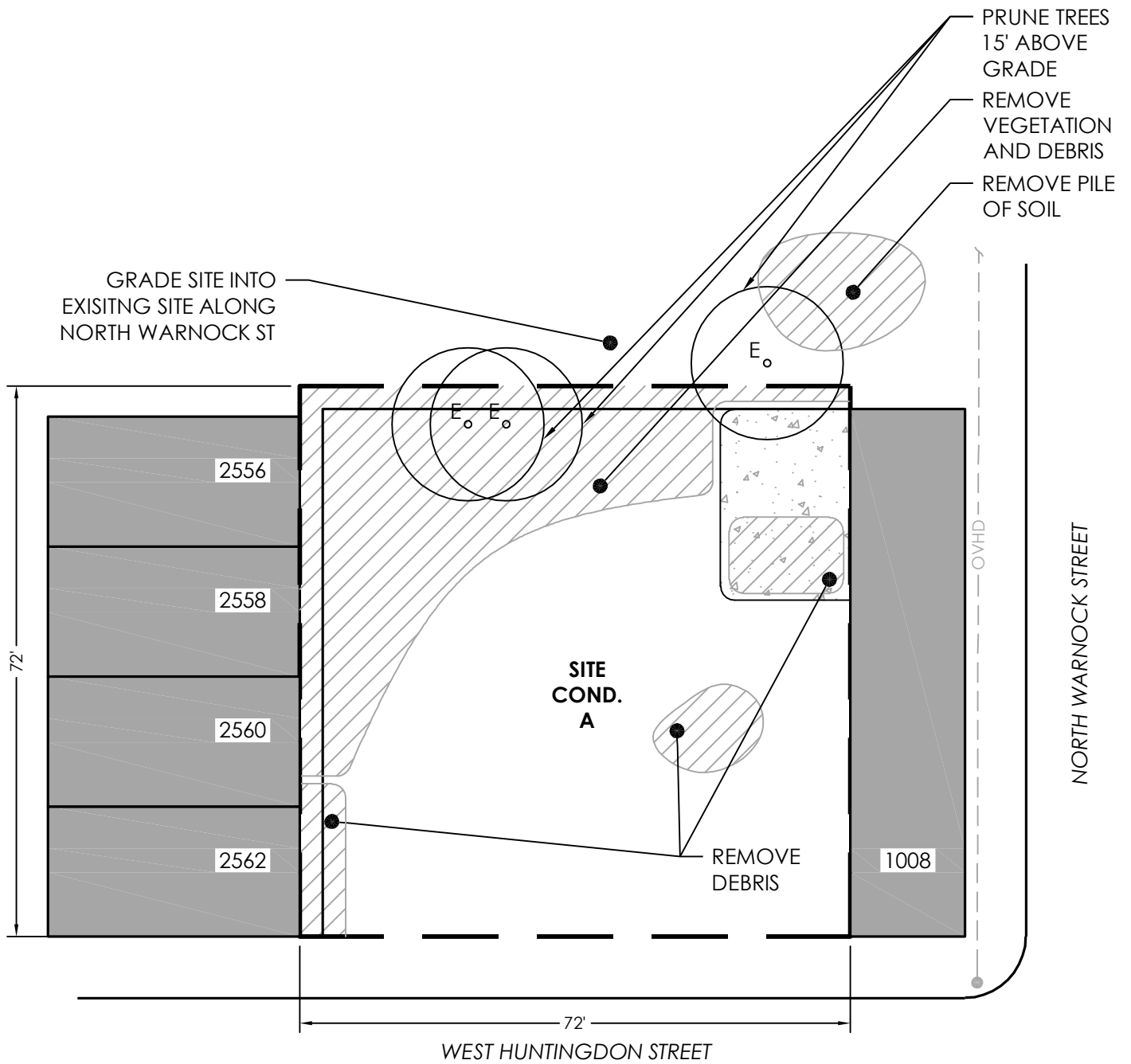
City of  
**Philadelphia**

Philadelphia LandCare Sites  
Proposed for Group B:  
Hartranft - Fall 2023

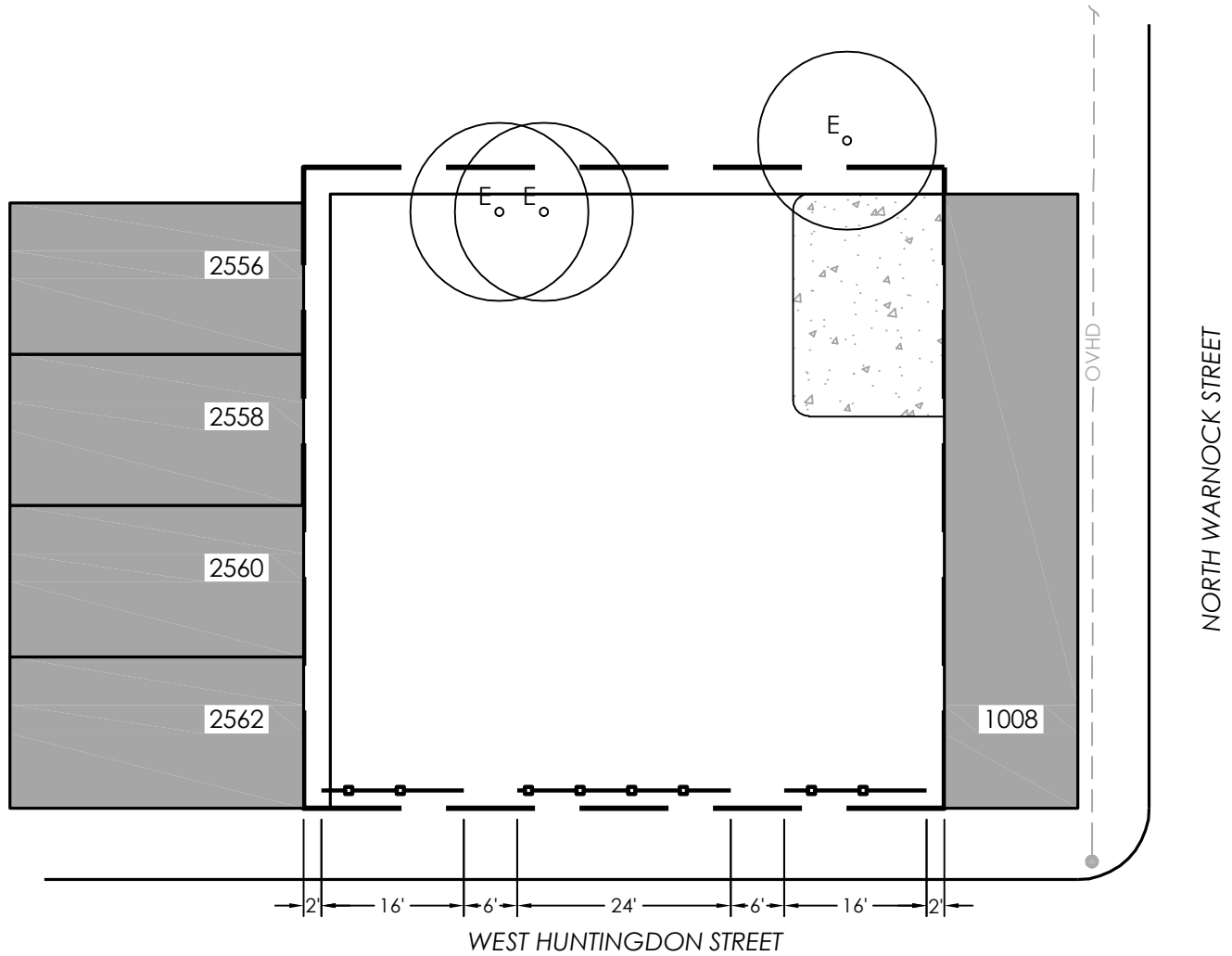
- Fall 2023 Parcels
- Building







Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>1000-1006 WEST HUNTINGDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VLT0550EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023  
Scale  
1" = 20'  
Group B  
VL10550EN CLP



# FENCE & TREE LAYOUT

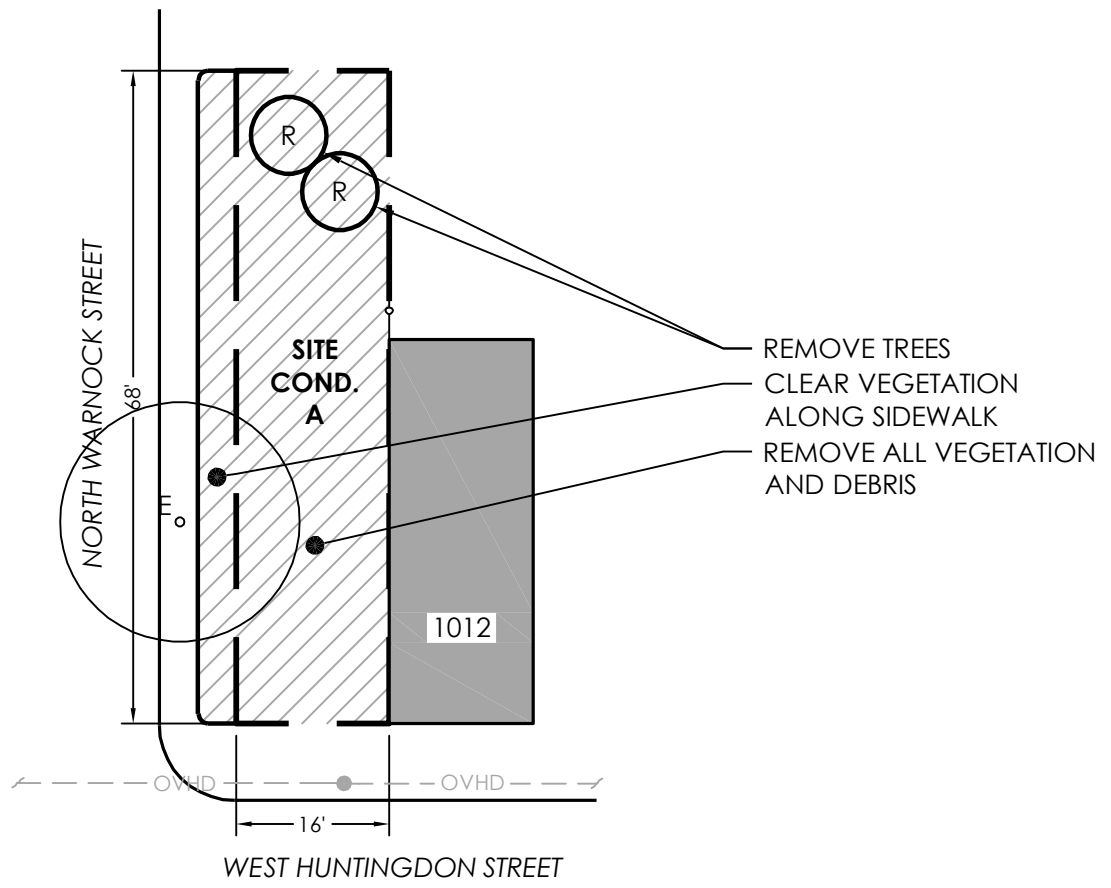
1000-1006 WEST HUNTINGDON STREET

Project Of:

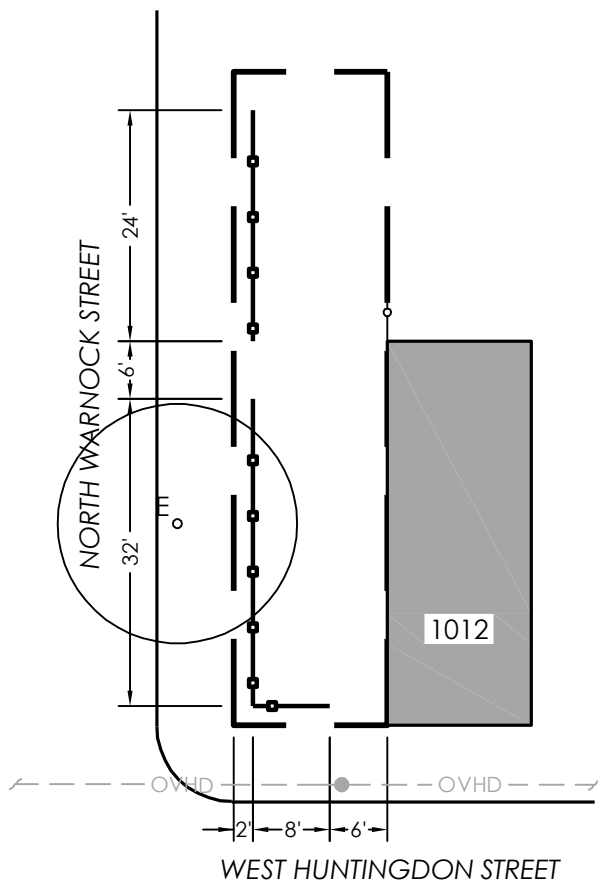


Project Manager:





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>1010 WEST HUNTINGDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B VLT05530EN_CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VL105530EN CLP



# FENCE & TREE LAYOUT

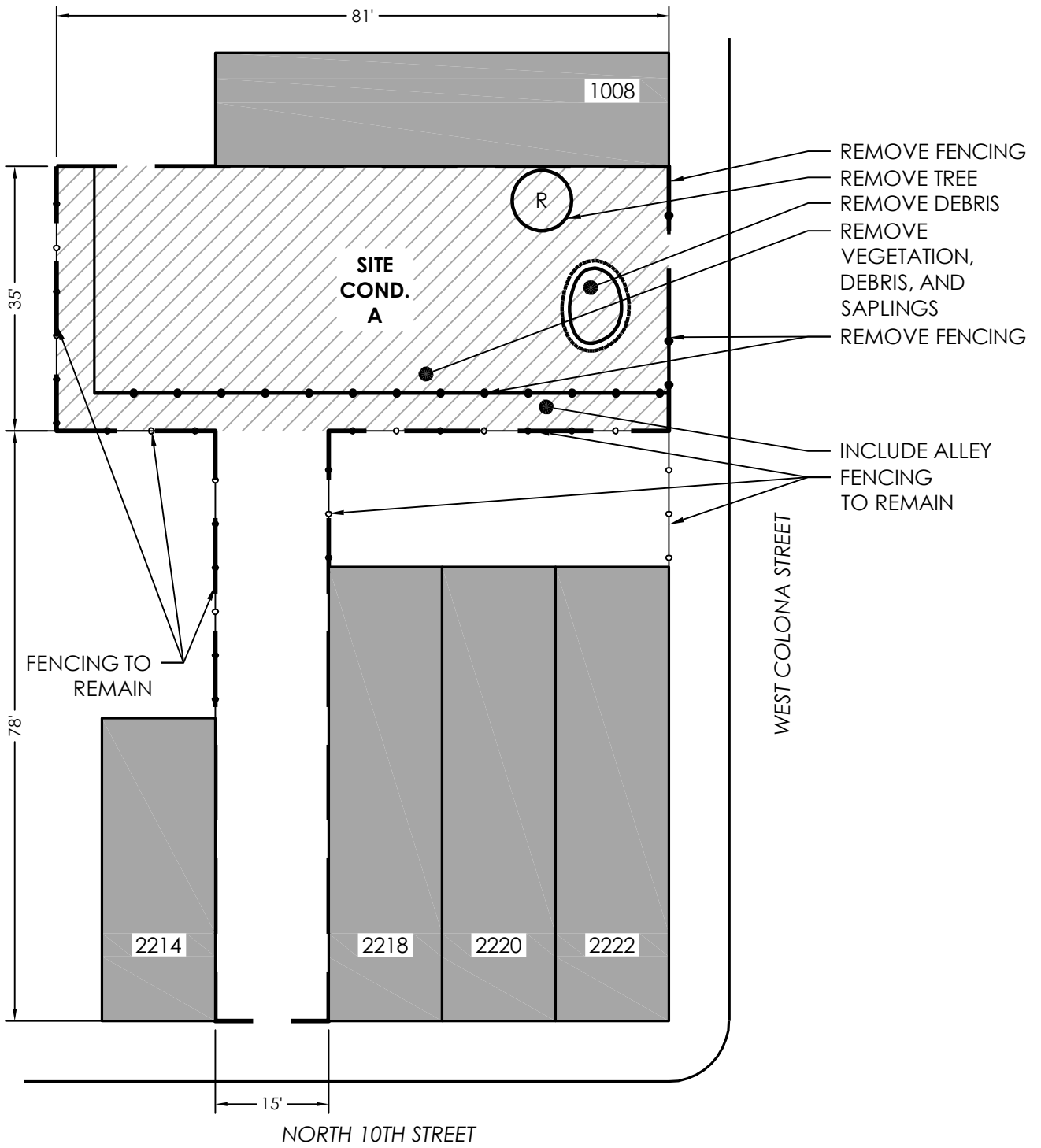
1010 WEST HUNTINGDON STREET

Project Of:



Project Manager:





Initial Date	8/15/2023
Scale	1" = 20'
Group B	
VLT05540EN CLP	

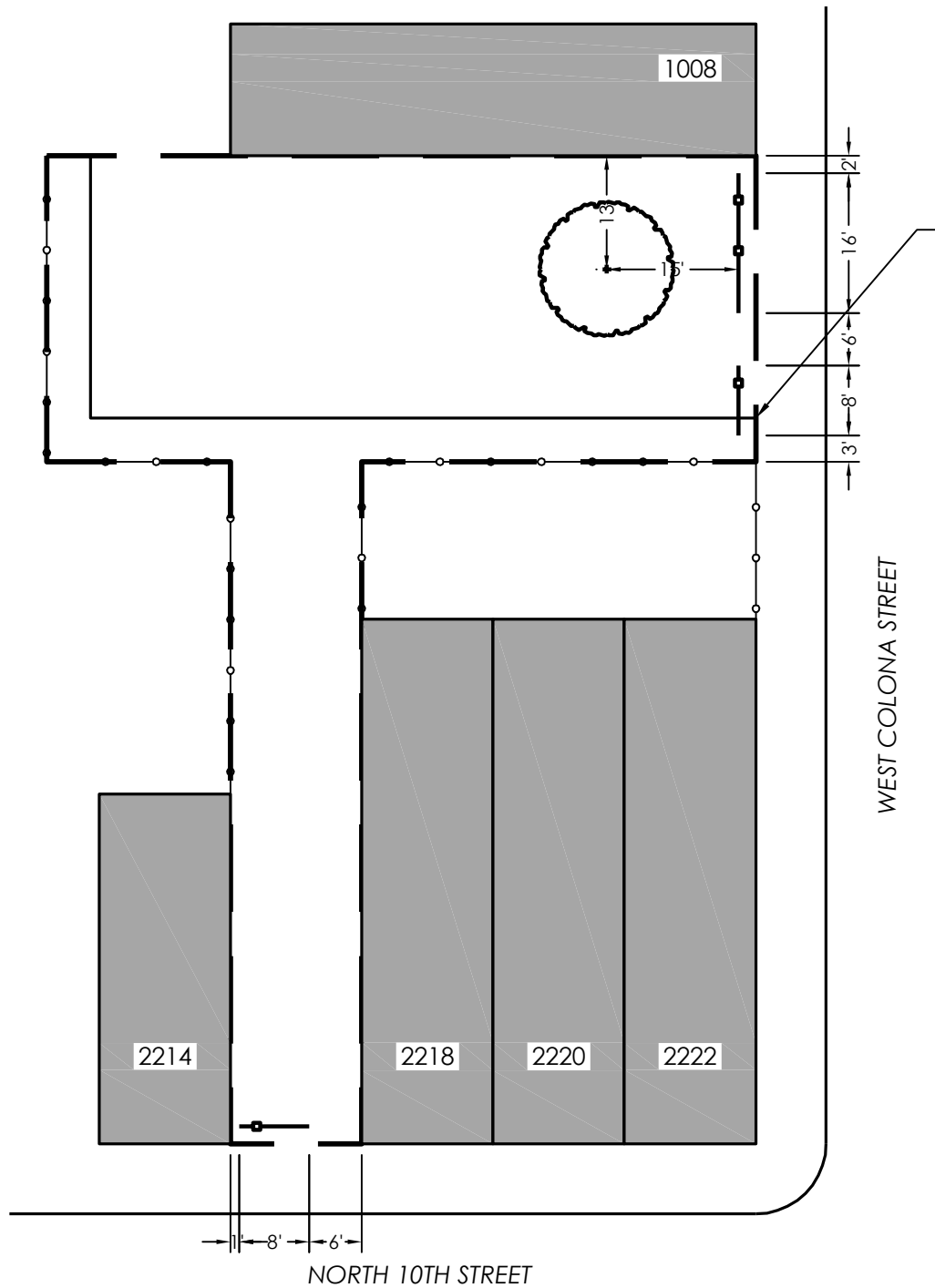


# EXISTING CONDITIONS

1010-12 WEST COLONA ST; 2216 NORTH 10TH ST

Project Of:

Project Manager:



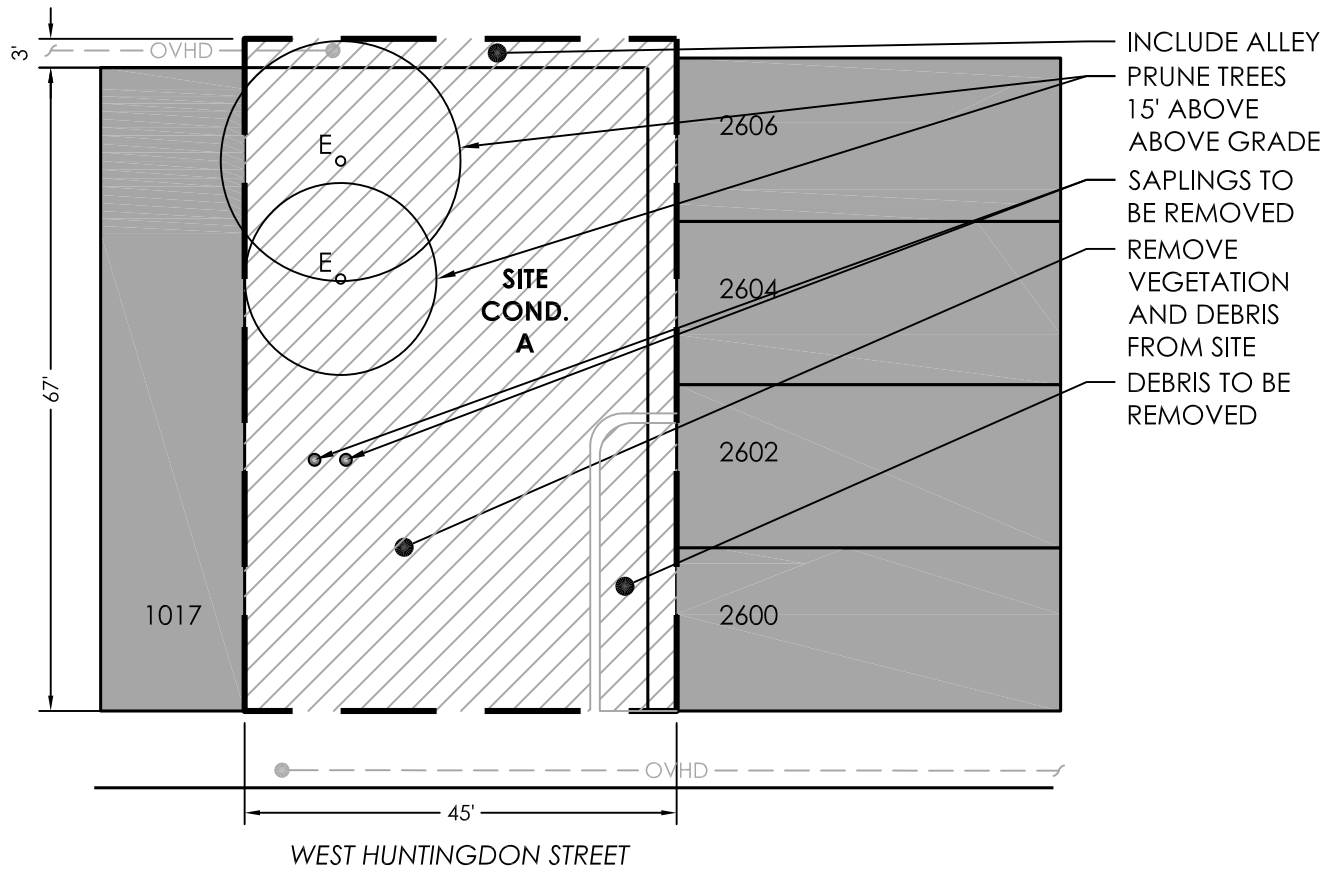
Initial Date  
8/15/2023  
Scale  
1" = 20'  
Group B  
VI 105540FN C.I.P



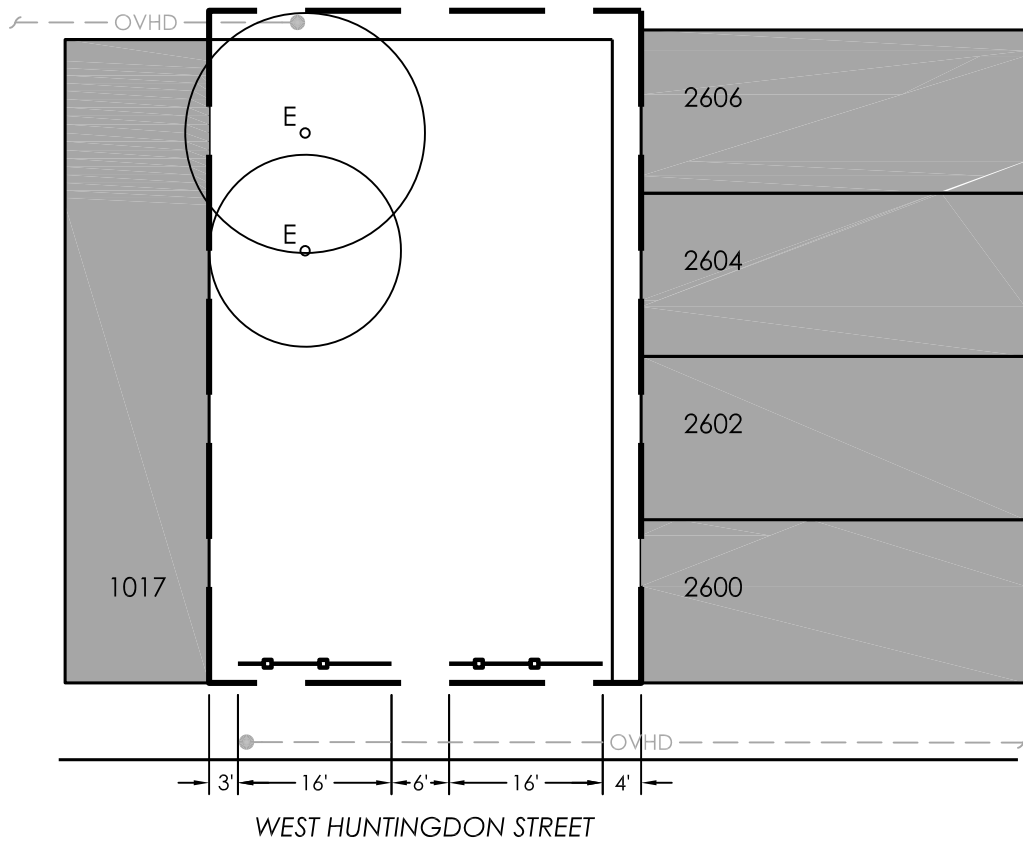
# FENCE & TREE LAYOUT

1010-12 WEST COLONA ST; 2216 NORTH 10TH ST





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>1011-1015 WEST HUNTINGDON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105550EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VL105550EN\_CLP



# FENCE & TREE LAYOUT

1011-1015 WEST HUNTINGDON STREET

Project Of:

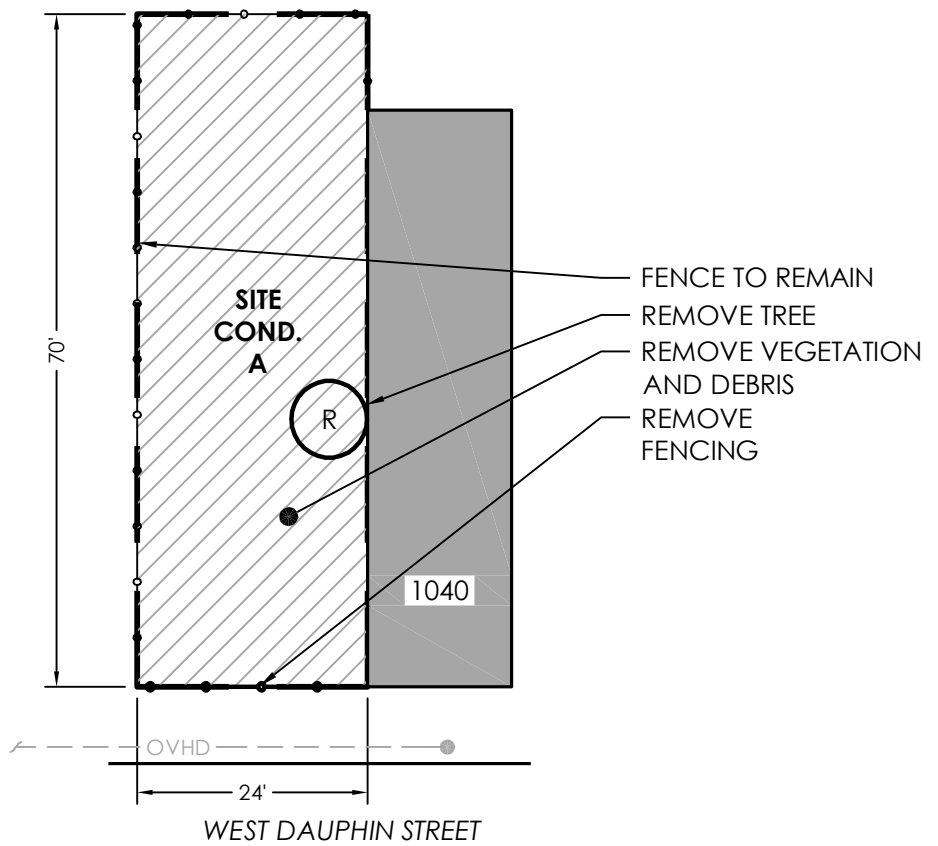


Project Manager:

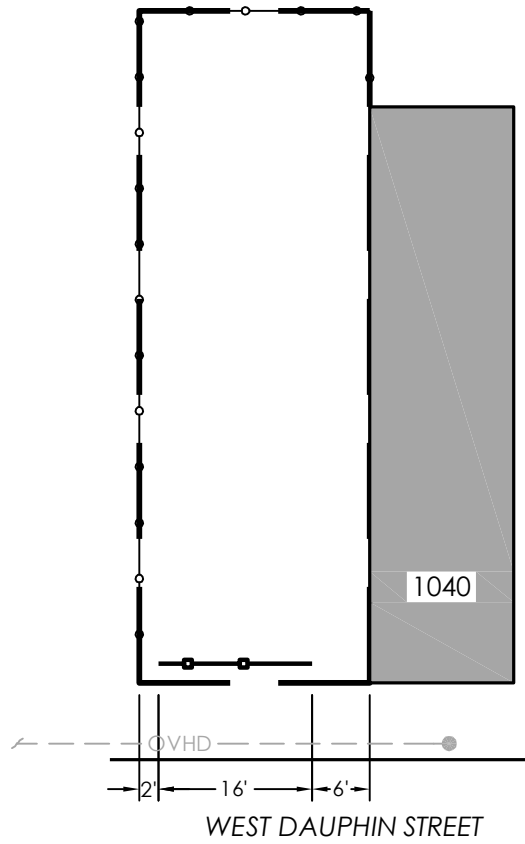


**PHS**





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>1038 WEST DAUPHIN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VLT05560EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105560FN C.I.P



# FENCE & TREE LAYOUT

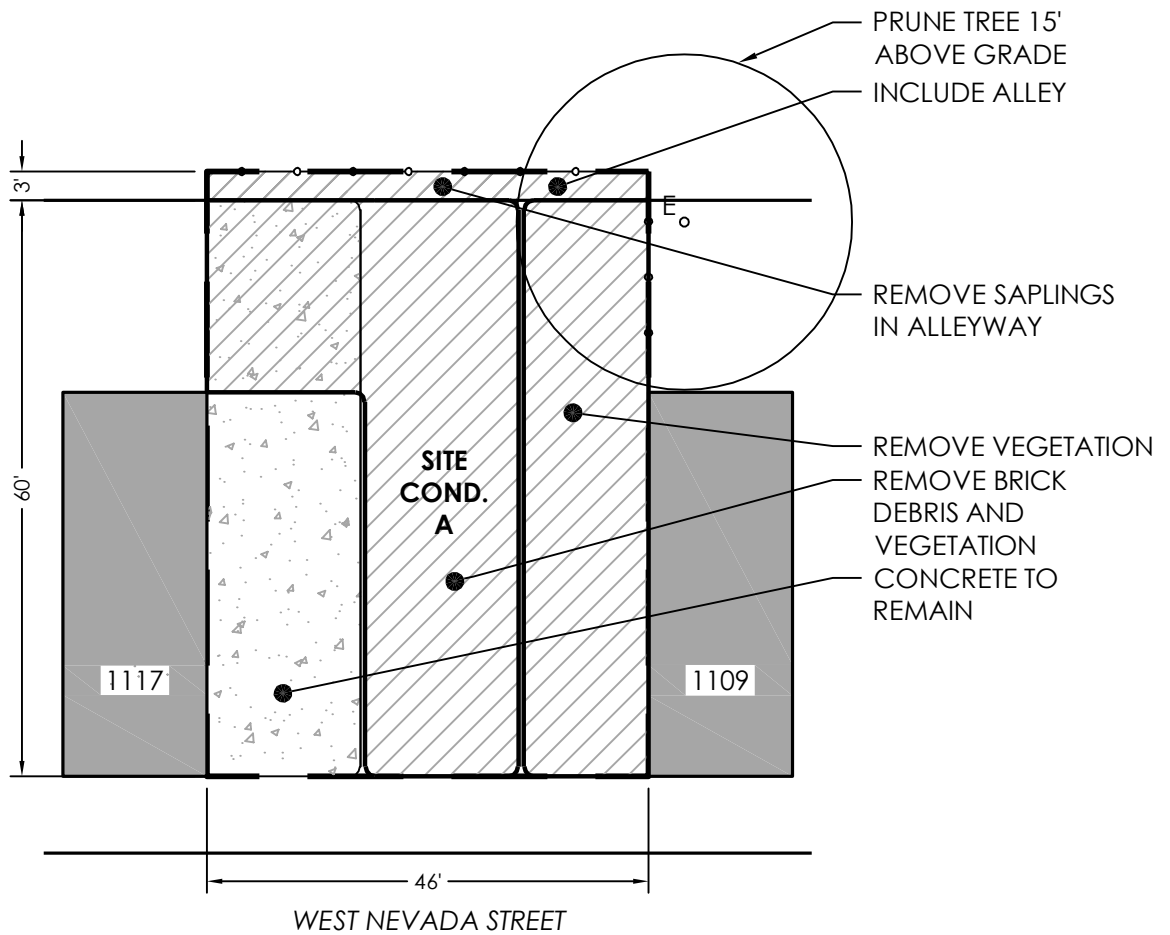
1038 WEST DAUPHIN STREET

Project Of:

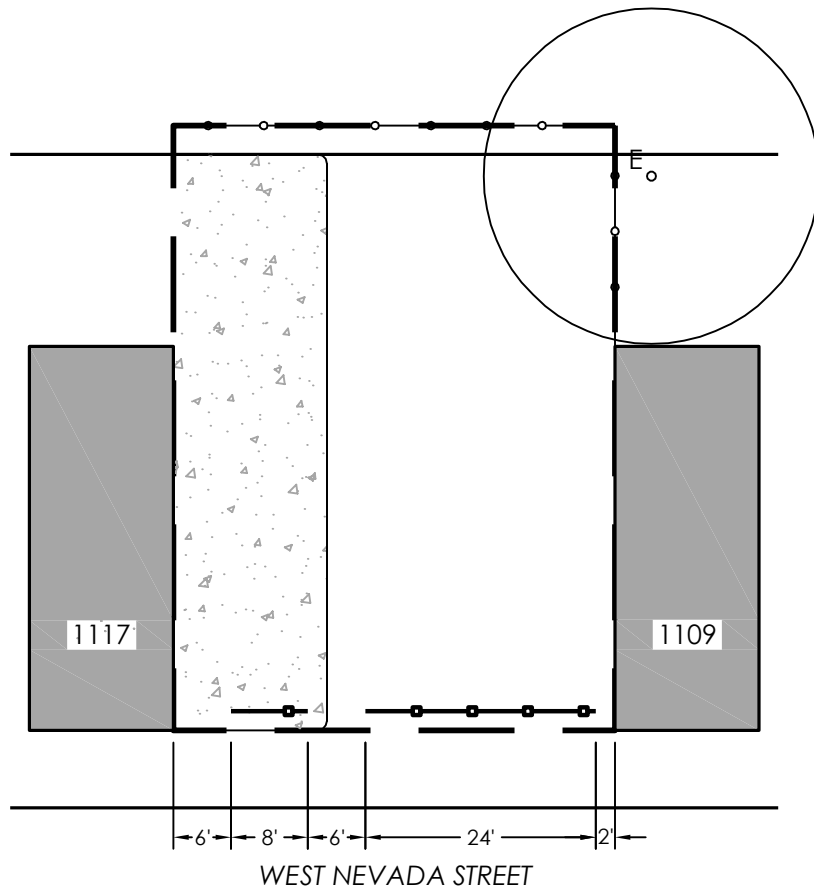


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>1111-1113 WEST NEVADA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B VLT05570EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date  
8/15/2023  
Scale  
1" = 20'  
Group B  
VL105570EN CLP



# FENCE & TREE LAYOUT

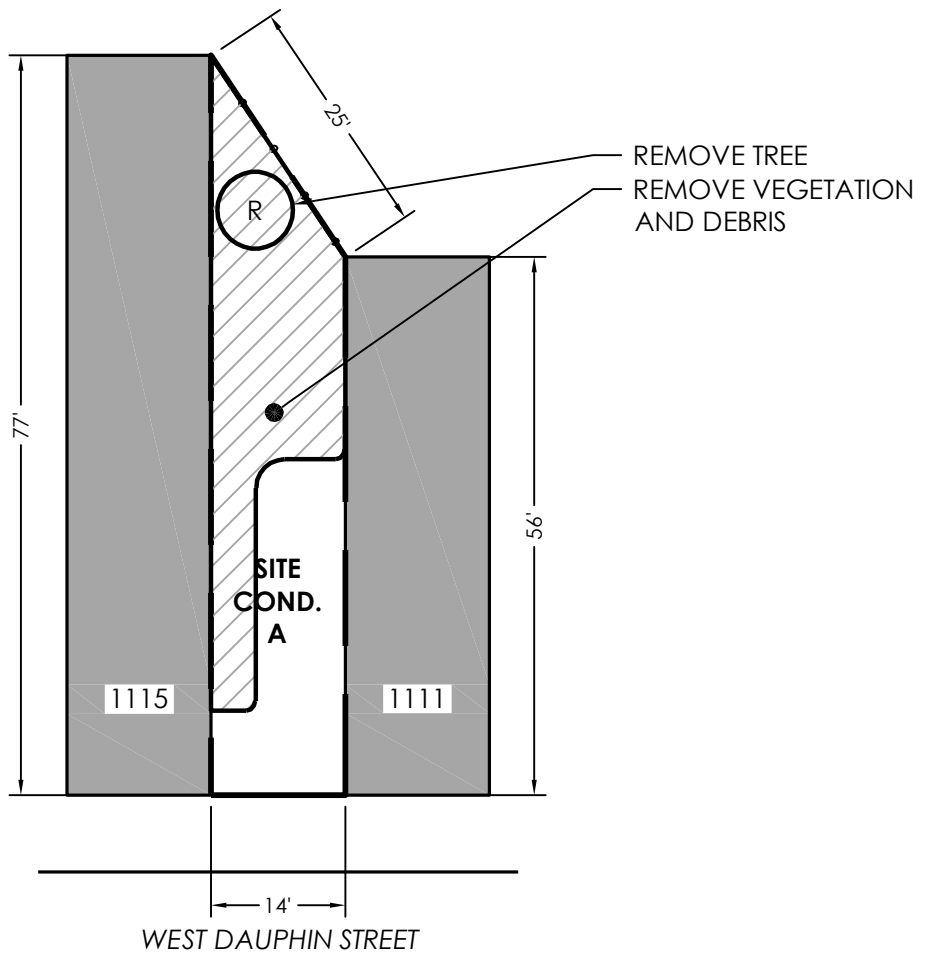
1111-1113 WEST NEVADA STREET

Project Of:

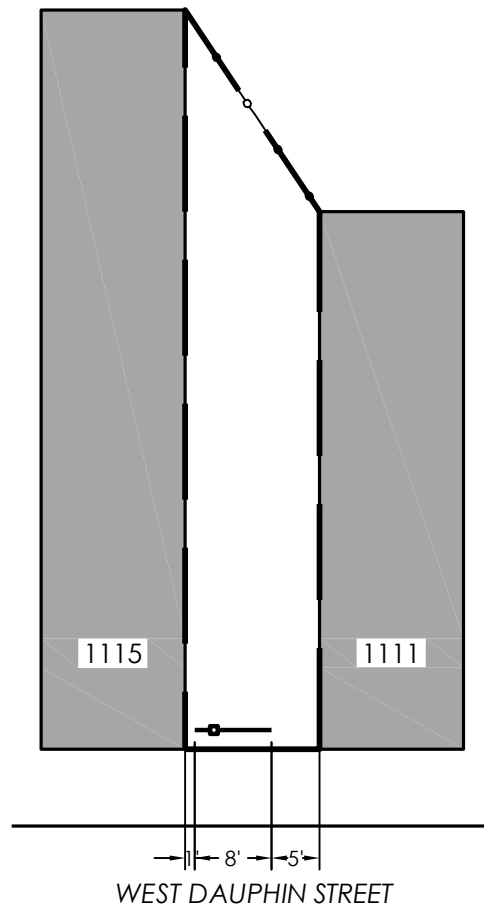


Project Manager:





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>1113 WEST DAUPHIN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VLT05580EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105580FN C.I.P



## FENCE & TREE LAYOUT

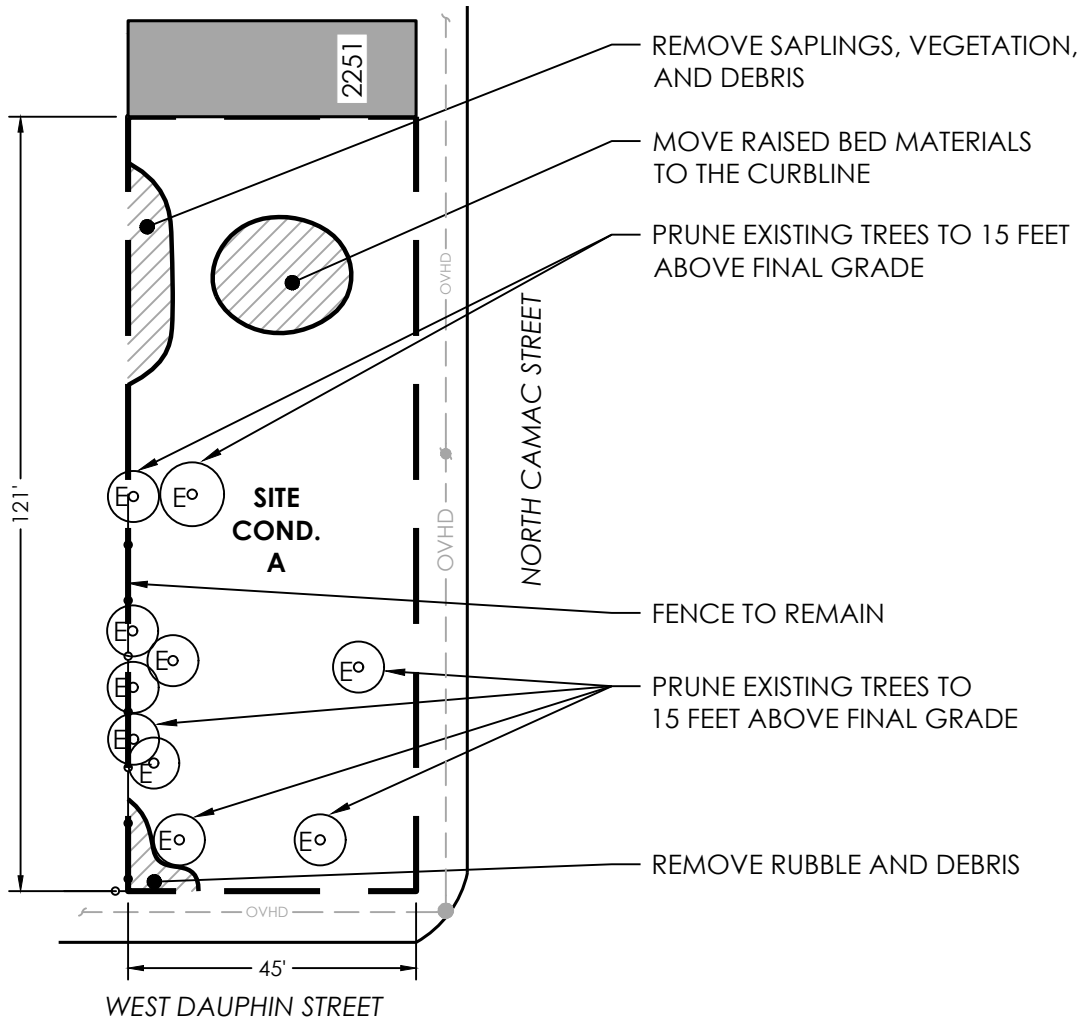
1113 WEST DAUPHIN STREET

Project Of:

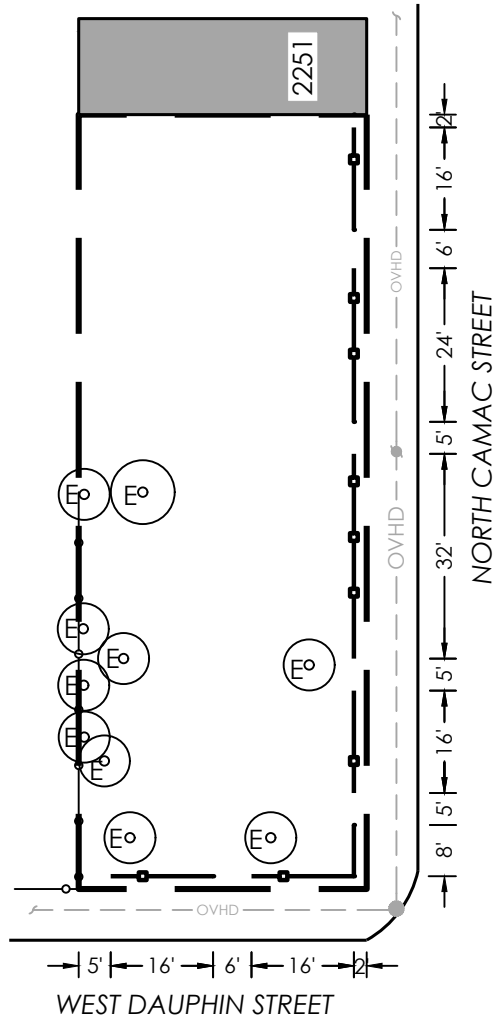


Project Manager:





Initial Date 8/17/23		<h2>EXISTING CONDITIONS</h2> <p>1216-1220 WEST DAUPHIN STREET; 2253-2257 NORTH CAMAC STREET</p>	Project Of:	Project Manager:
Scale 1" = 30'				
Group B				
VL105590EN_CLP		<small>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</small>		

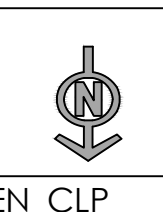


Initial Date  
**8/17/23**

Scale  
**1" = 30'**

Group B

VL105590EN\_CLP

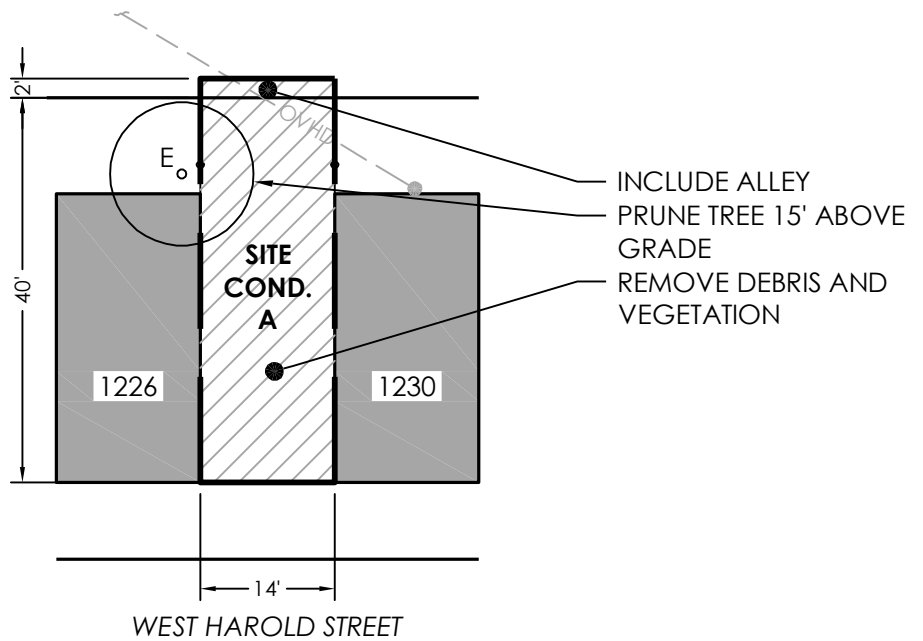


## FENCE & TREE LAYOUT

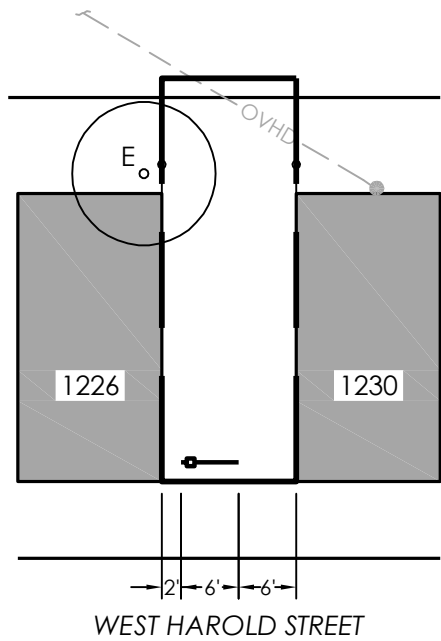
1216-1220 WEST DAUPHIN STREET; 2253-2257 NORTH CAMAC STREET







Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>1228 WEST HAROLD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VLT05600EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023  
Scale  
1" = 20'  
Group B  
VI 10.5600FN C.I.P



# FENCE & TREE LAYOUT

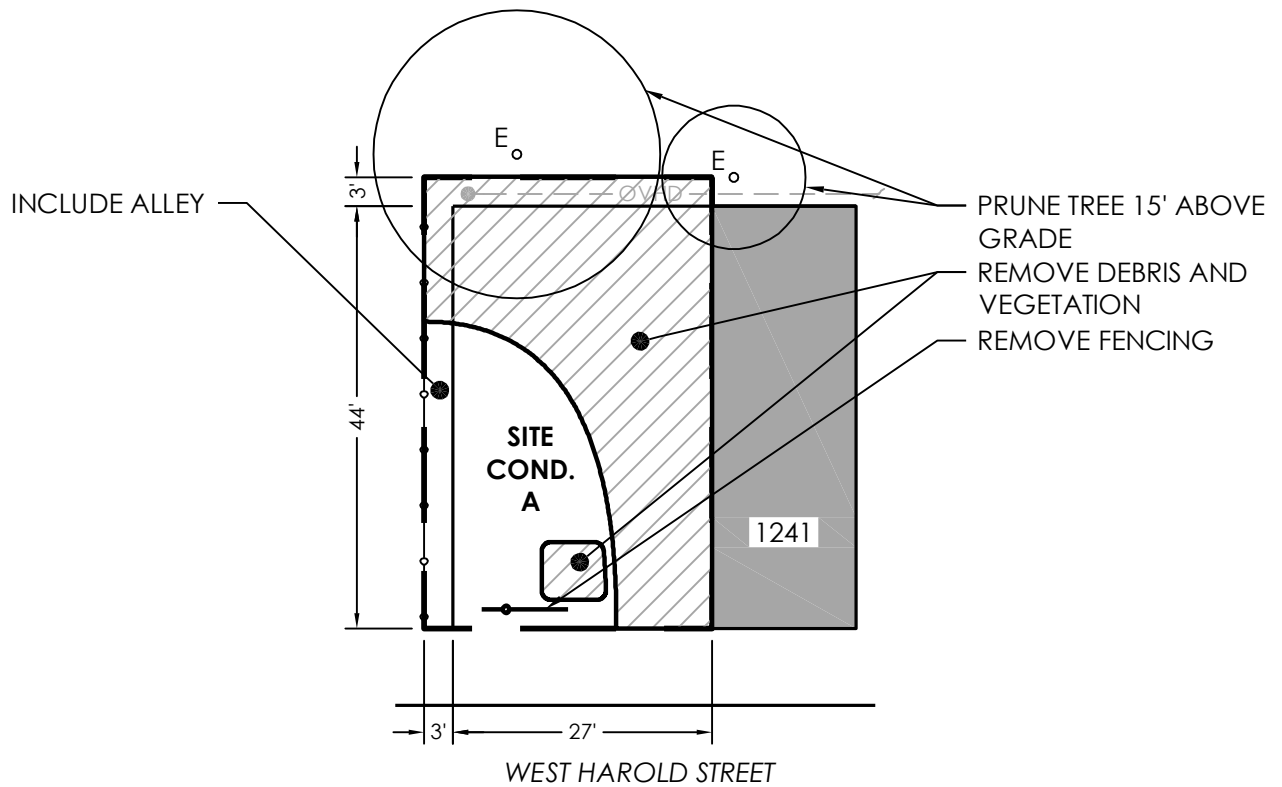
1228 WEST HAROLD STREET

Project Of:

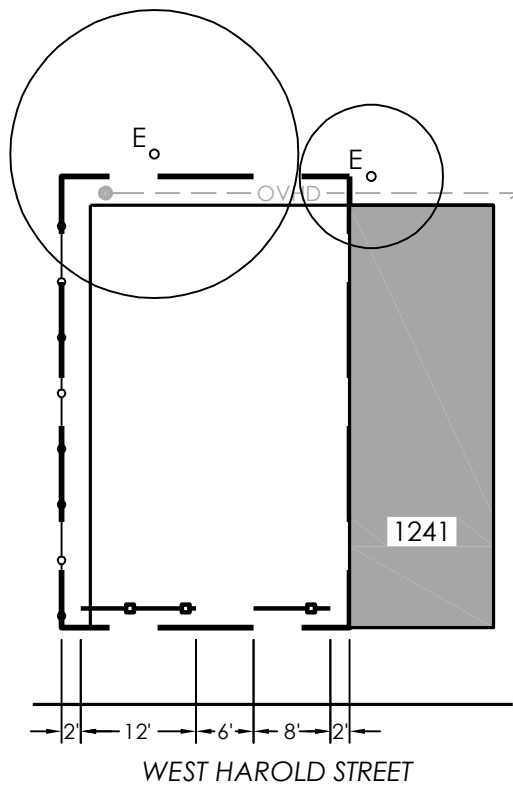


Project Manager:





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>1243-1245 WEST HAROLD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105610EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105610FN C.I.P



## FENCE & TREE LAYOUT

1243-1245 WEST HAROLD STREET

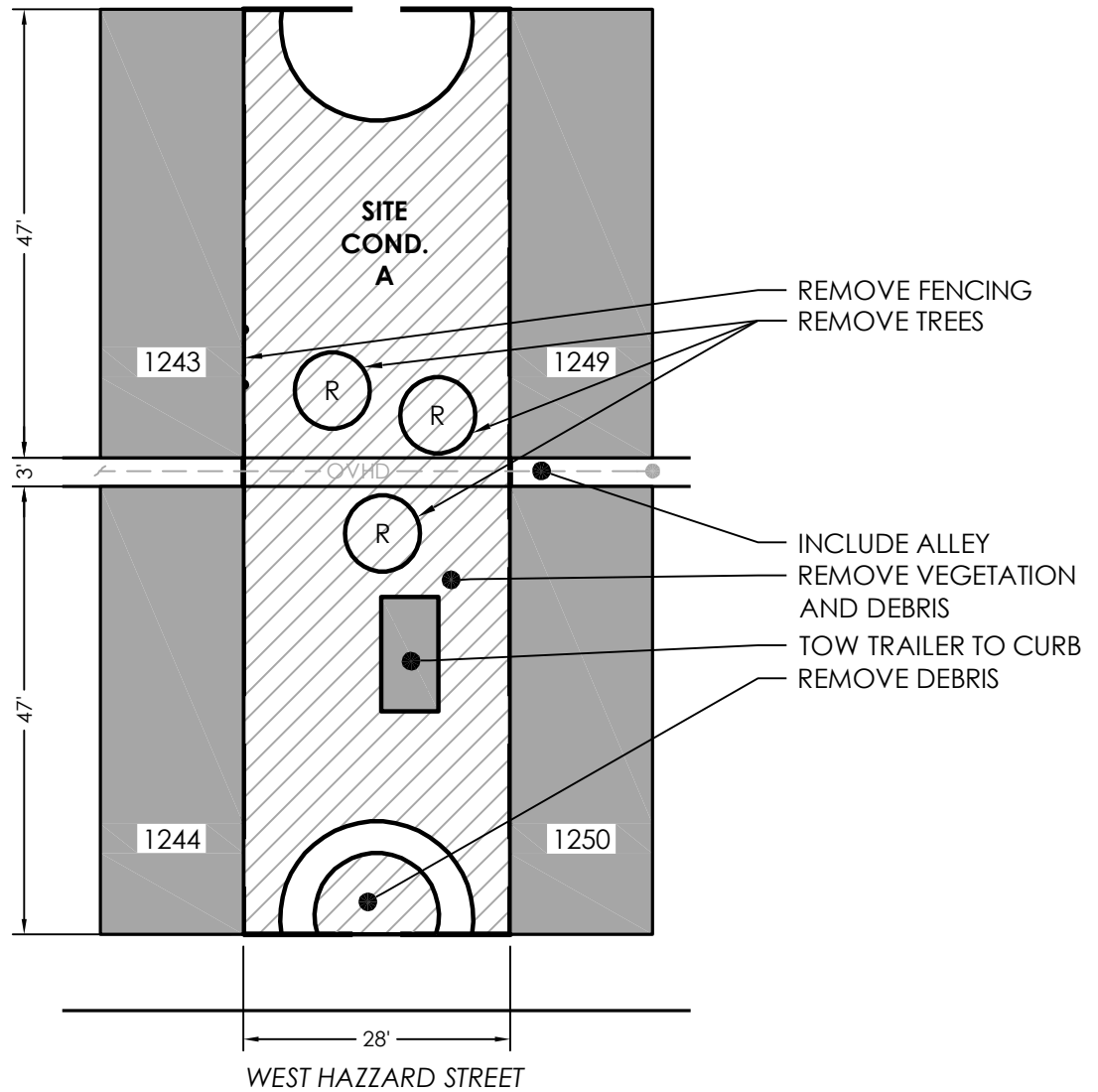
Project Of:



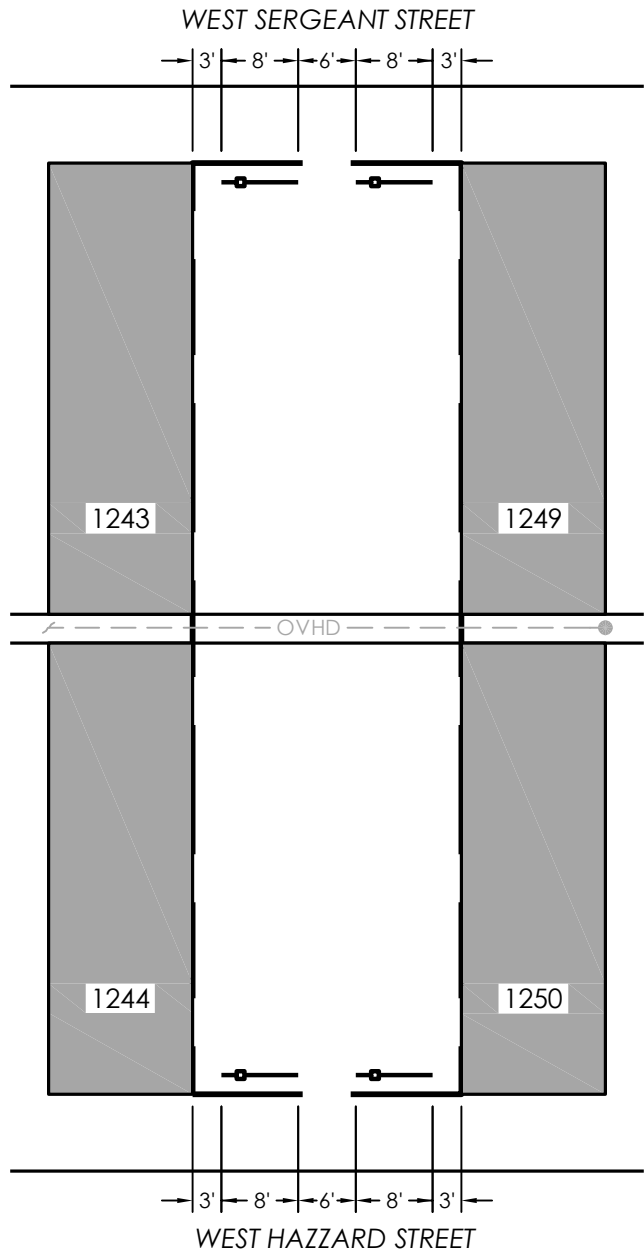
Project Manager:



WEST SERGEANT STREET



Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>1246-1248 W HAZZARD ST; 1245-1247 W SERGEANT ST</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VLT05620EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VL105620EN CLP



## FENCE & TREE LAYOUT

1246-1248 W HAZZARD ST; 1245-1247 W SERGEANT ST

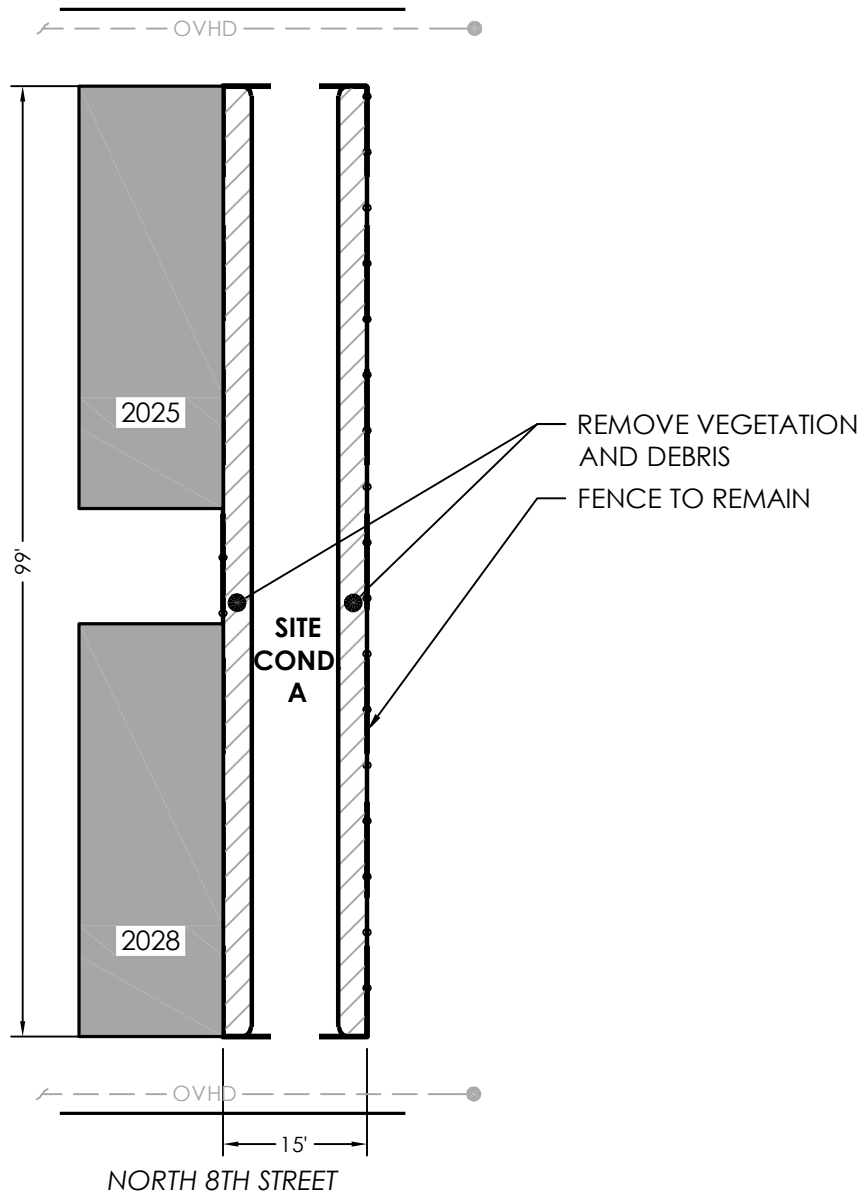
Project Of:



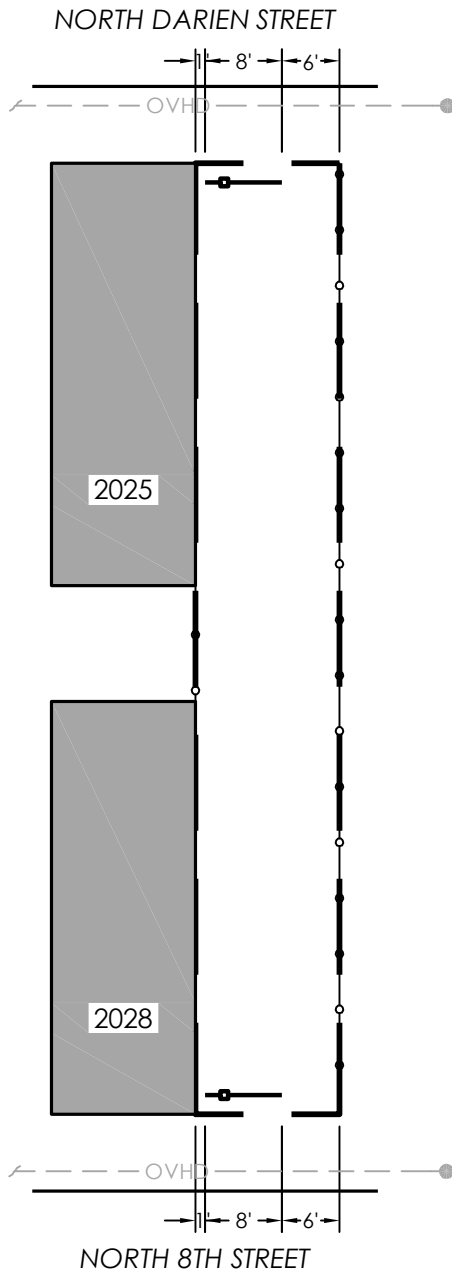
Project Manager:



NORTH DARIEN STREET



Initial Date 8/15/2023		<b>EXISTING CONDITIONS</b> 2030 NORTH 8TH STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group B VL105630EN CLP			THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800	



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105630FN CIP



# FENCE & TREE LAYOUT

2030 NORTH 8TH STREET

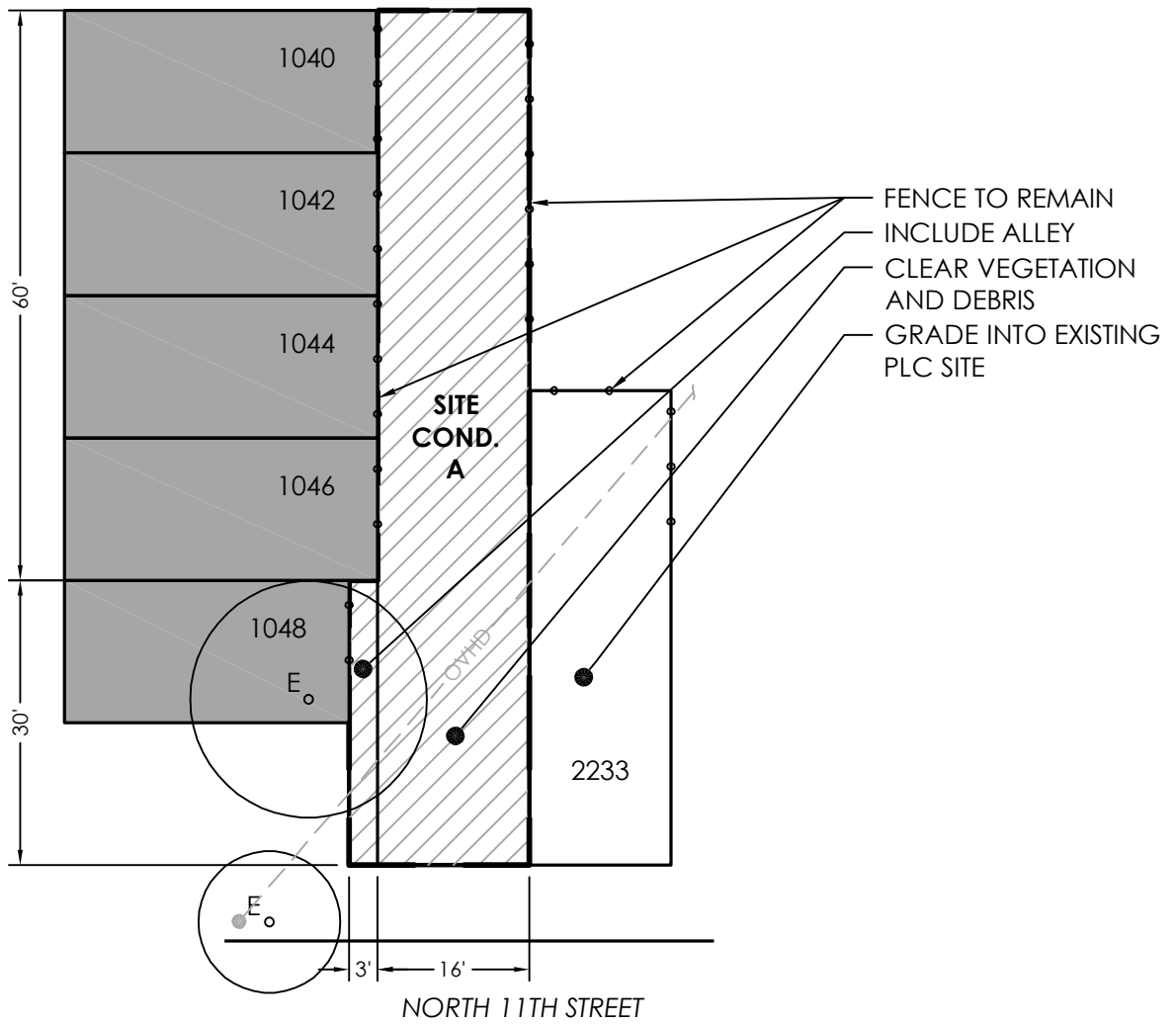
Project Of:



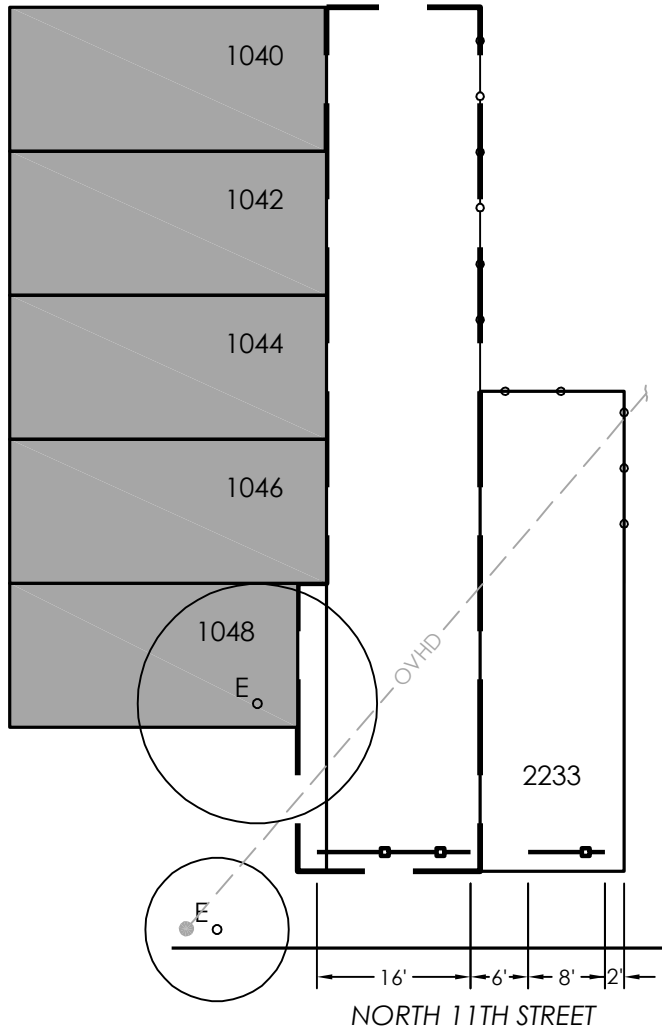
Project Manager:







Initial Date 8/15/2023		<h2 style="text-align: center;">EXISTING CONDITIONS</h2> <p style="text-align: center;">2235 NORTH 11TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VLT05670EN CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VL105670EN CLP



# FENCE & TREE LAYOUT

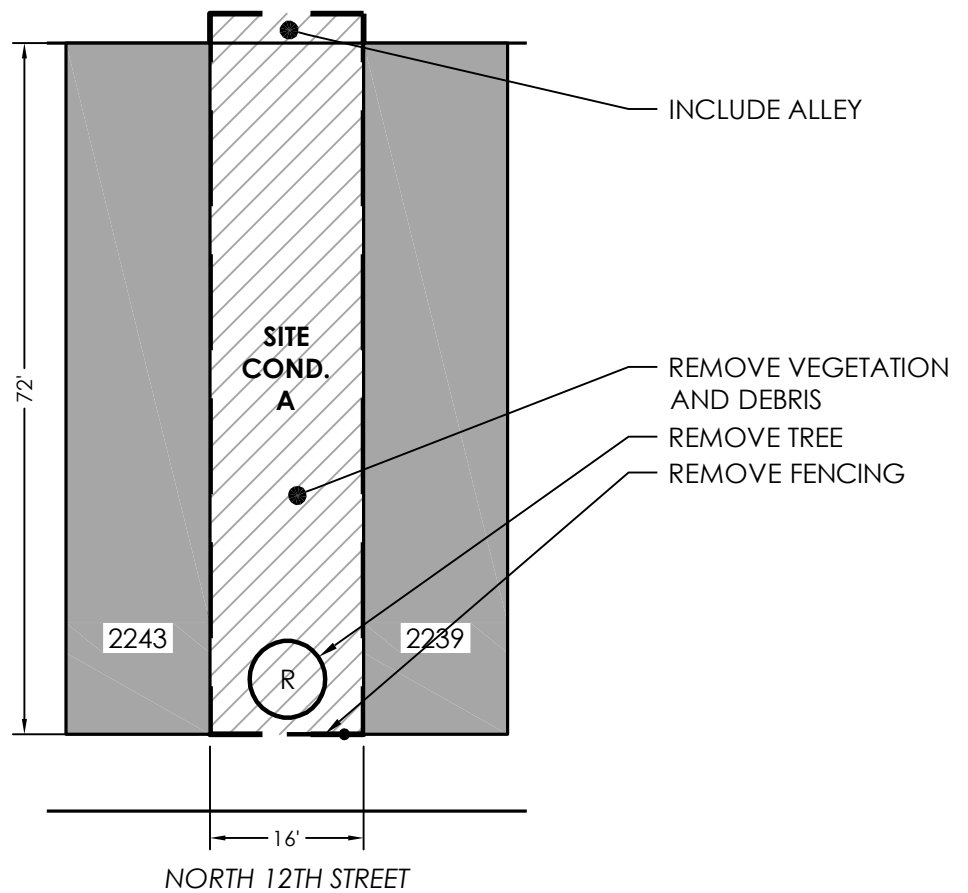
2235 NORTH 11TH STREET

Project Of:

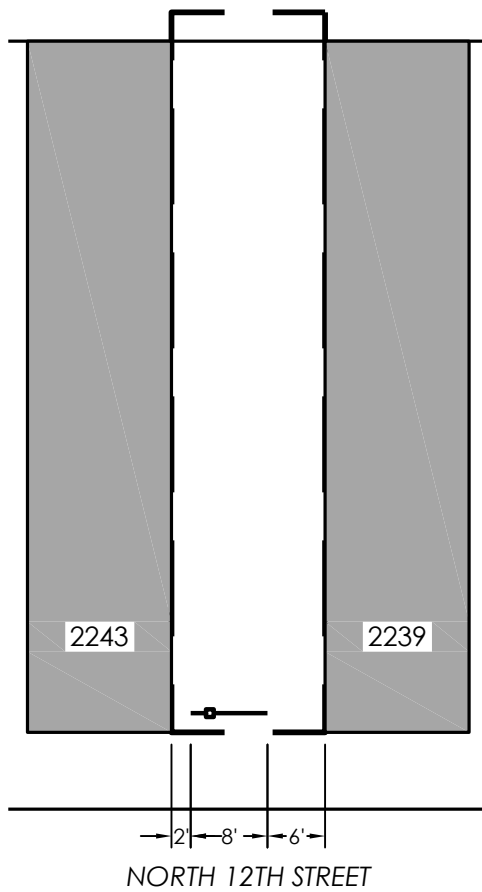


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2241 NORTH 12TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VLT05680EN CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105680FN C.I.P



## FENCE & TREE LAYOUT

2241 NORTH 12TH STREET

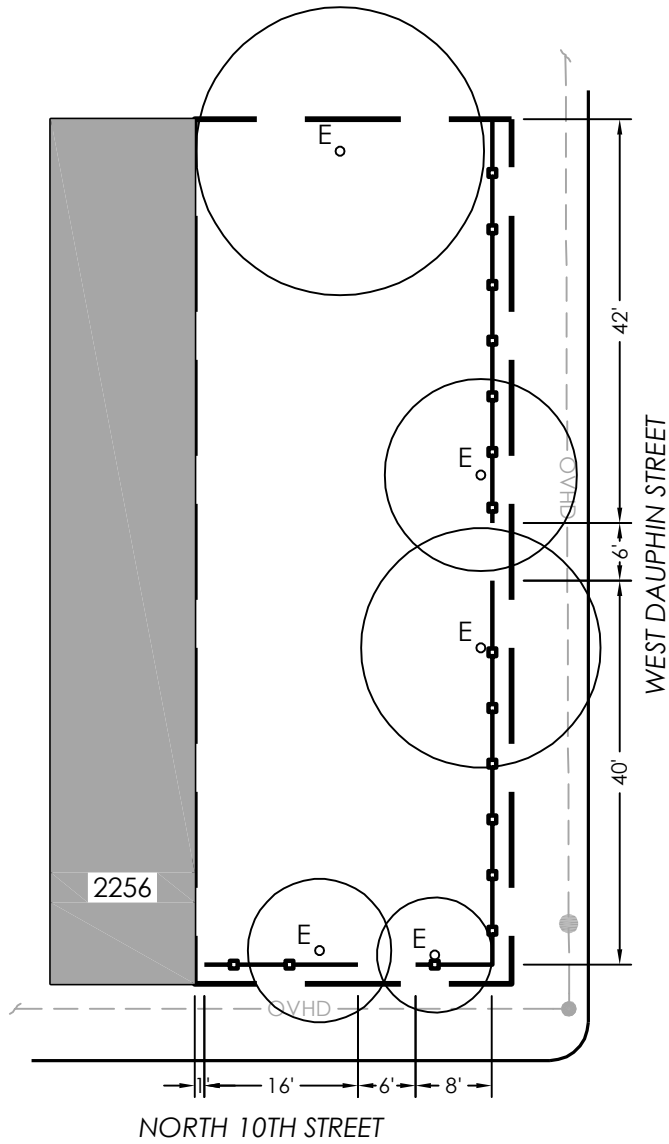
Project Of:



Project Manager:







Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

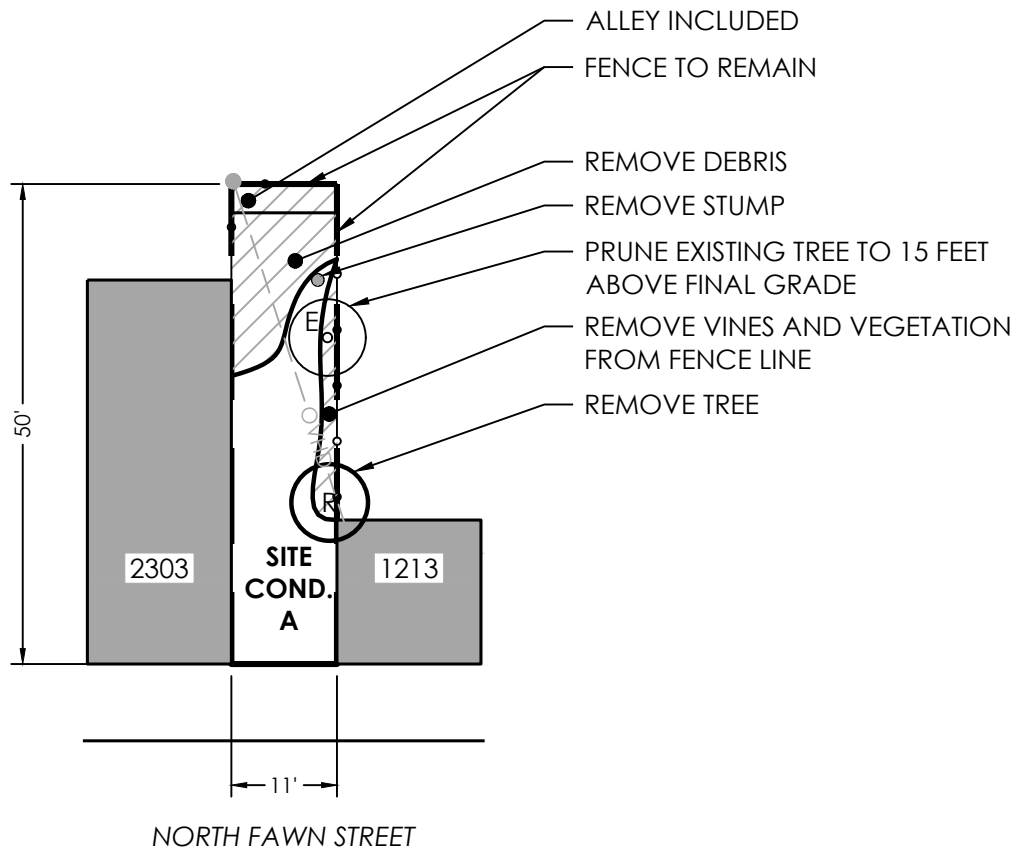
VL105710EN CLP



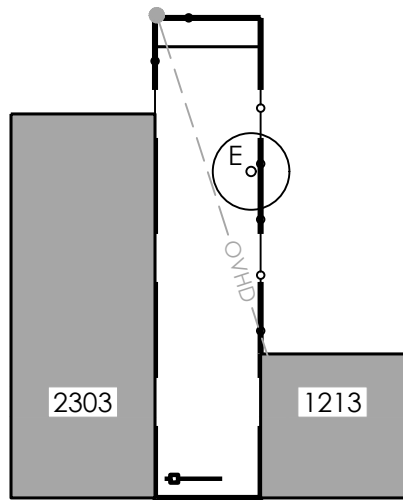
# FENCE & TREE LAYOUT

2258-2260 NORTH 10TH STREET





Initial Date 8/16/23		<h1>EXISTING CONDITIONS</h1> <p>2301 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105720EN_CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				

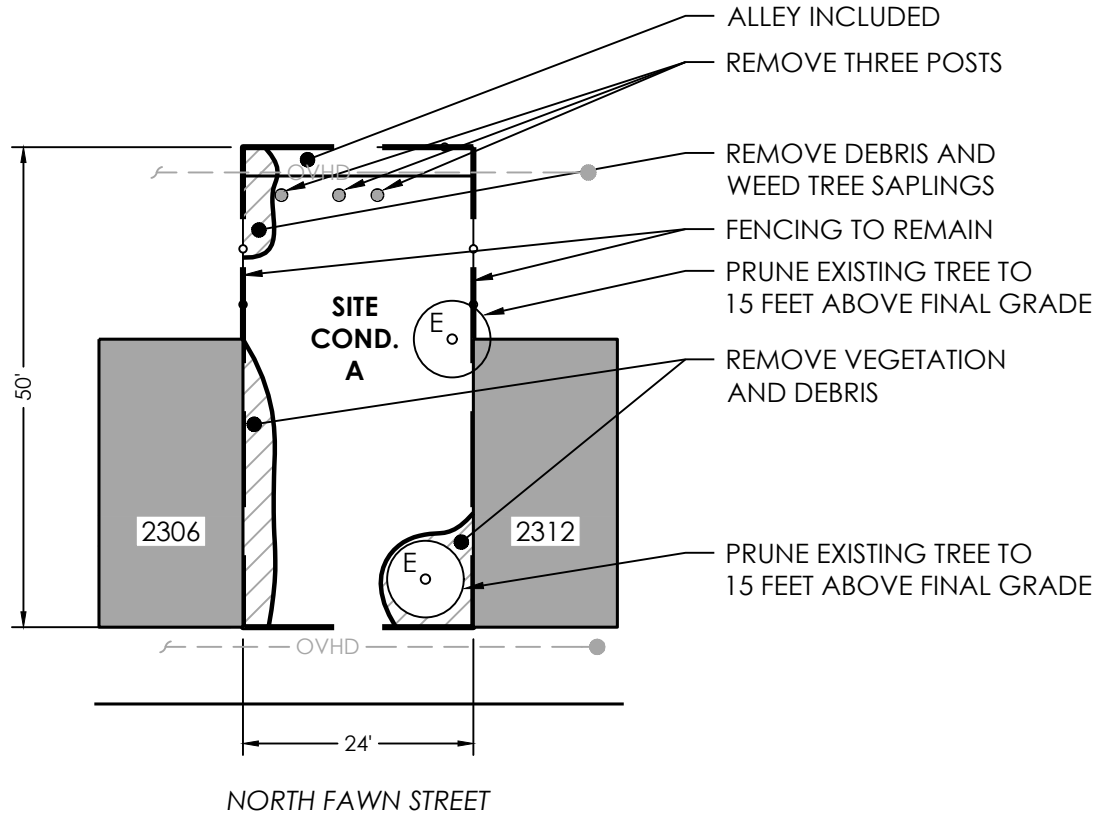


6' 4"

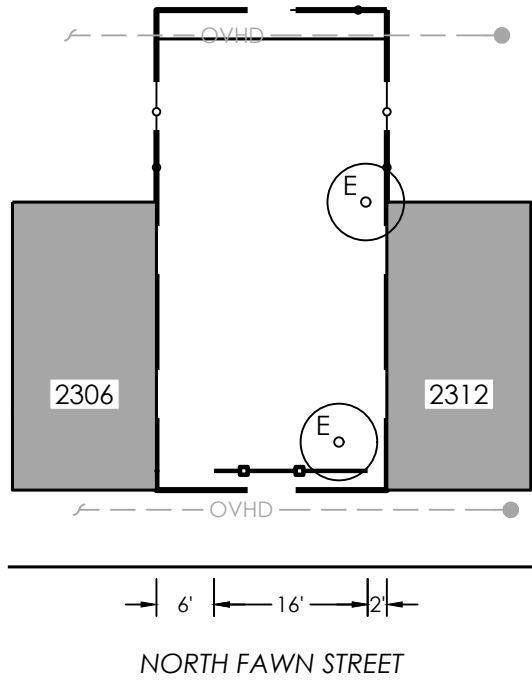
NORTH FAWN STREET

Initial Date 8/16/23		<h2>FENCE &amp; TREE LAYOUT</h2> <p>2301 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105720EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		





Initial Date 8/15/23		<h1>EXISTING CONDITIONS</h1> <p>2308-2310 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105730EN_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date  
8/15/23

Scale  
1" = 20'

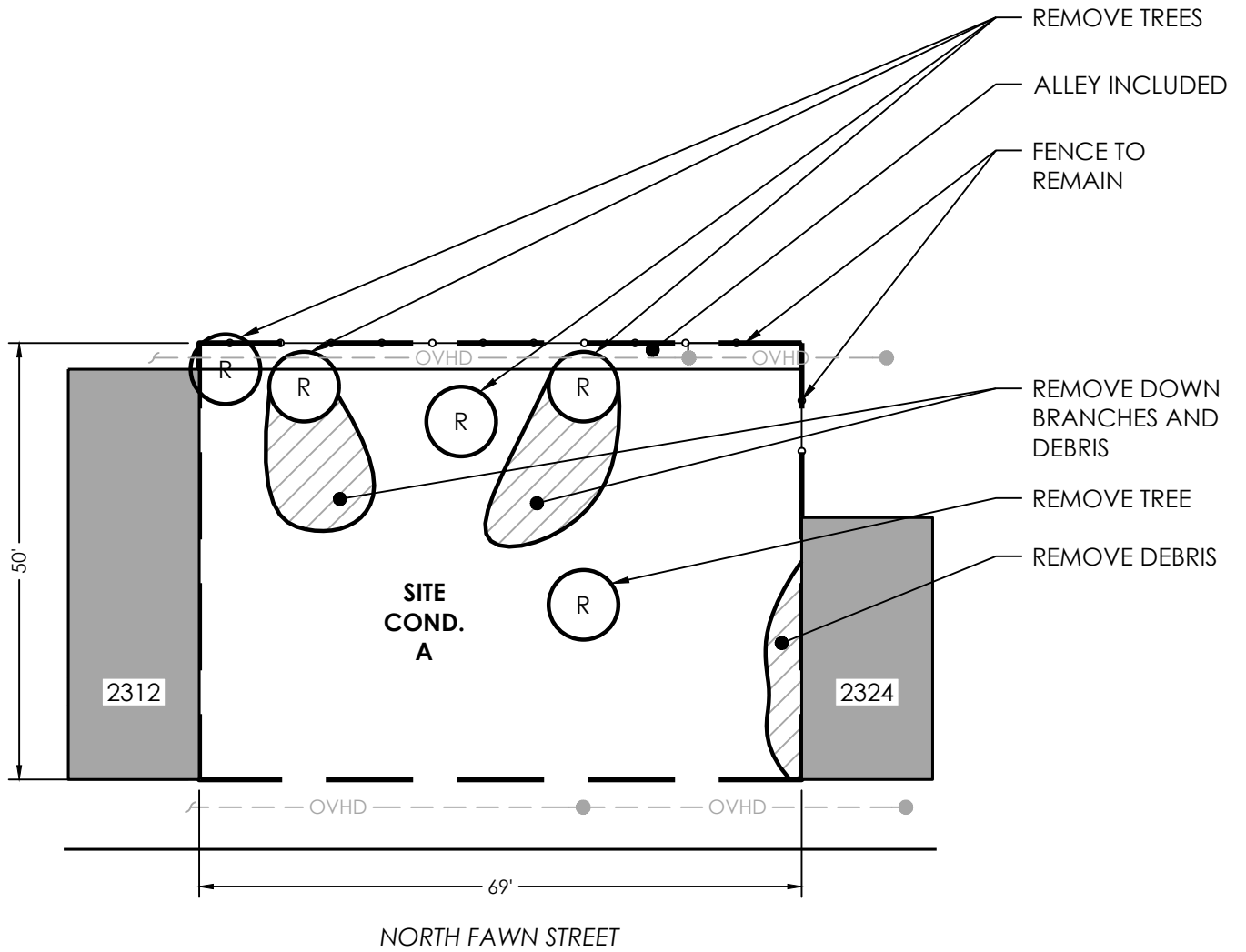
Group B



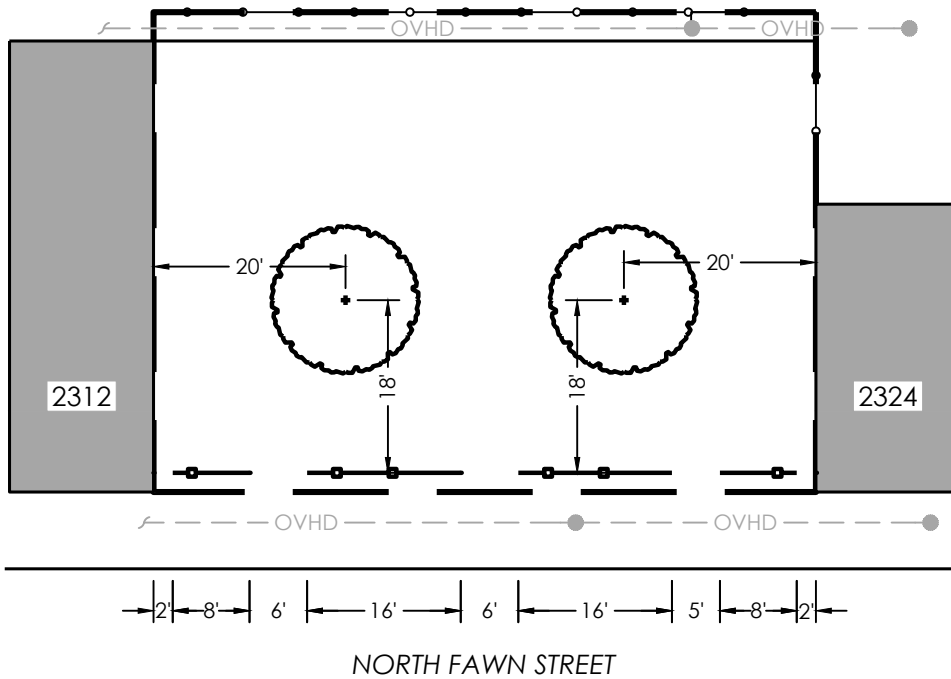
# FENCE & TREE LAYOUT

2308-2310 NORTH FAWN STREET





Initial Date 8/16/23		<h1>EXISTING CONDITIONS</h1> <p>2314-2322 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105740EN_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date  
8/16/23

Scale  
1" = 20'

Group B

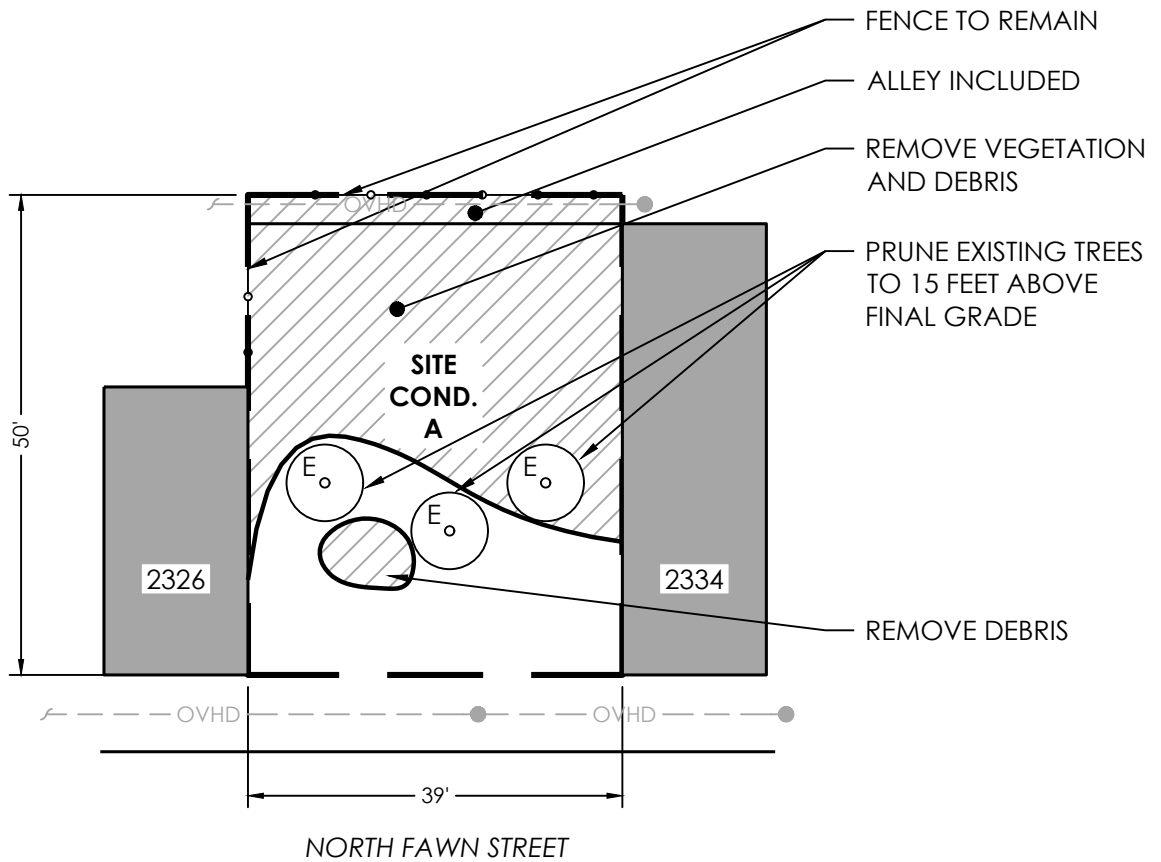
VL105740EN\_CLP



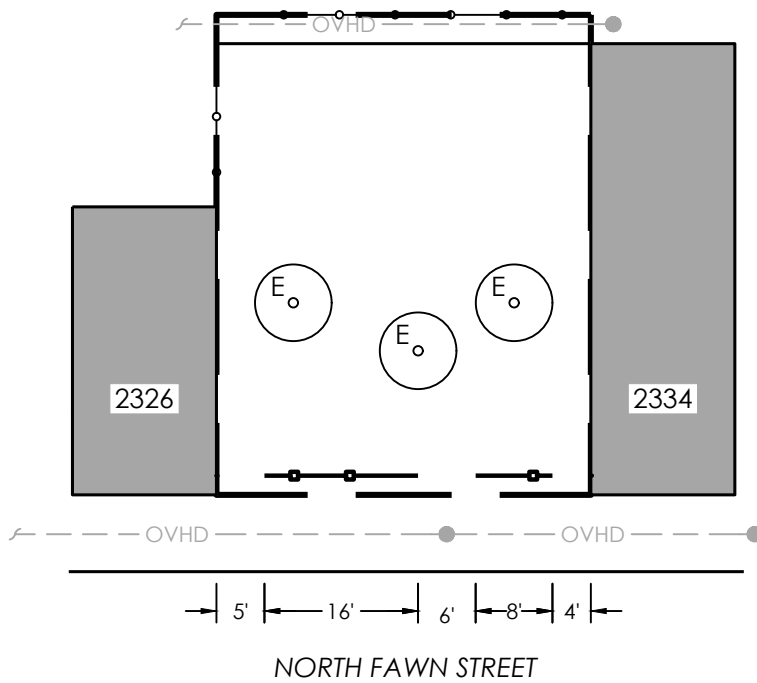
# FENCE & TREE LAYOUT

2314-2322 NORTH FAWN STREET

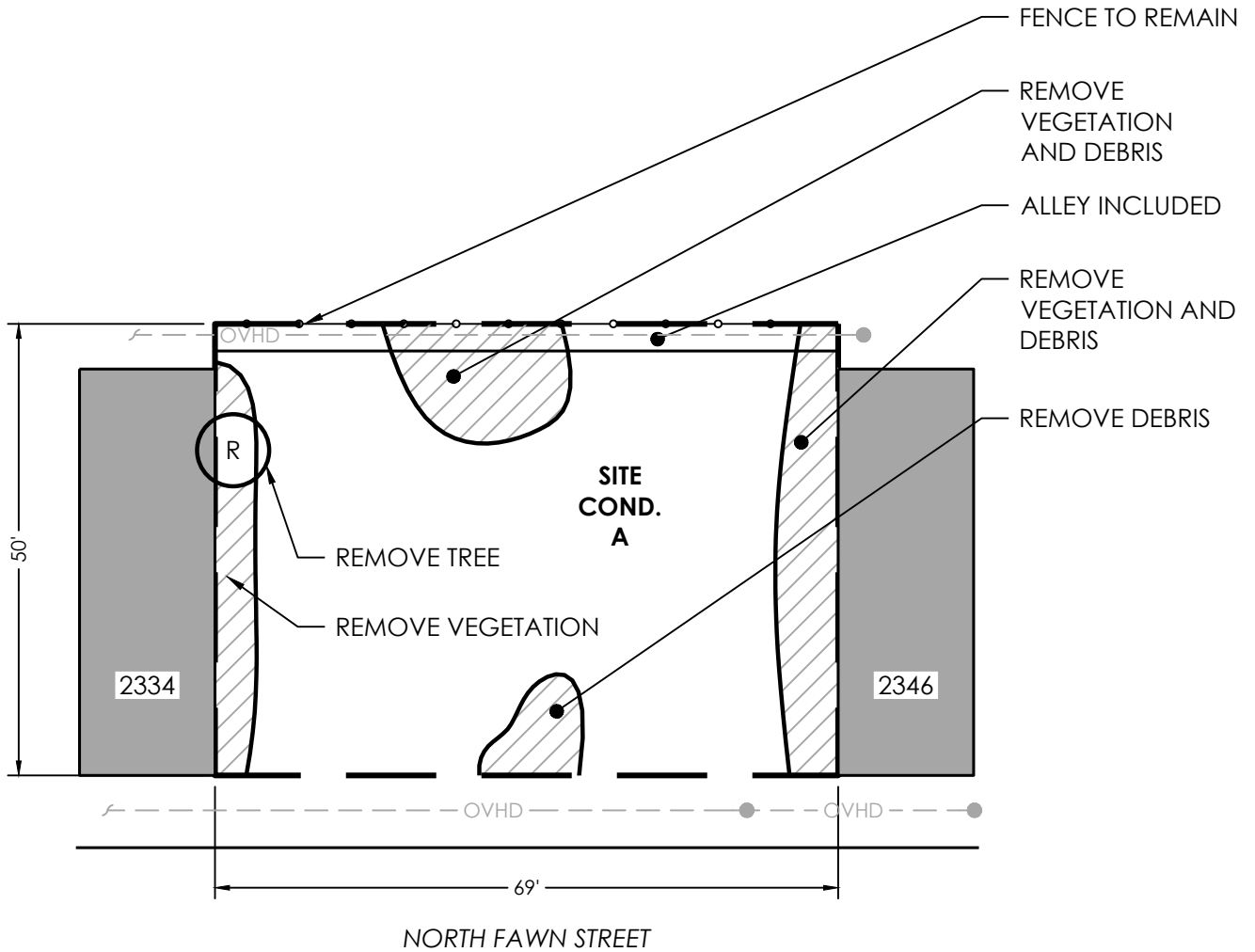




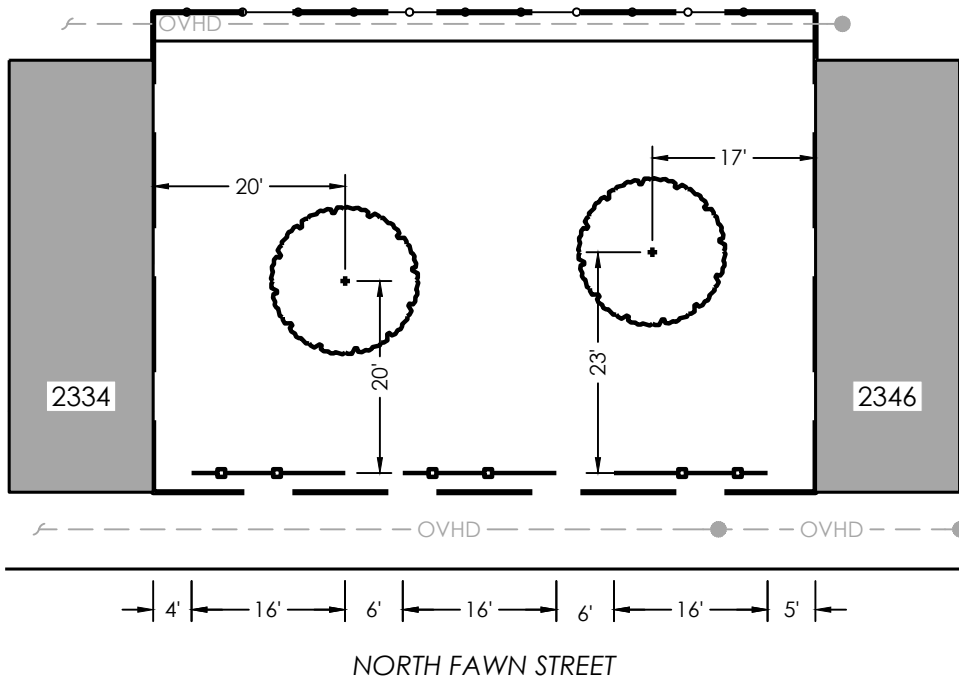
Initial Date 8/15/23		<h1>EXISTING CONDITIONS</h1> <p>2328-2332 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105750EN_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date 8/15/23		<h2 style="text-align: center;">FENCE &amp; TREE LAYOUT</h2> <p style="text-align: center;">2328-2332 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105750EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date 8/16/23		<h1>EXISTING CONDITIONS</h1> <p>2336-2344 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105760EN_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

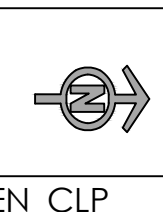


Initial Date  
8/16/23

Scale  
1" = 20'

Group B

VL105760EN\_CLP

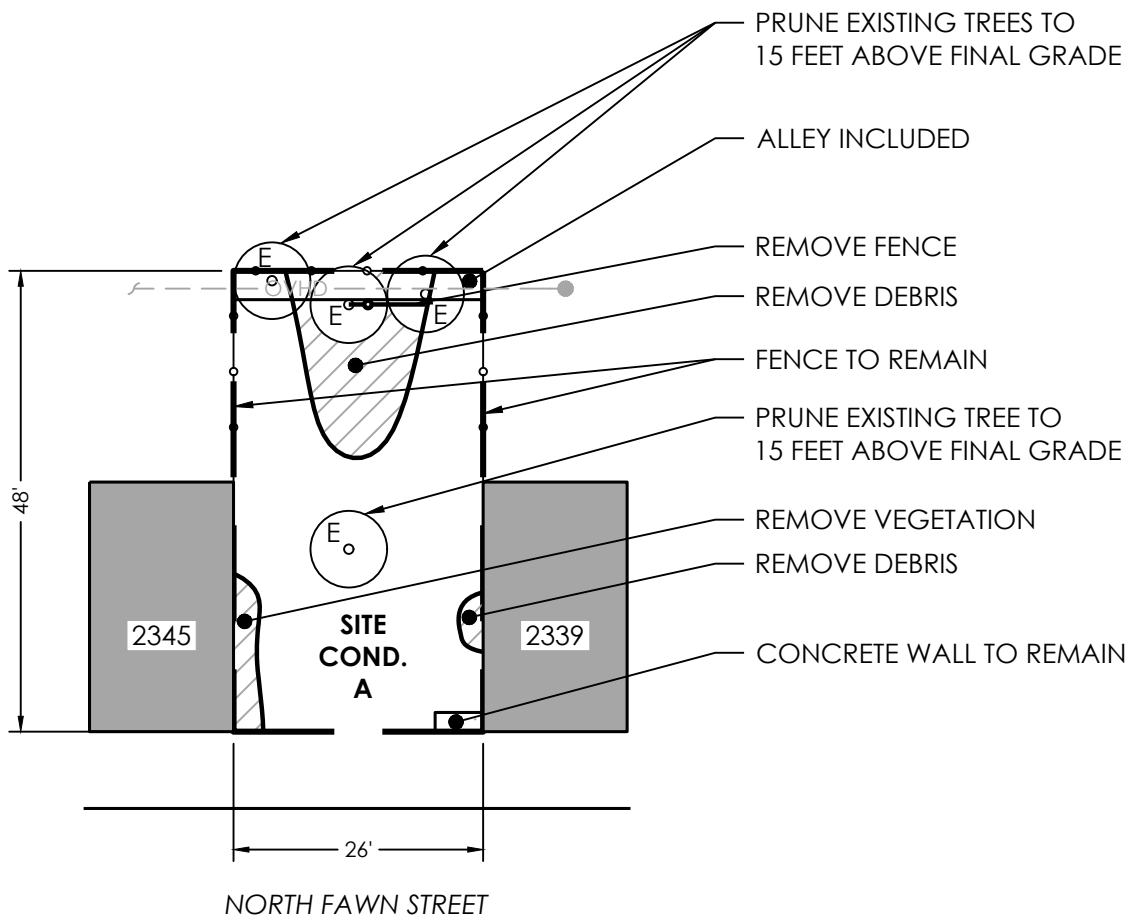


**FENCE & TREE LAYOUT**

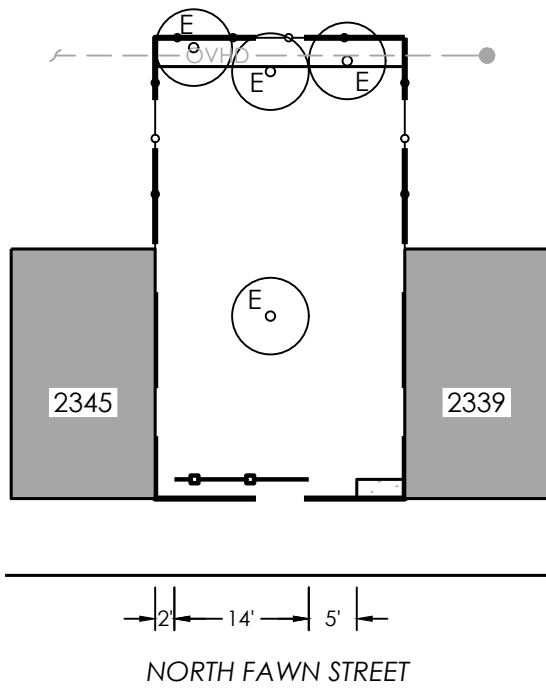
2336-2344 NORTH FAWN STREET



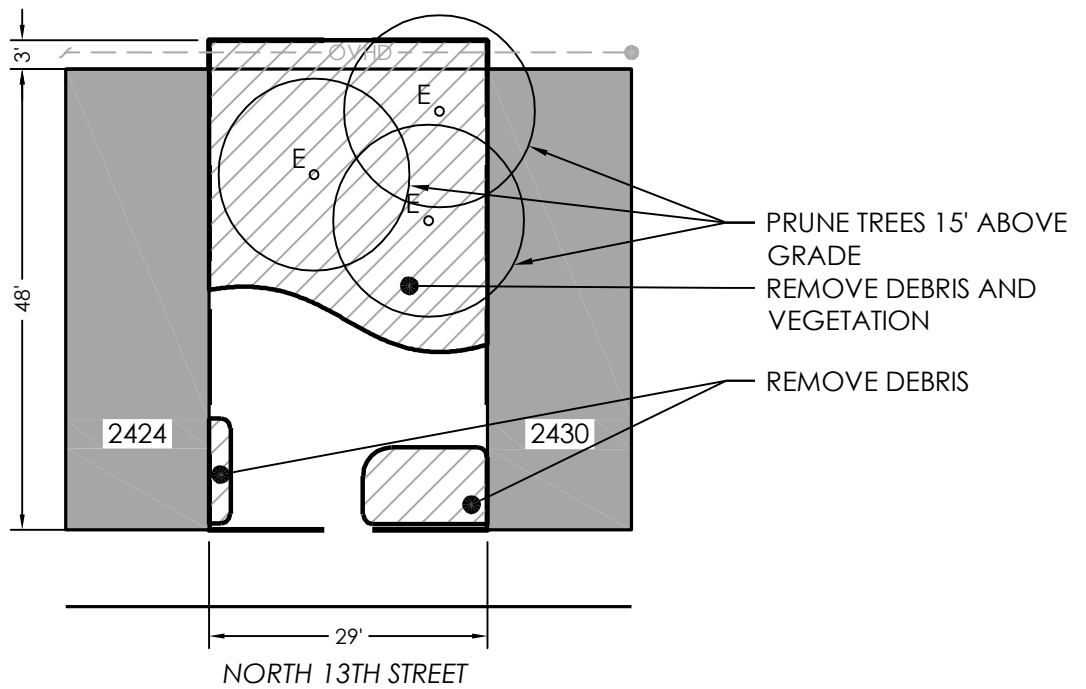




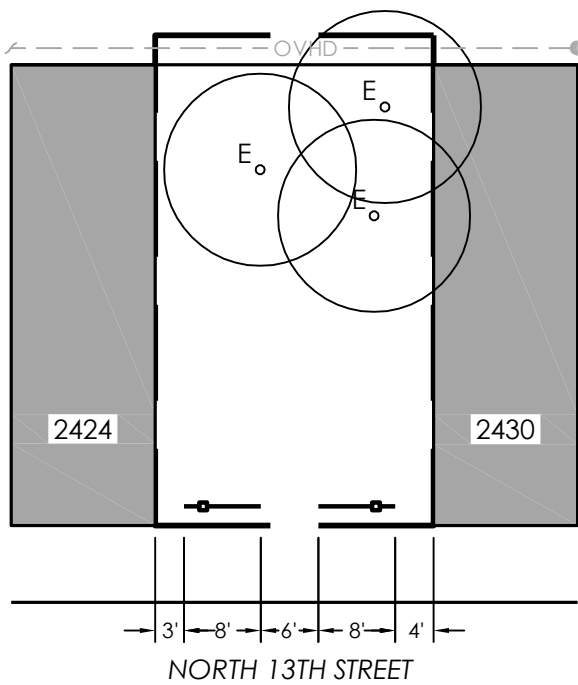
Initial Date 8/16/23		<h1>EXISTING CONDITIONS</h1> <p>2341-2343 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105770EN_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date 8/16/23		<h2>FENCE &amp; TREE LAYOUT</h2> <p>2341-2343 NORTH FAWN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105770EN_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2426-2428 NORTH 13TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VI 105800FN CIP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VL105800EN CLP



## FENCE & TREE LAYOUT

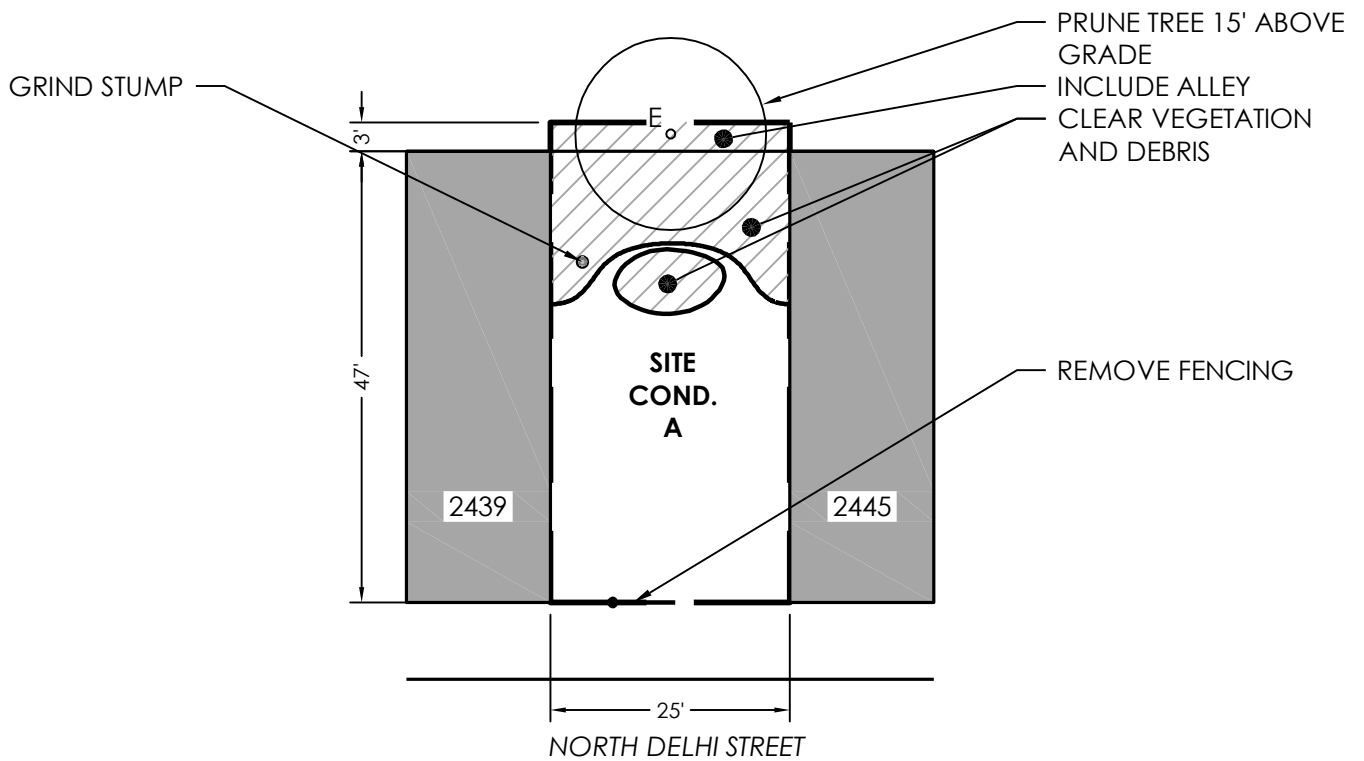
2426-2428 NORTH 13TH STREET

Project Of:

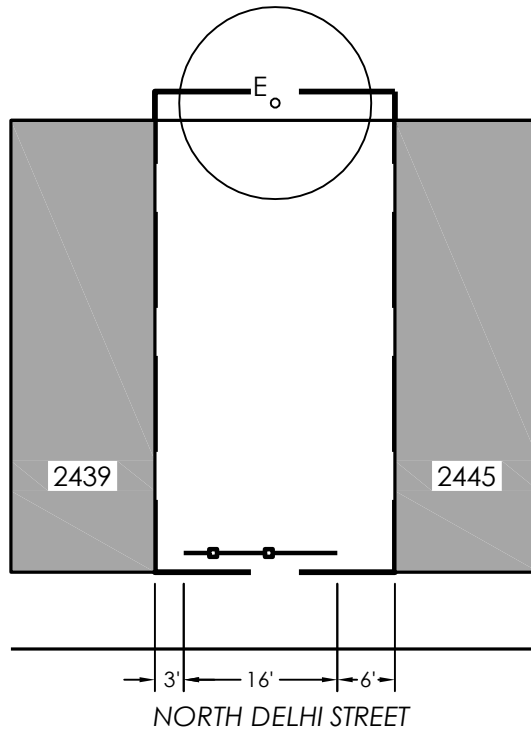


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2441-2443 NORTH DELHI STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VI 105810FN CIP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105810FN CIP



## FENCE & TREE LAYOUT

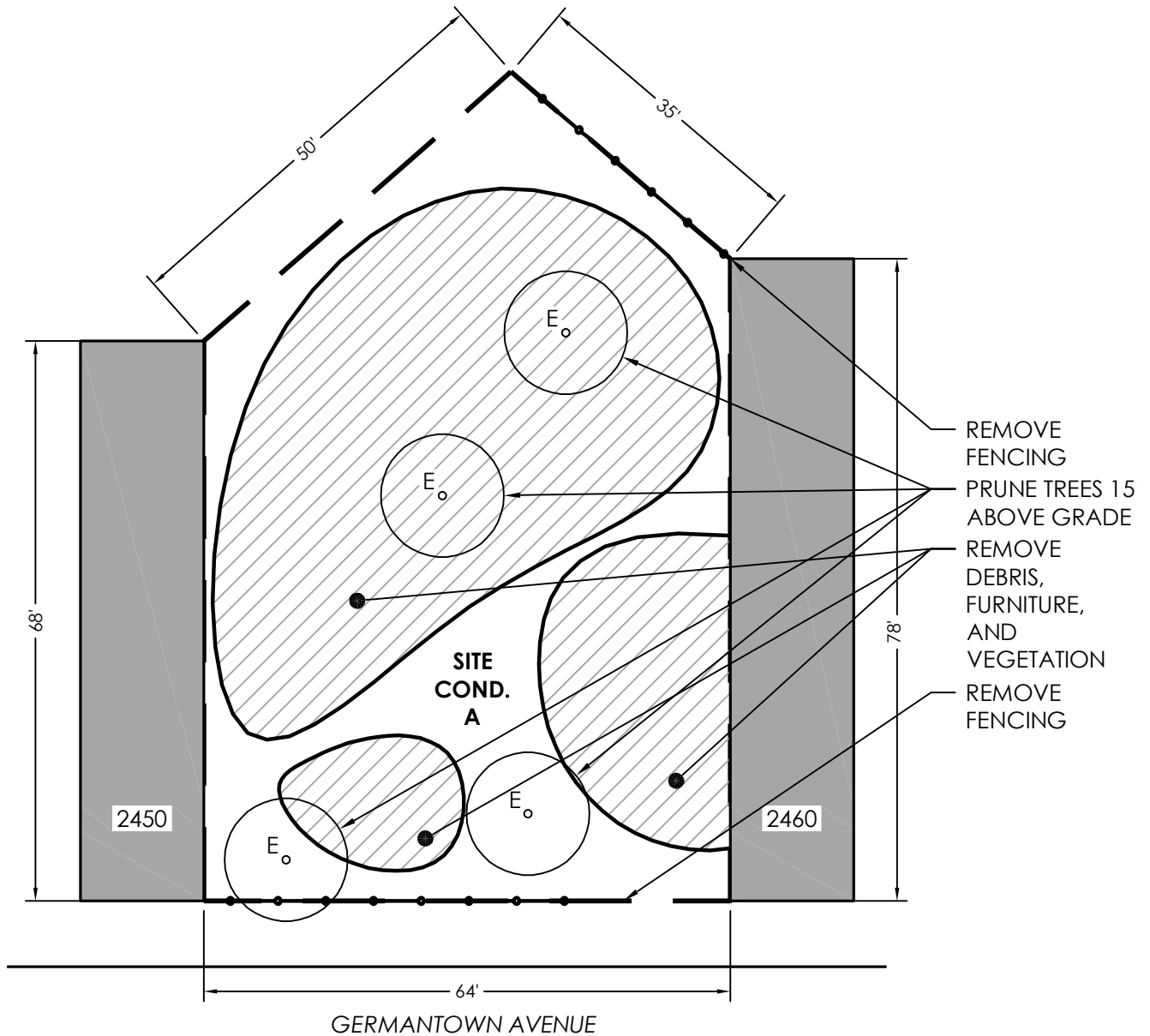
2441-2443 NORTH DELHI STREET

Project Of:

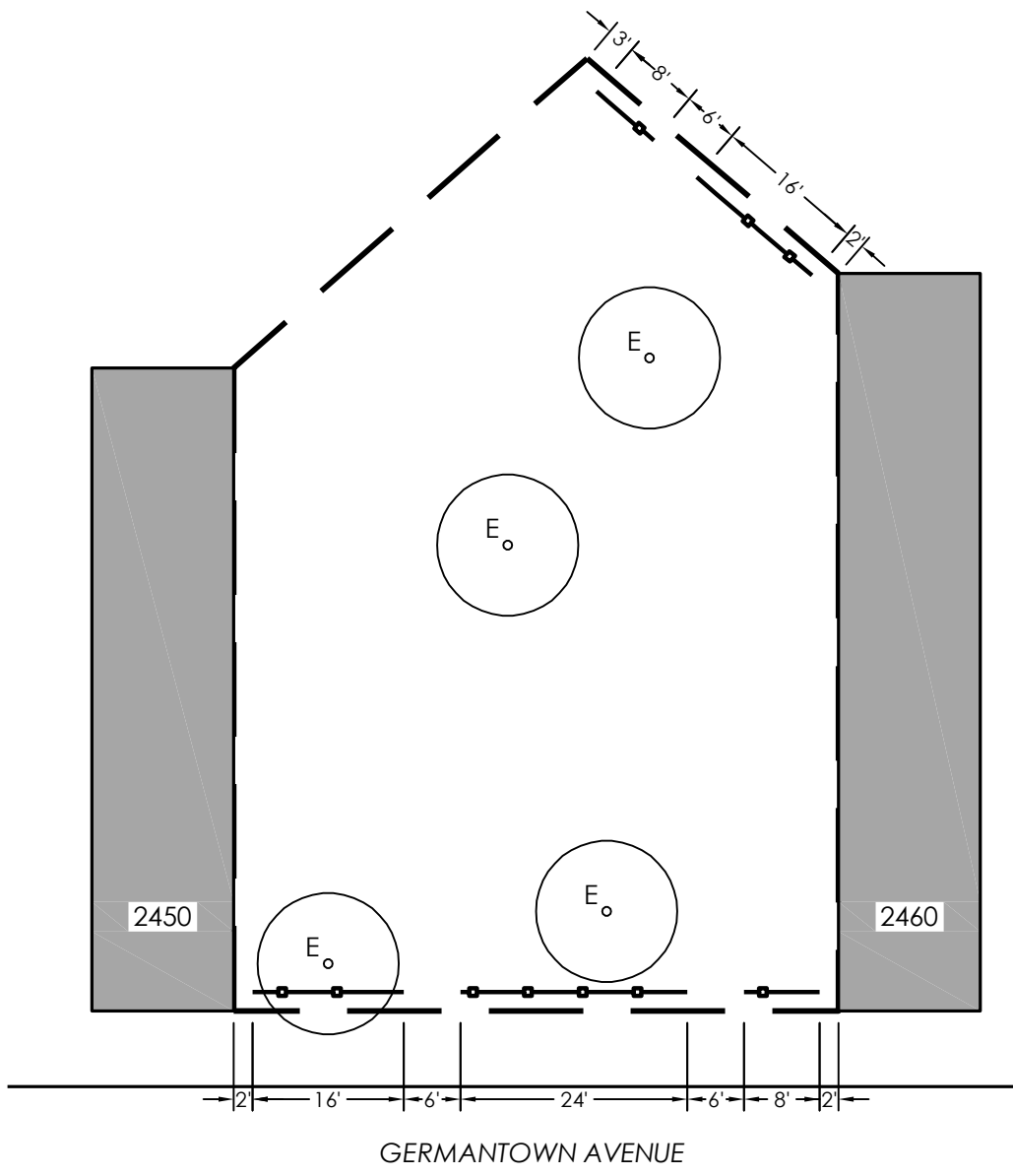


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2452-2458 GERMANTOWN AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VI 105820FN CIP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date  
8/15/2023  
Scale  
1" = 20'  
Group B  
VI 105820FN CIP

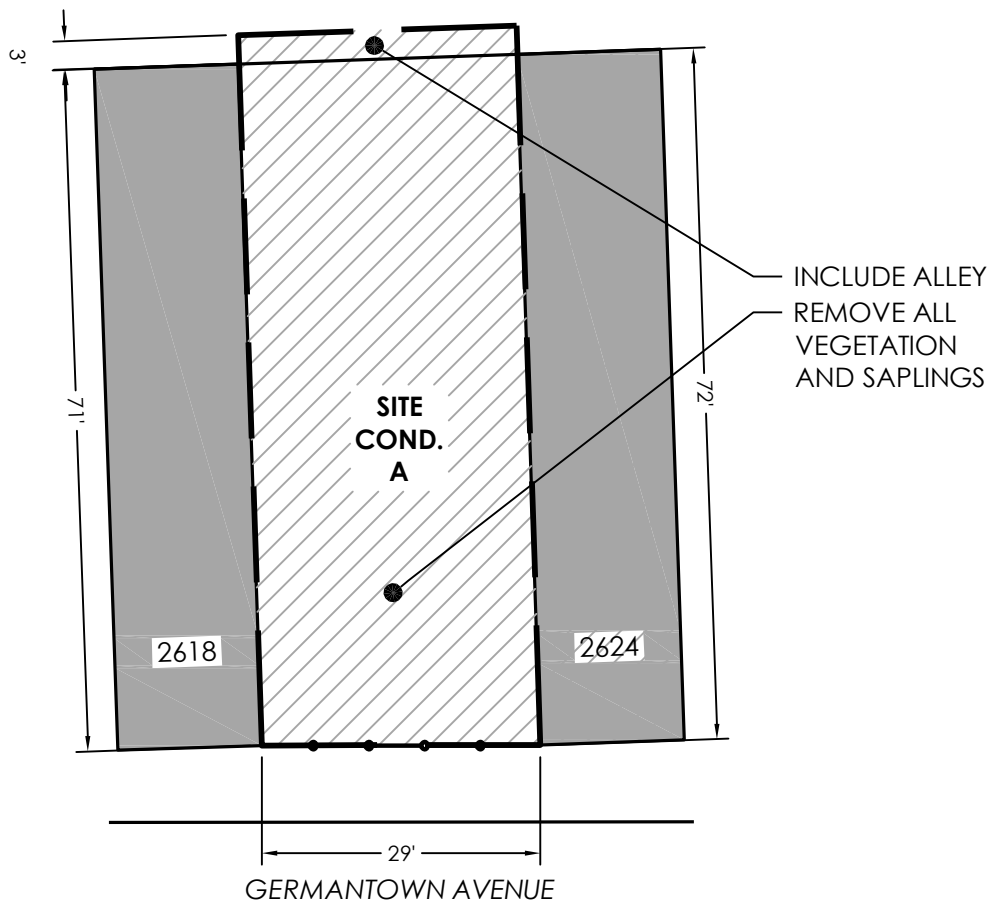


# FENCE & TREE LAYOUT

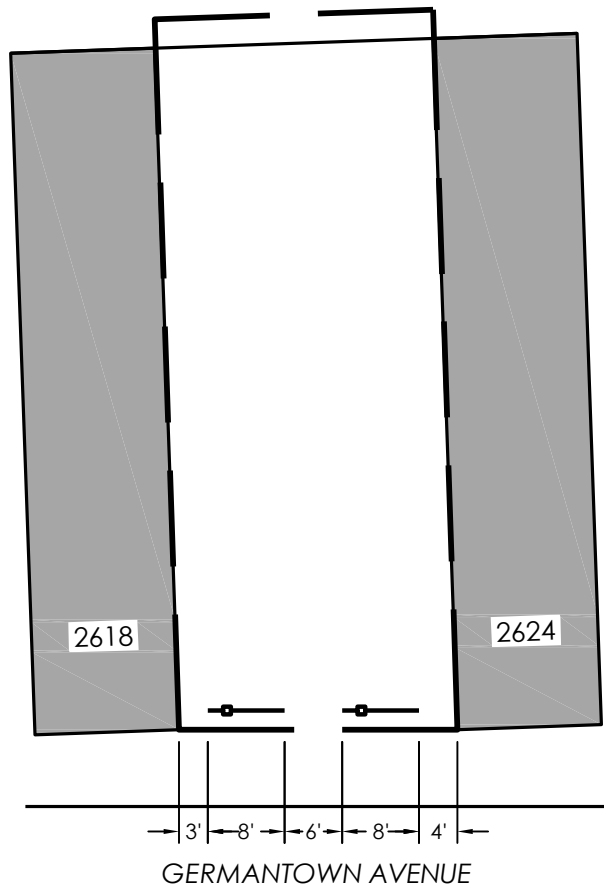
2452-2458 GERMANTOWN AVENUE







Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2620-22 GERMANTOWN AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105860EN CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105860FN C.I.P



## FENCE & TREE LAYOUT

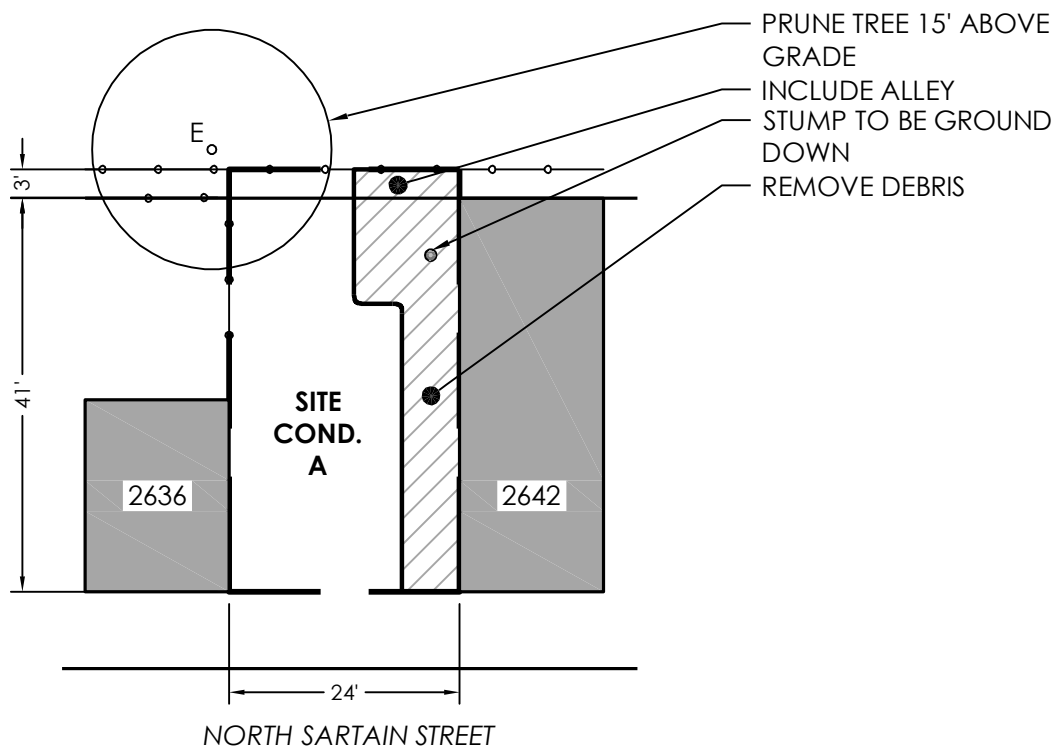
2620-22 GERMANTOWN AVENUE

Project Of:

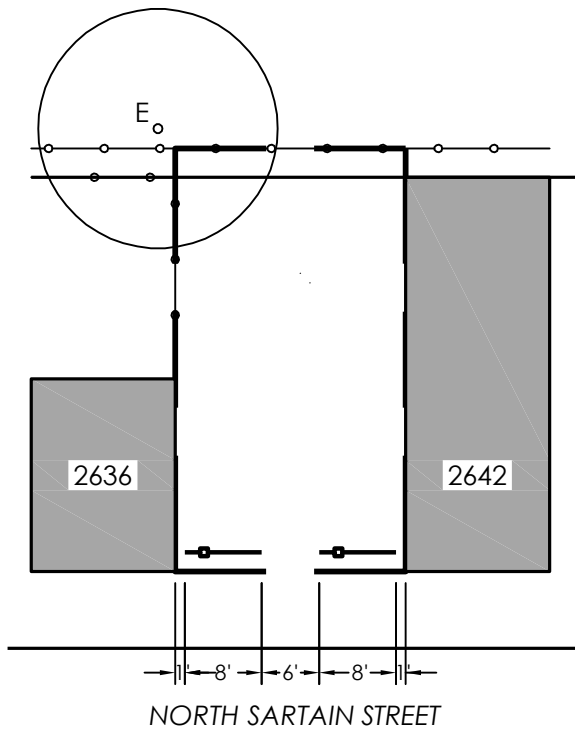


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2638-2640 NORTH SARTAIN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105870EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105870FN C.I.P



## FENCE & TREE LAYOUT

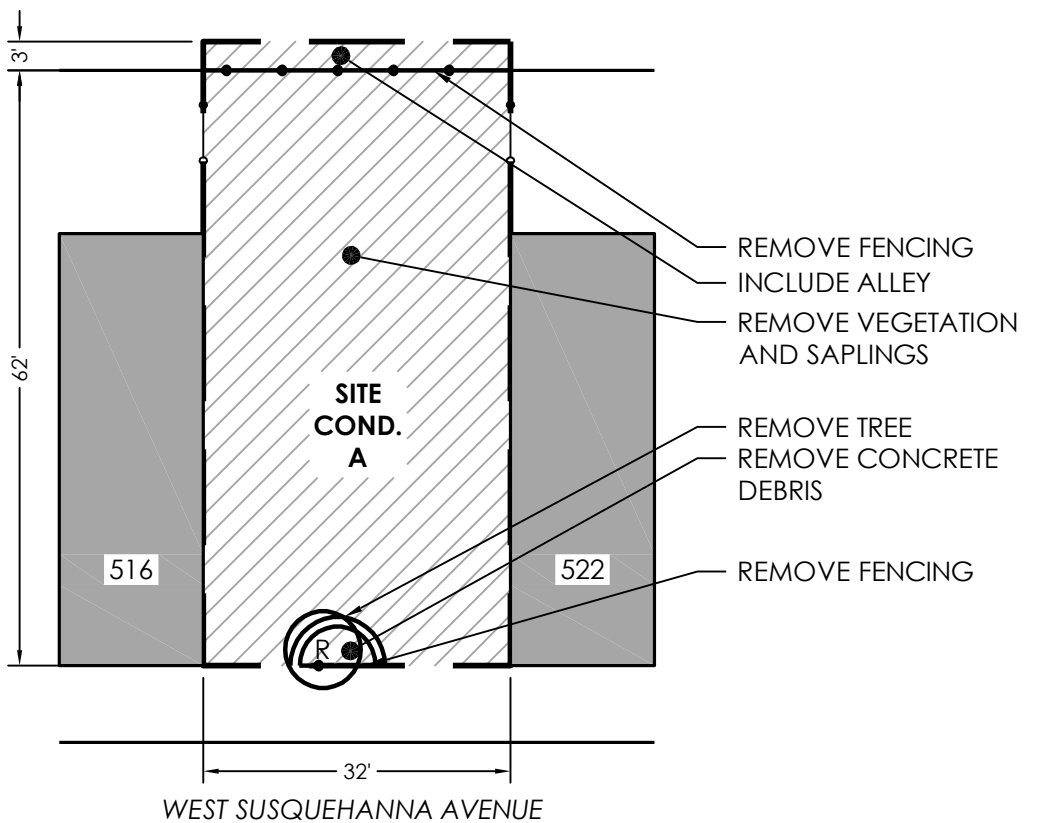
2638-2640 NORTH SARTAIN STREET

Project Of:

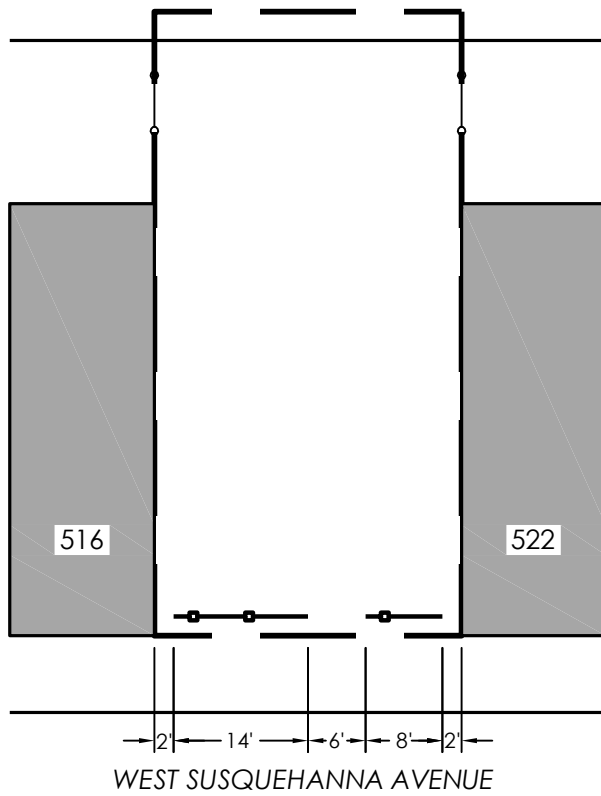


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>518-520 WEST SUSQUEHANNA AVENUE</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105880EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105880FN C.I.P



## FENCE & TREE LAYOUT

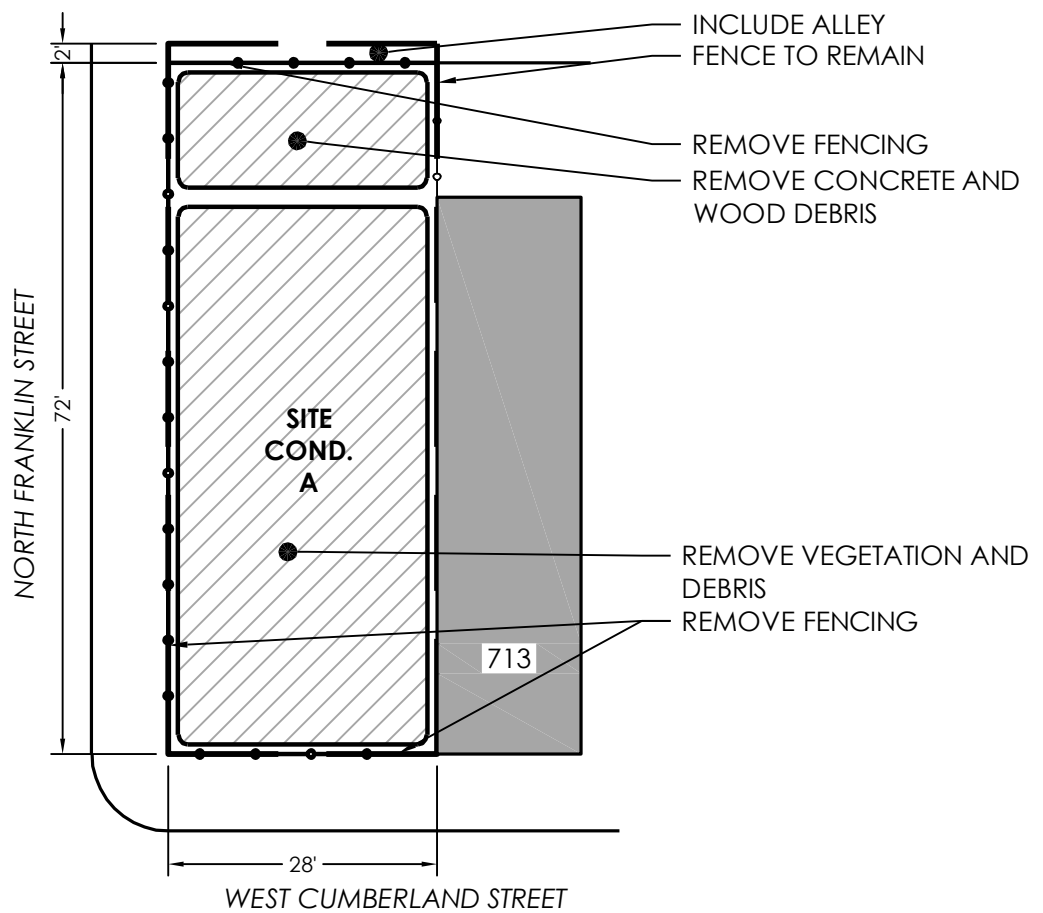
518-520 WEST SUSQUEHANNA AVENUE

Project Of:

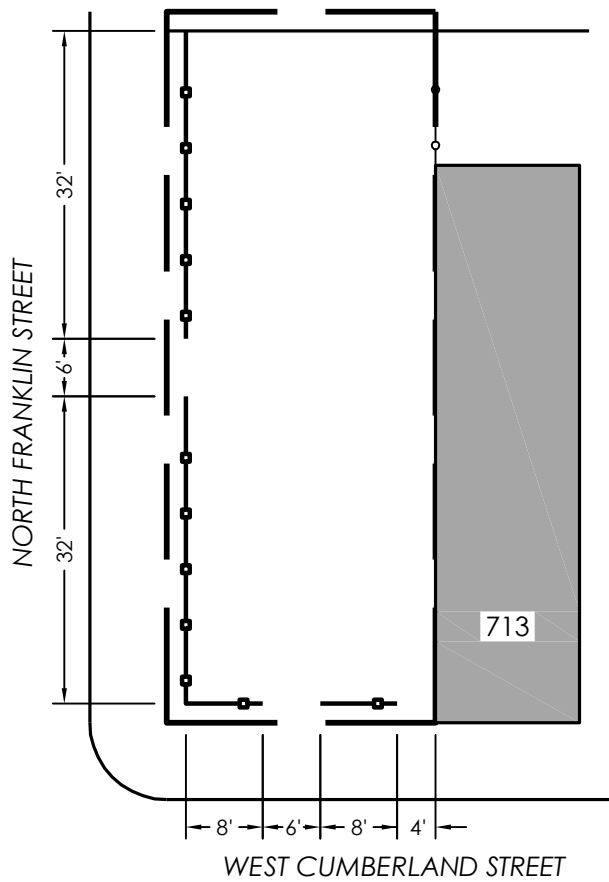


Project Manager:





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>715-717 WEST CUMBERLAND STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B				
VL105890EN CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group B

VI 105890FN C.I.P



# FENCE & TREE LAYOUT

715-717 WEST CUMBERLAND STREET

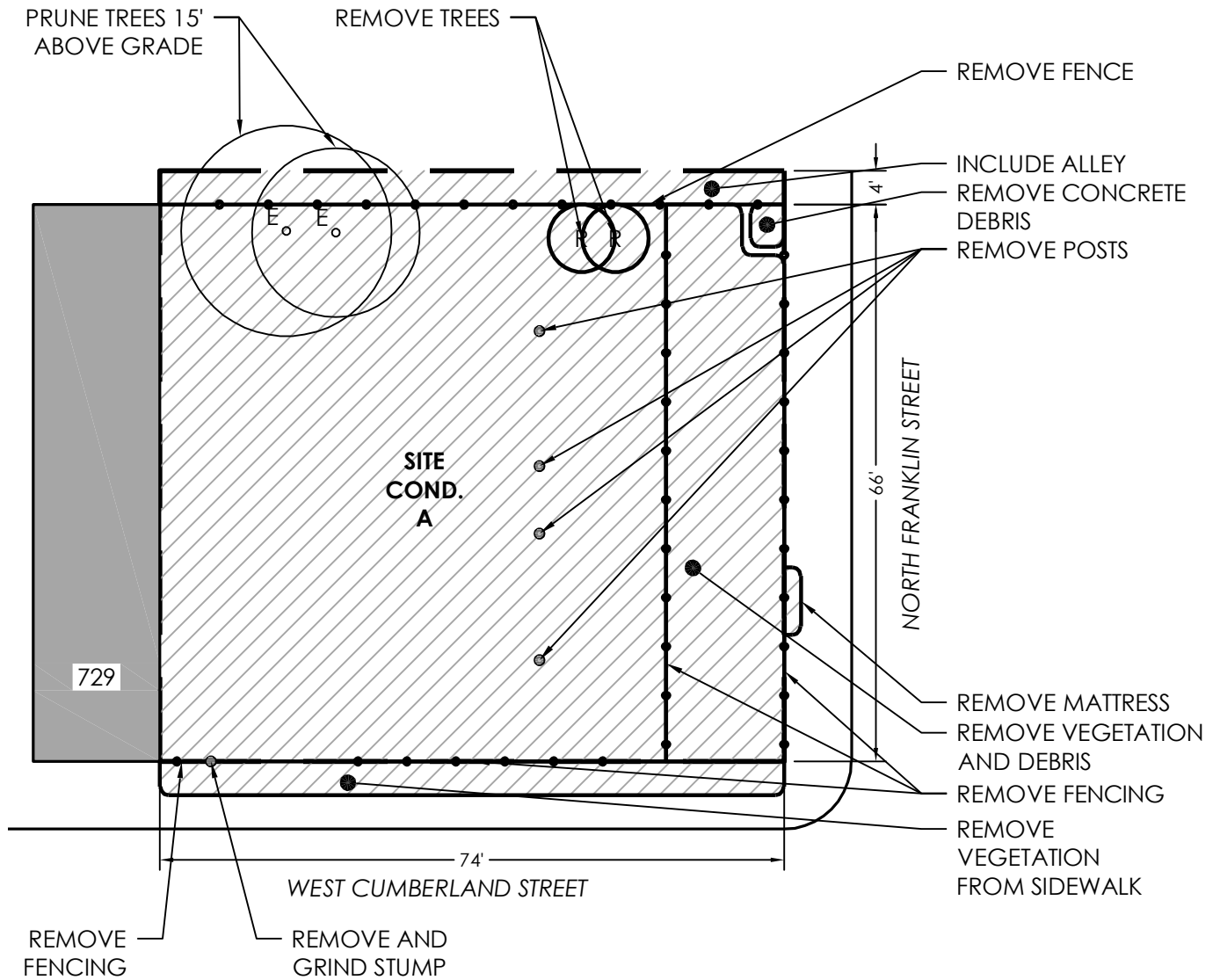
Project Of:



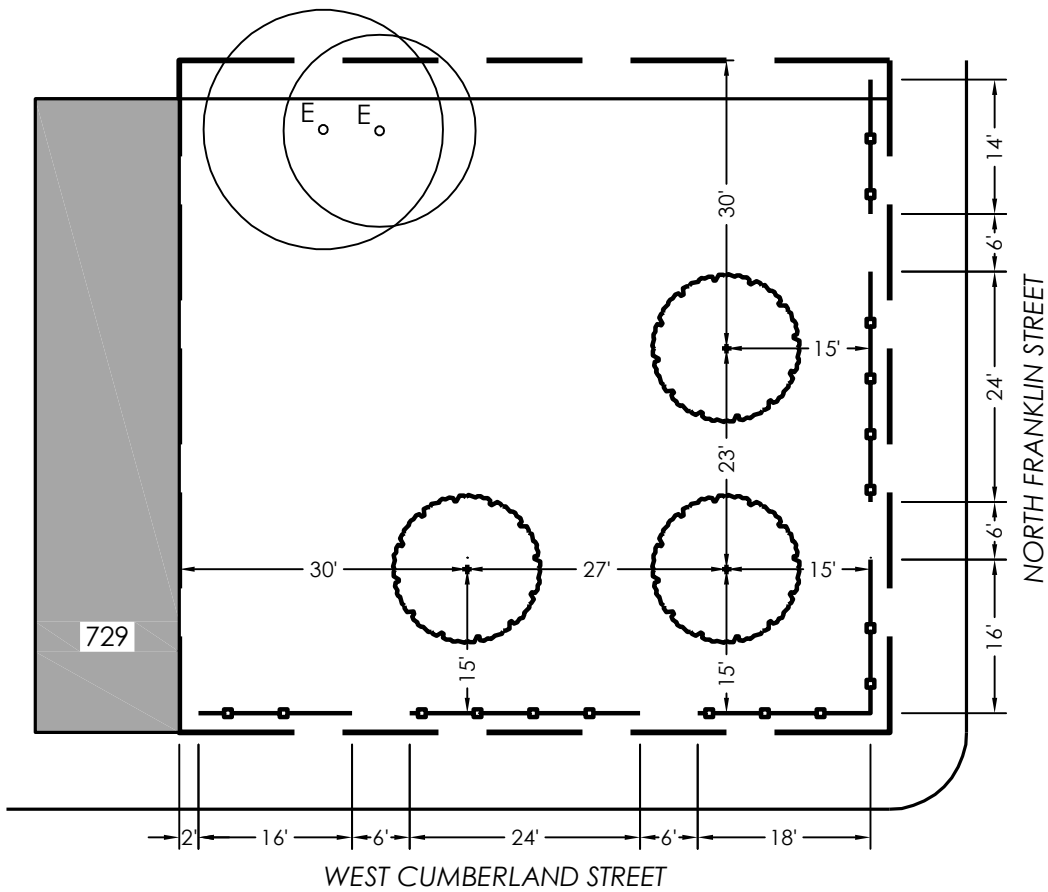
Project Manager:







Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>719-727 WEST CUMBERLAND STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group B VLT05900EN_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date  
8/15/2023  
Scale  
1" = 20'  
Group B  
VLT05900EN CLP



# FENCE & TREE LAYOUT

719-727 WEST CUMBERLAND STREET

Project Of:



Project Manager:



**THE PENNSYLVANIA HORTICULTURAL SOCIETY**

**PHILADELPHIA LANDCARE STABILIZATION**  
**Fall 2023**

**Group C**  
**Tioga**



*Project funded by the City of Philadelphia  
Division of Housing and Community Development*

Group C Site List  
Fall 2023  
Tioga  
Page 1 of 1

<u>VL#</u>	<u>Address Range</u>
VL10601NC_CLP	1812-1814 W TIOGA ST
VL10602NC_CLP	1942-1946 W HILTON ST
VL10605NC_CLP	2221 W TIOGA ST
VL10606NC_CLP	2225 W TIOGA ST
VL10607NC_CLP	2400 W TIOGA ST
VL10609NC_CLP	3320-3322 N GRATZ ST
VL10610NC_CLP	3345-3351 N 19TH ST; 1826-1830 W ONTARIO ST
VL10613NC_CLP	3416-3418 N 21ST ST
VL10618NC_CLP	6001-03 N BEECHWOOD ST (GERMANTOWN)



*Project funded by the City of Philadelphia  
Division of Housing and Community Development*



**PHS**



City of  
**Philadelphia**

Philadelphia LandCare Sites  
Proposed for Group C:  
Germantown - Fall 2023

- Fall 2023 Parcels
- Building



Map C1

1 inch = 100 feet





**PHS**



City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group C:  
Tioga - Fall 2023



Fall 2023 Parcels



Building







**PHS**



City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group C:  
Tioga - Fall 2023

- Fall 2023 Parcels
- Building

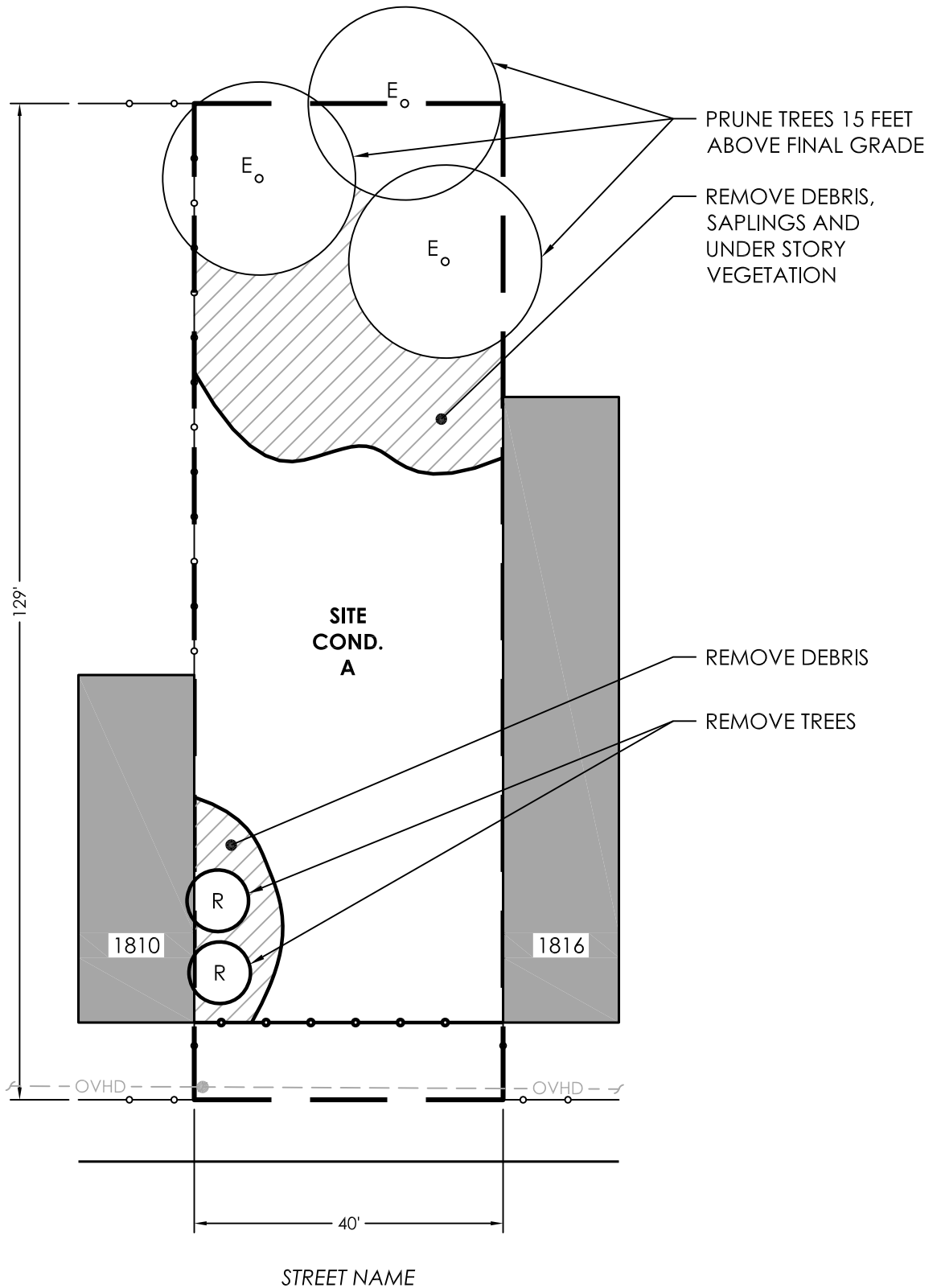


Map C4

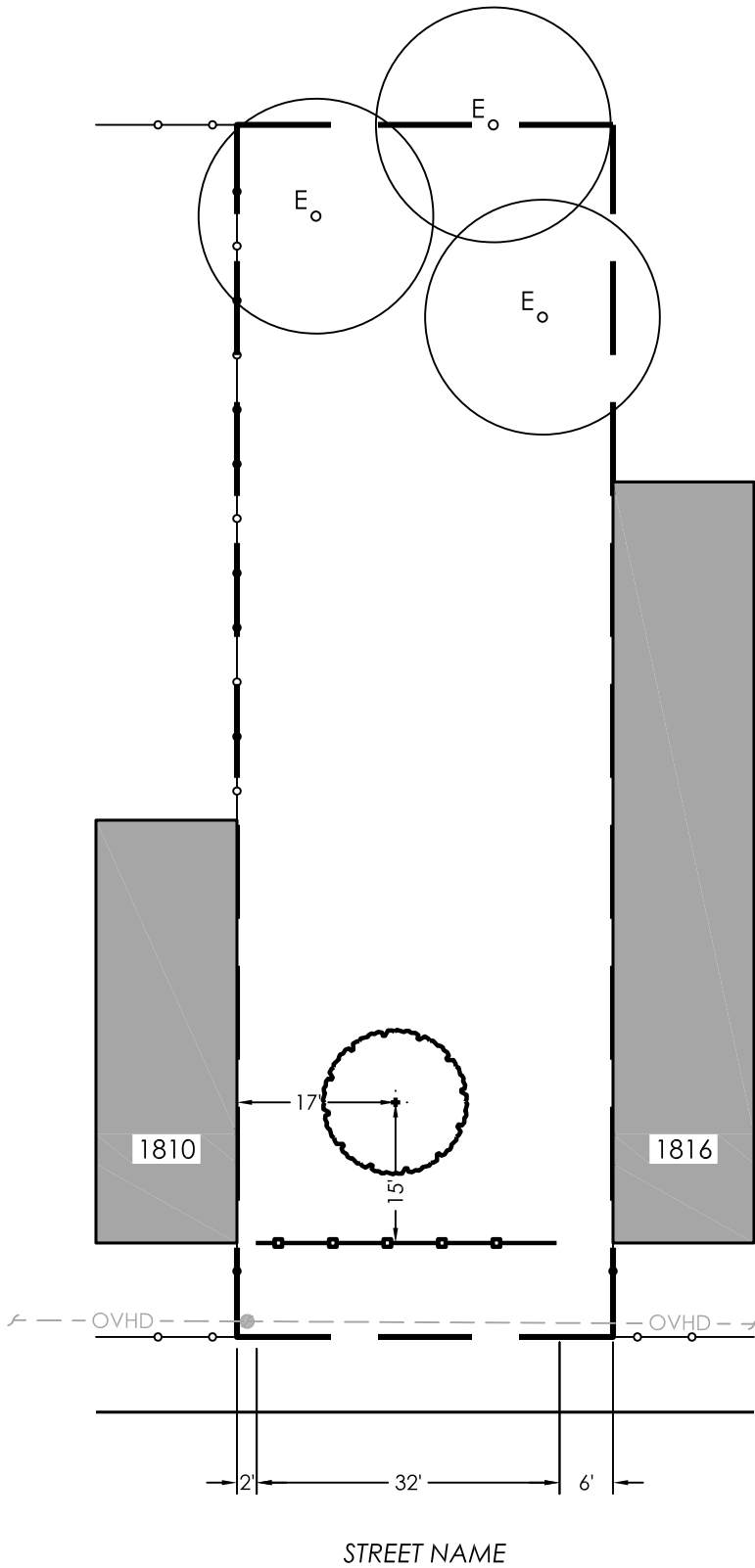
1 inch = 100 feet







Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>1812-1814 WEST TIOGA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL10601NC_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date  
8/15/2023

Scale  
1" = 20'

Group C

VL10601NC\_CLP



## FENCE & TREE LAYOUT

1812-1814 WEST TIOGA STREET

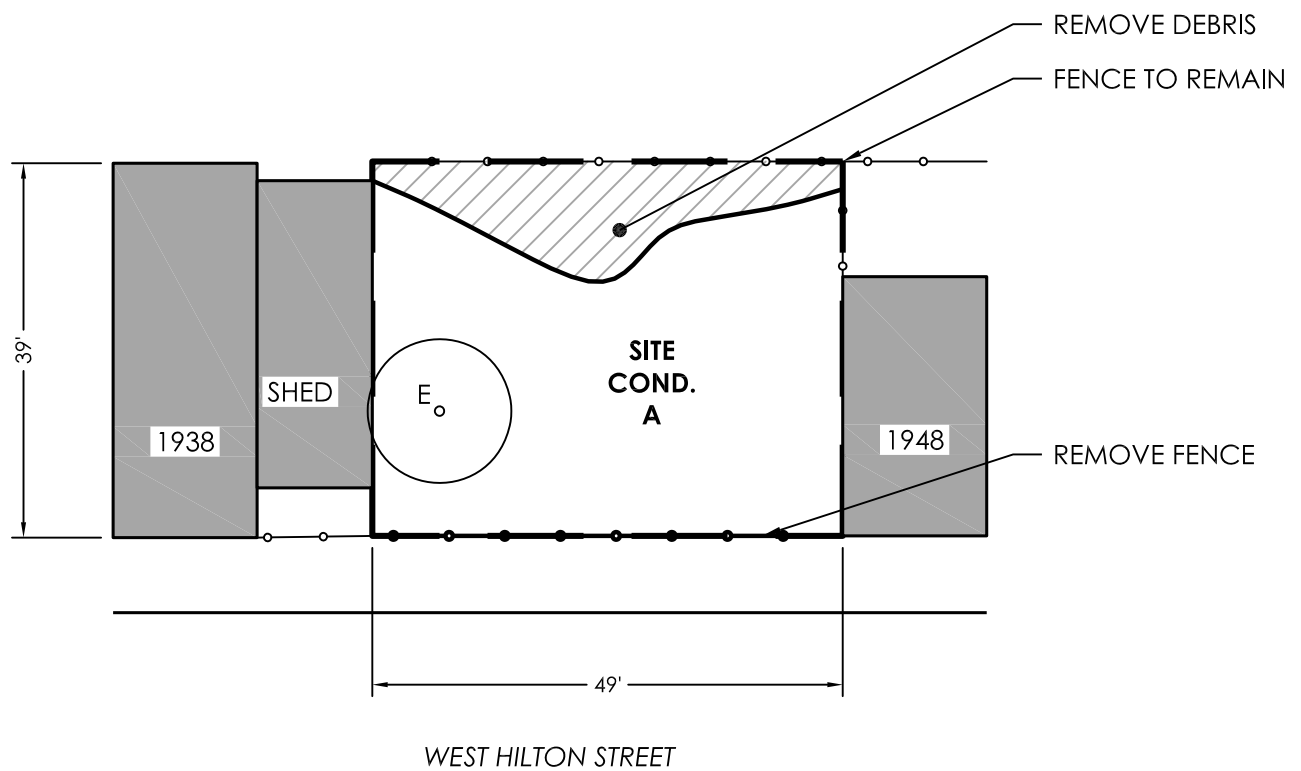
Project Of:



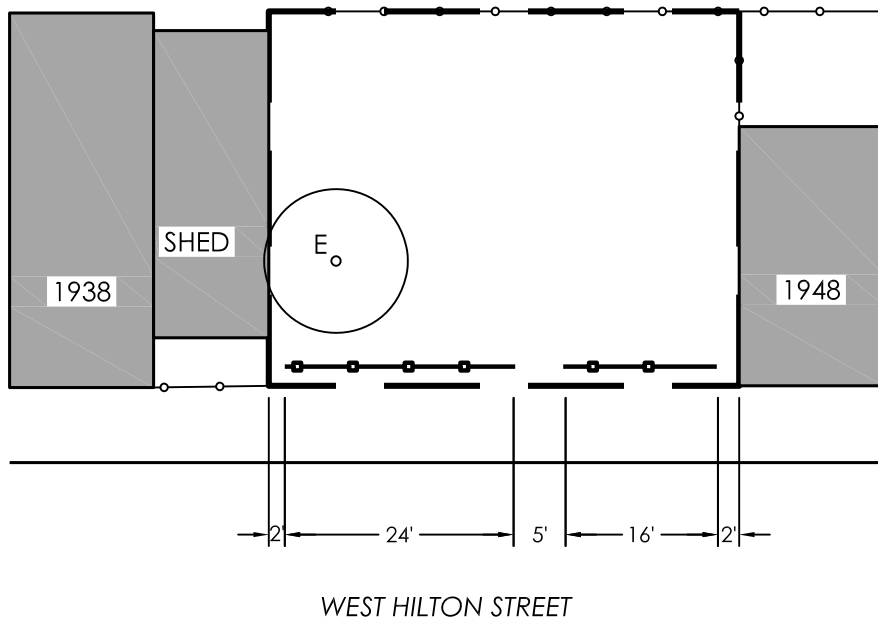
Project Manager:



**PHS**



Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>1940-1946 WEST HILTON STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



Initial Date  
8/15/2023  
Scale  
1" = 20'  
Group C



# FENCE & TREE LAYOUT

1940-1946 WEST HILTON STREET

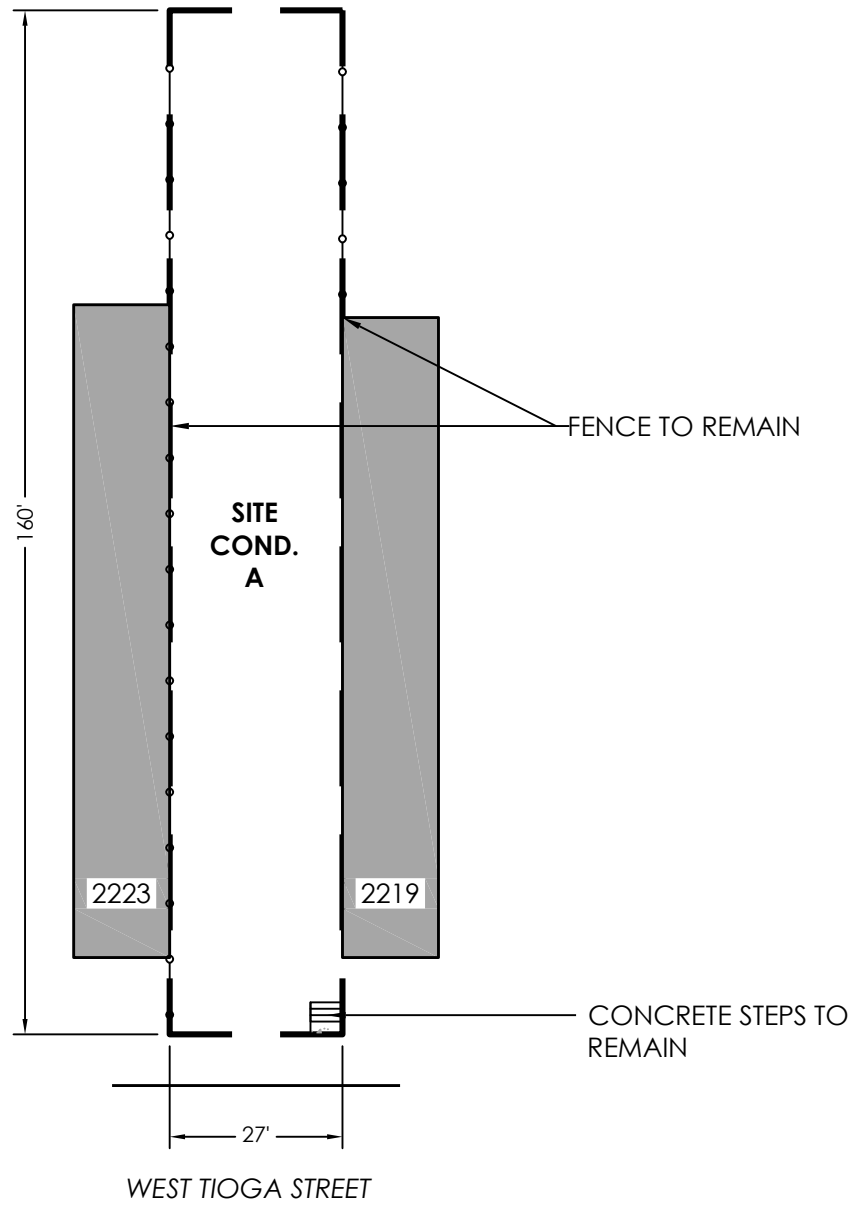
Project Of:



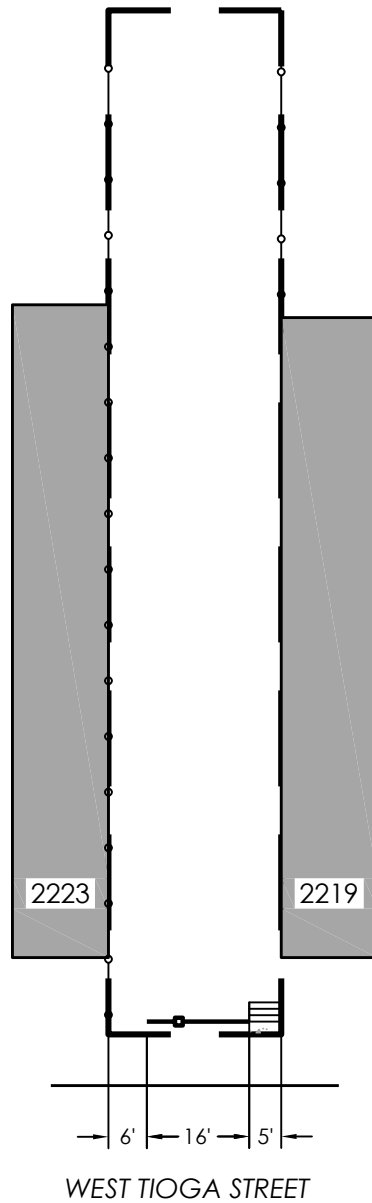
Project Manager:



VL10602NC\_CLP



Initial Date 8/4/2023		<h1>EXISTING CONDITIONS</h1> <p>2221 WEST TIOGA STREET</p>	Project Of:	Project Manager:
Scale 1" = 30'				
Group C				
VL10605NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/4/2023

Scale  
1" = 30'

Group C

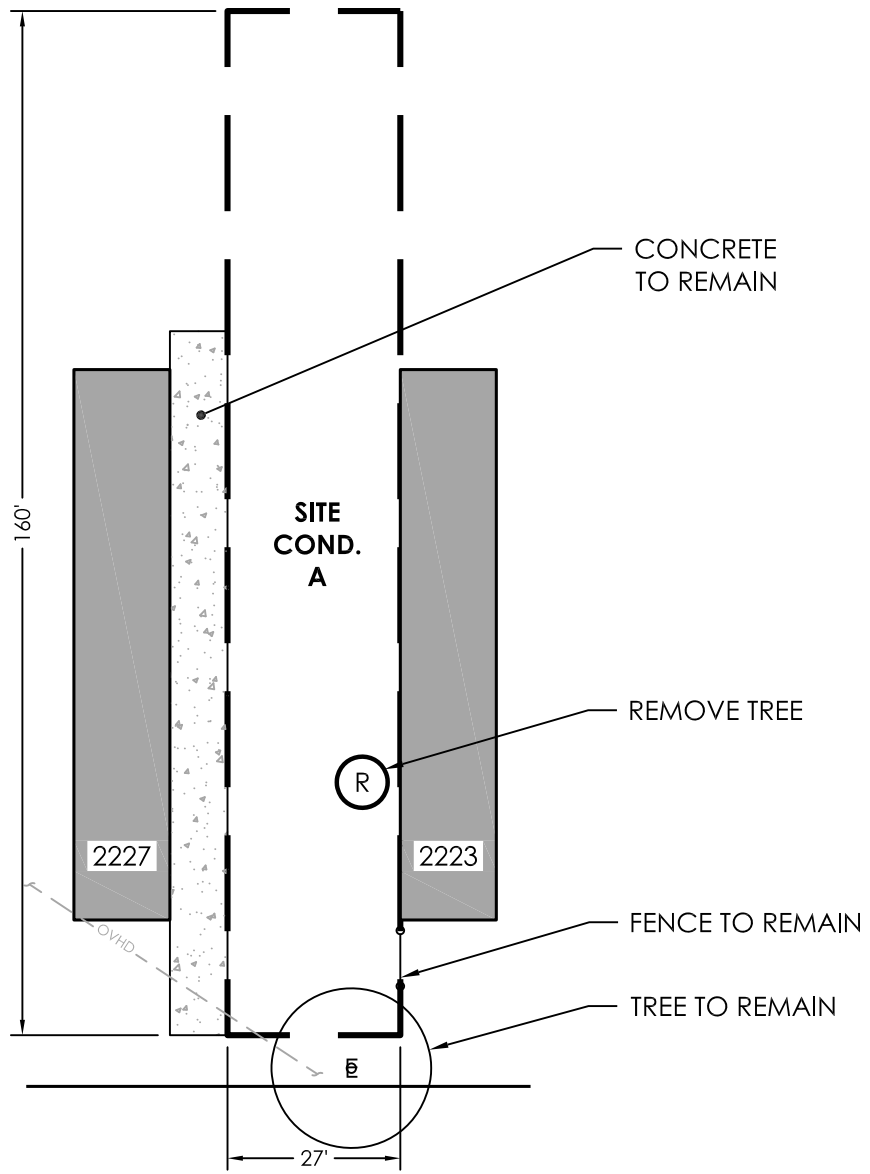
VL10605NC\_CLP



# FENCE & TREE LAYOUT

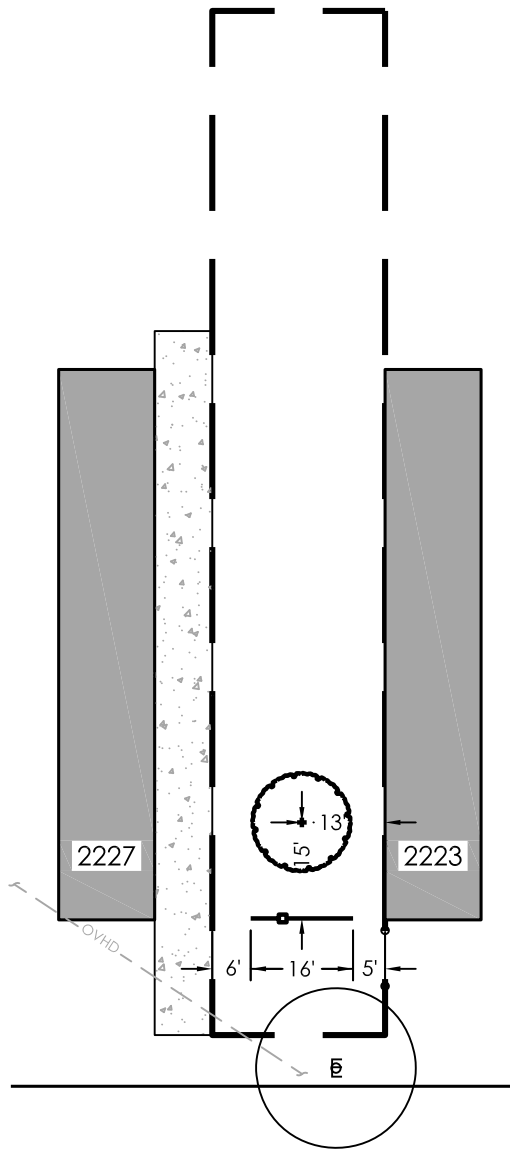
2221 WEST TIOGA STREET





WEST TIOGA STREET

Initial Date 8/9/2023		<h1>EXISTING CONDITIONS</h1> <p>2225 WEST TIOGA STREET</p>	Project Of:	Project Manager:
Scale 1" = 30'				
Group C				
VL10606NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



WEST TIOGA STREET

Initial Date  
8/9/2023  
Scale  
1" = 30'  
Group C



# FENCE & TREE LAYOUT

2225 WEST TIOGA STREET

Project Of:

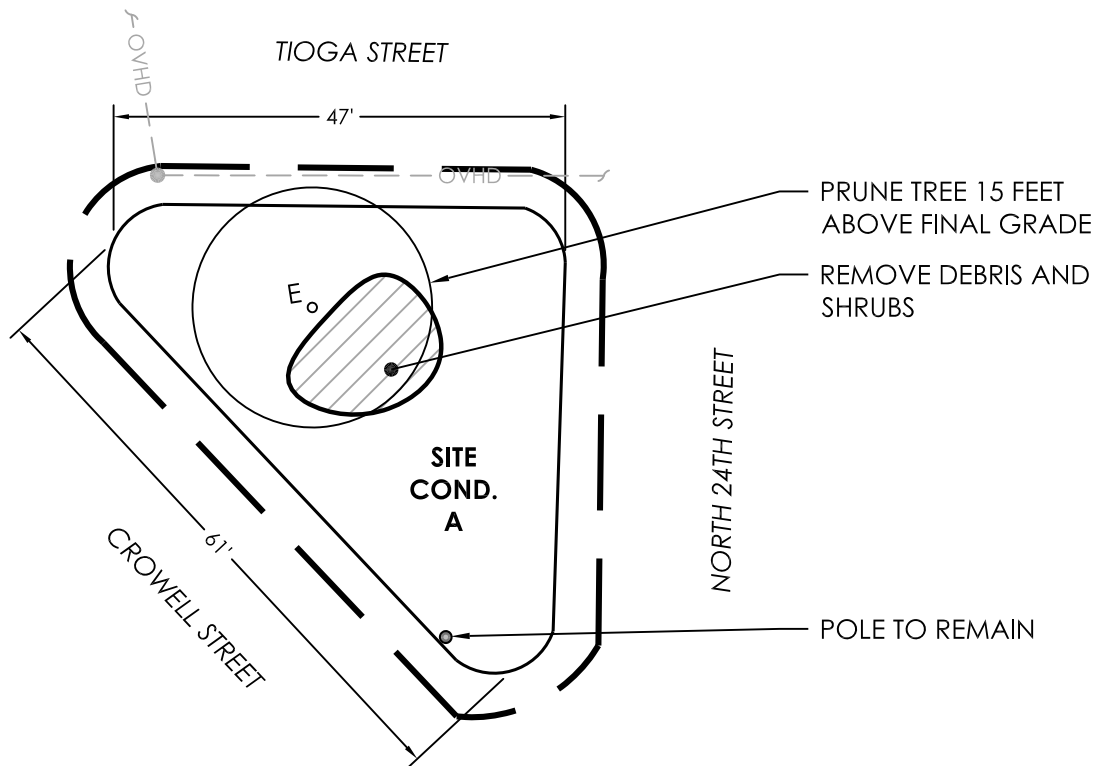


Project Manager:

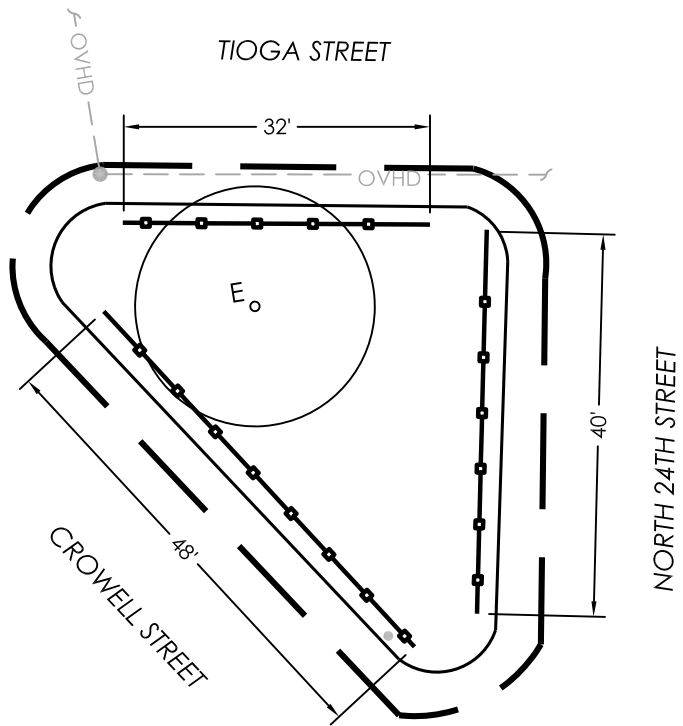


VL10606NC\_CLP





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2400 WEST TIOGA STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL10607NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group C



# FENCE & TREE LAYOUT

2400 WEST TIOGA STREET

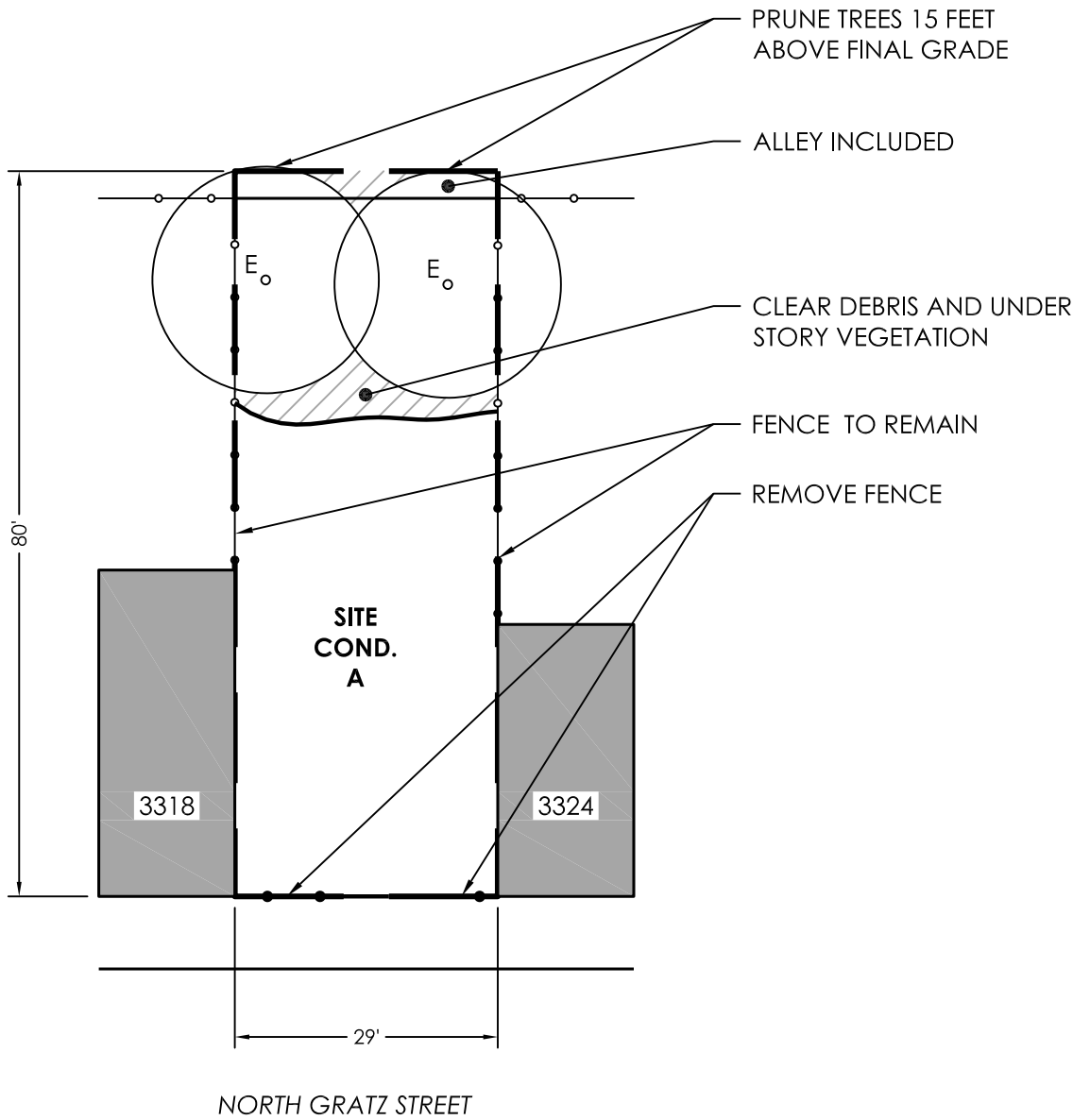
VL10607NC\_CLP

Project Of:

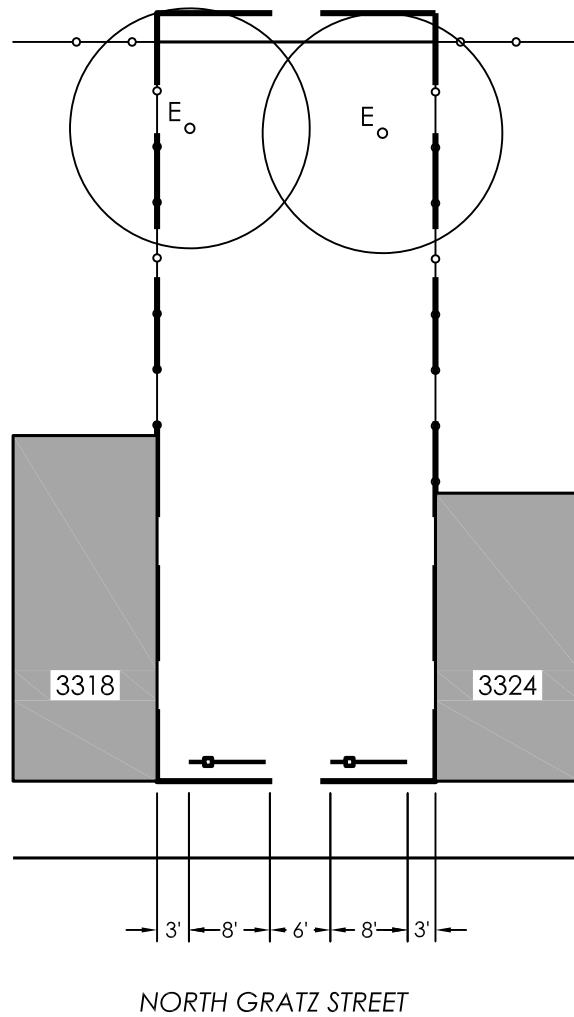


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>3320-3322 NORTH GRATZ STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL10609NC_CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group C

VL10609NC\_CLP



## FENCE & TREE LAYOUT

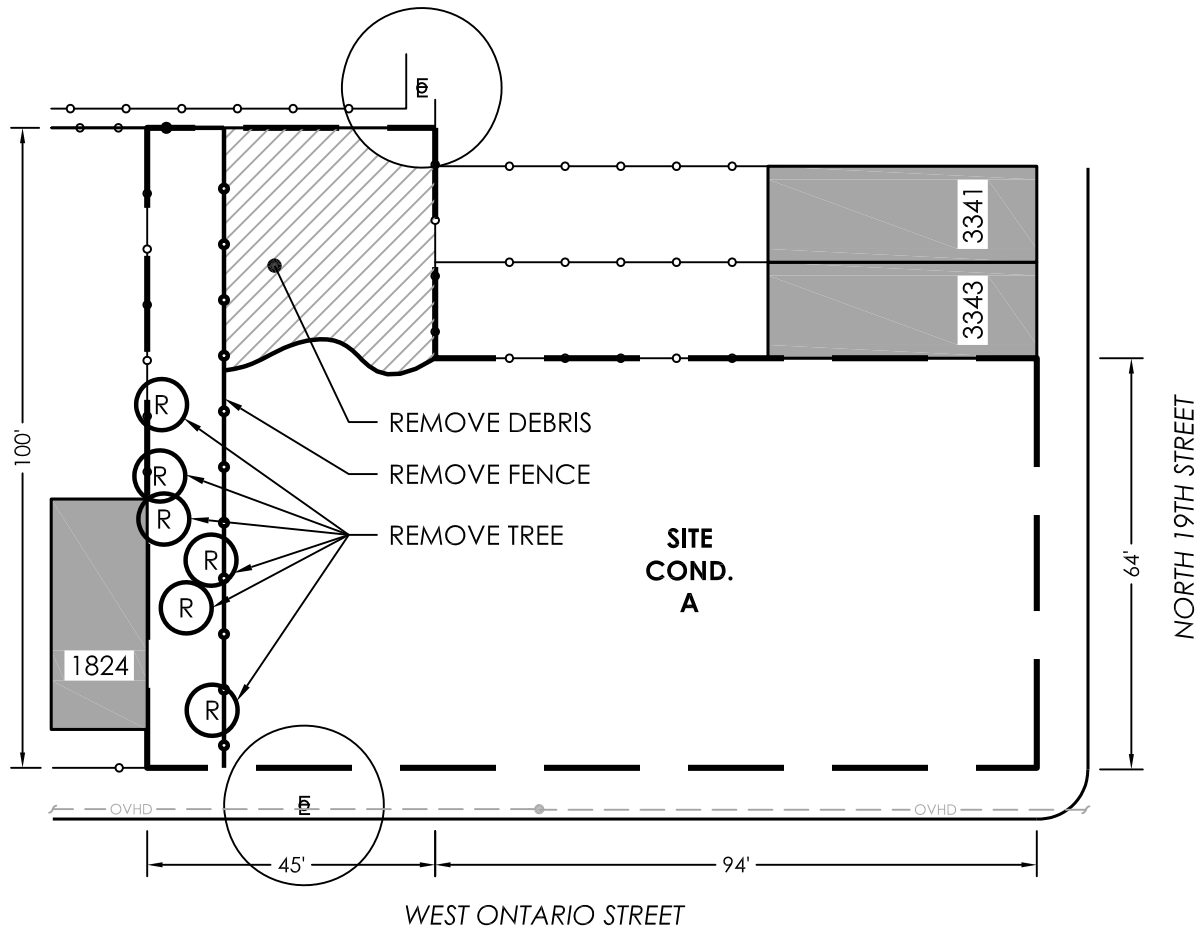
3320-3322 NORTH GRATZ STREET

Project Of:

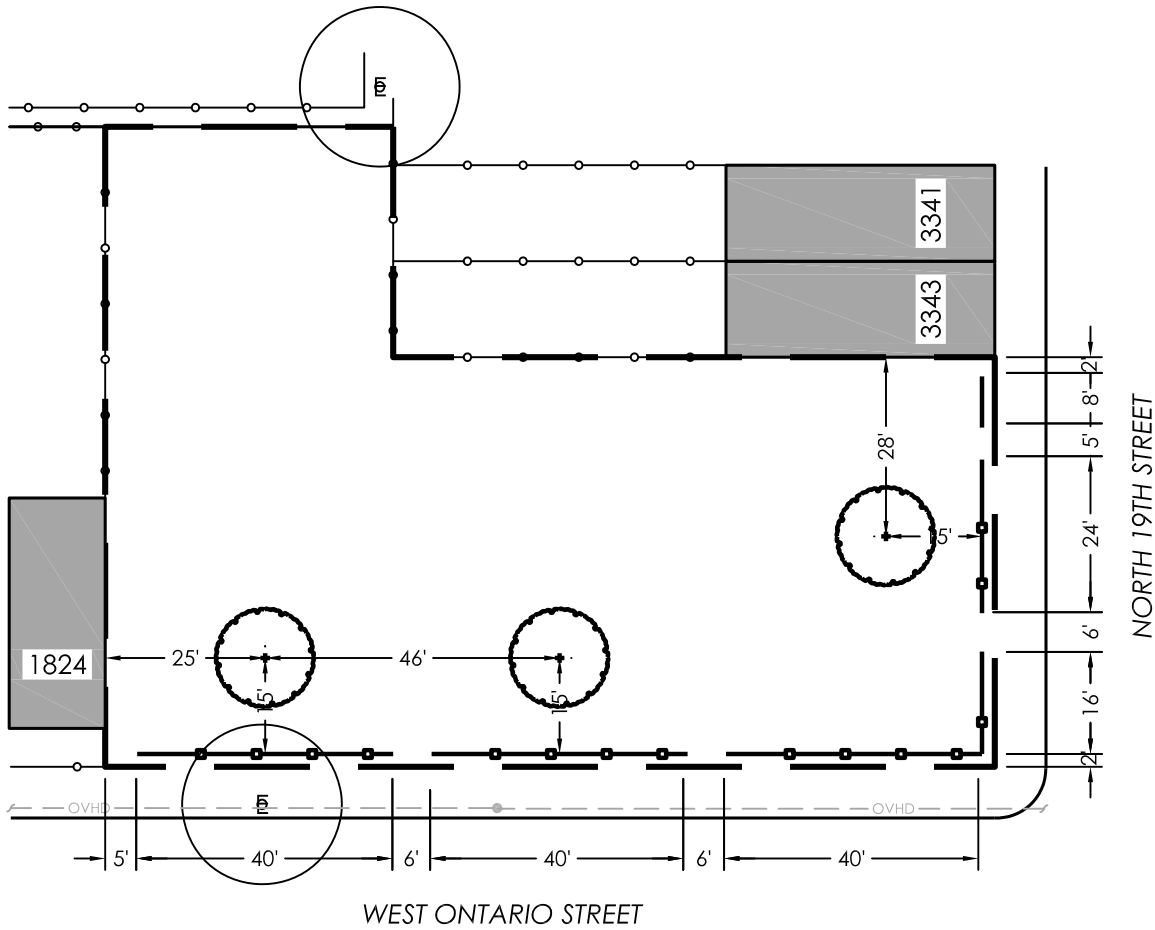


Project Manager:





Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>3345-3351 NORTH 19TH STREET; 1826-1830 WEST ONTARIO STREET</p>	Project Of:	Project Manager:
Scale 1" = 30'				
Group C				
VL10610NC_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date  
8/15/2023  
Scale  
1" = 30'  
Group C



## FENCE & TREE LAYOUT

3345-3351 NORTH 19TH STREET; 1826-1830 WEST ONTARIO STREET

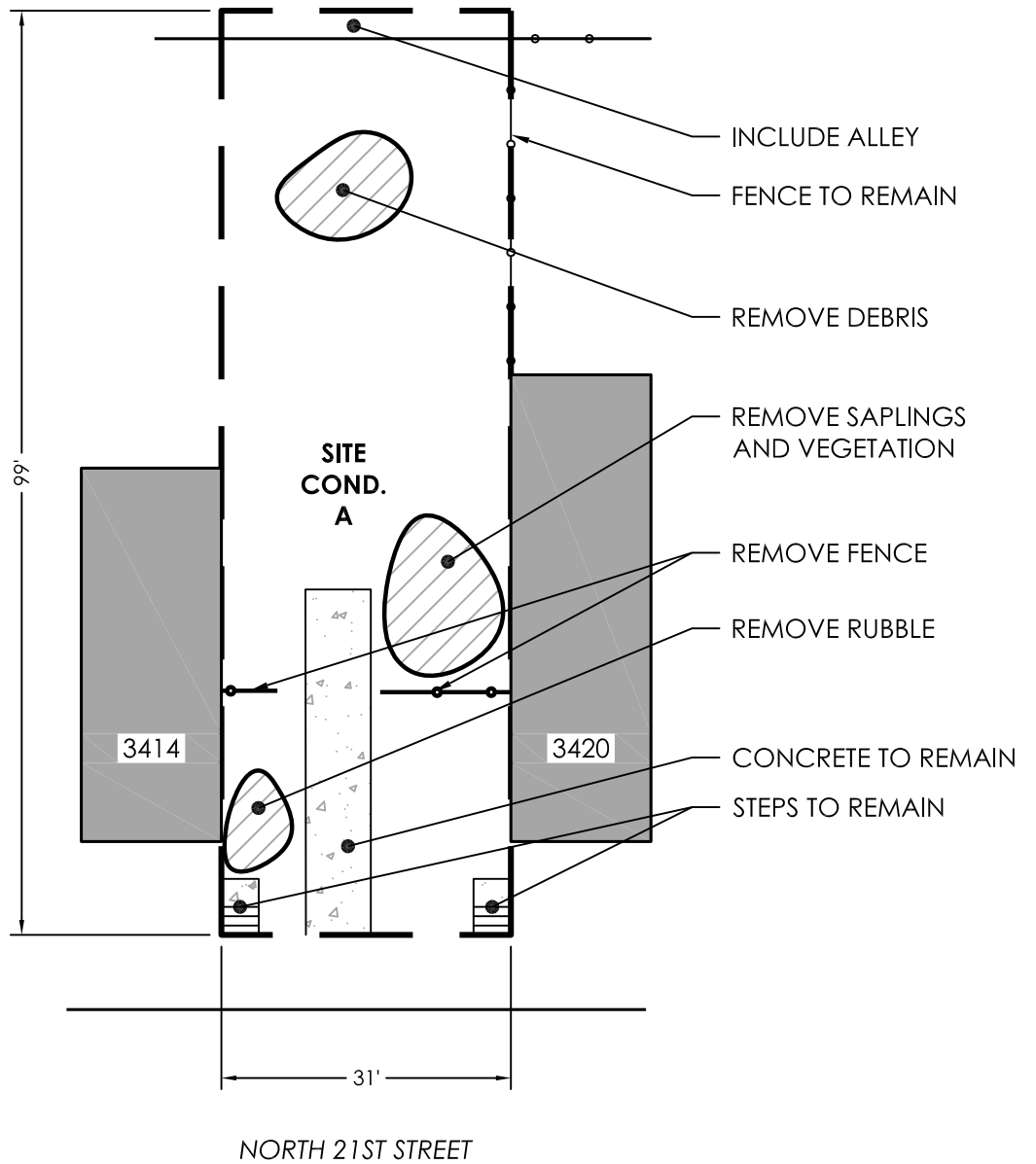
Project Of:



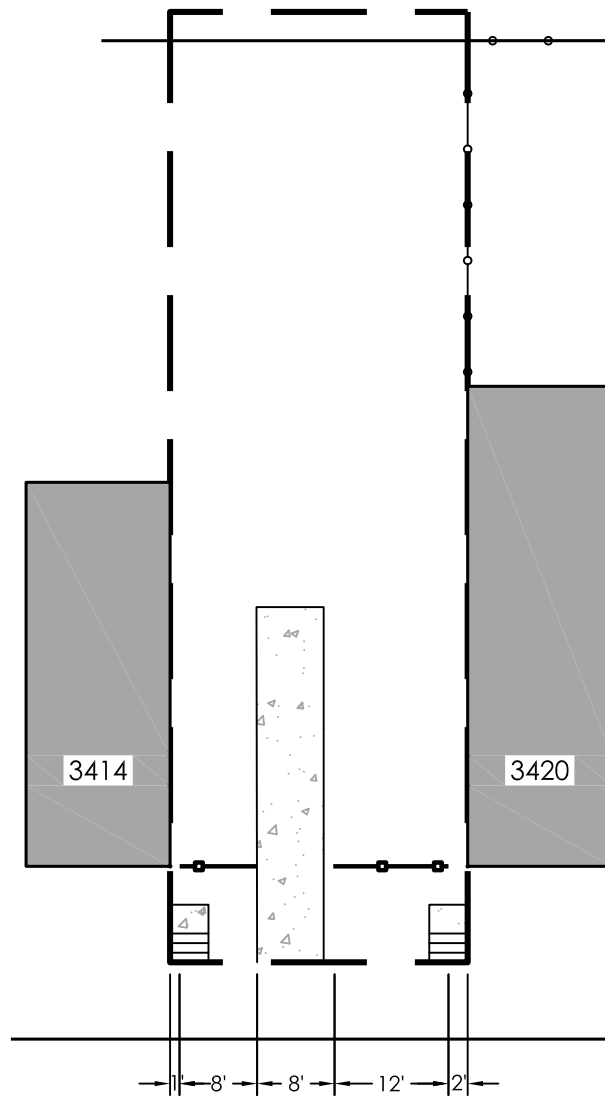
Project Manager:



VL10610NC\_CLP



Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>3416-3418 NORTH 21ST STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL10613NC_CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



NORTH 21ST STREET

Initial Date  
8/15/2023

Scale  
1" = 20'

Group C

VL10613NC\_CLP



# FENCE & TREE LAYOUT

3416-3418 NORTH 21ST STREET

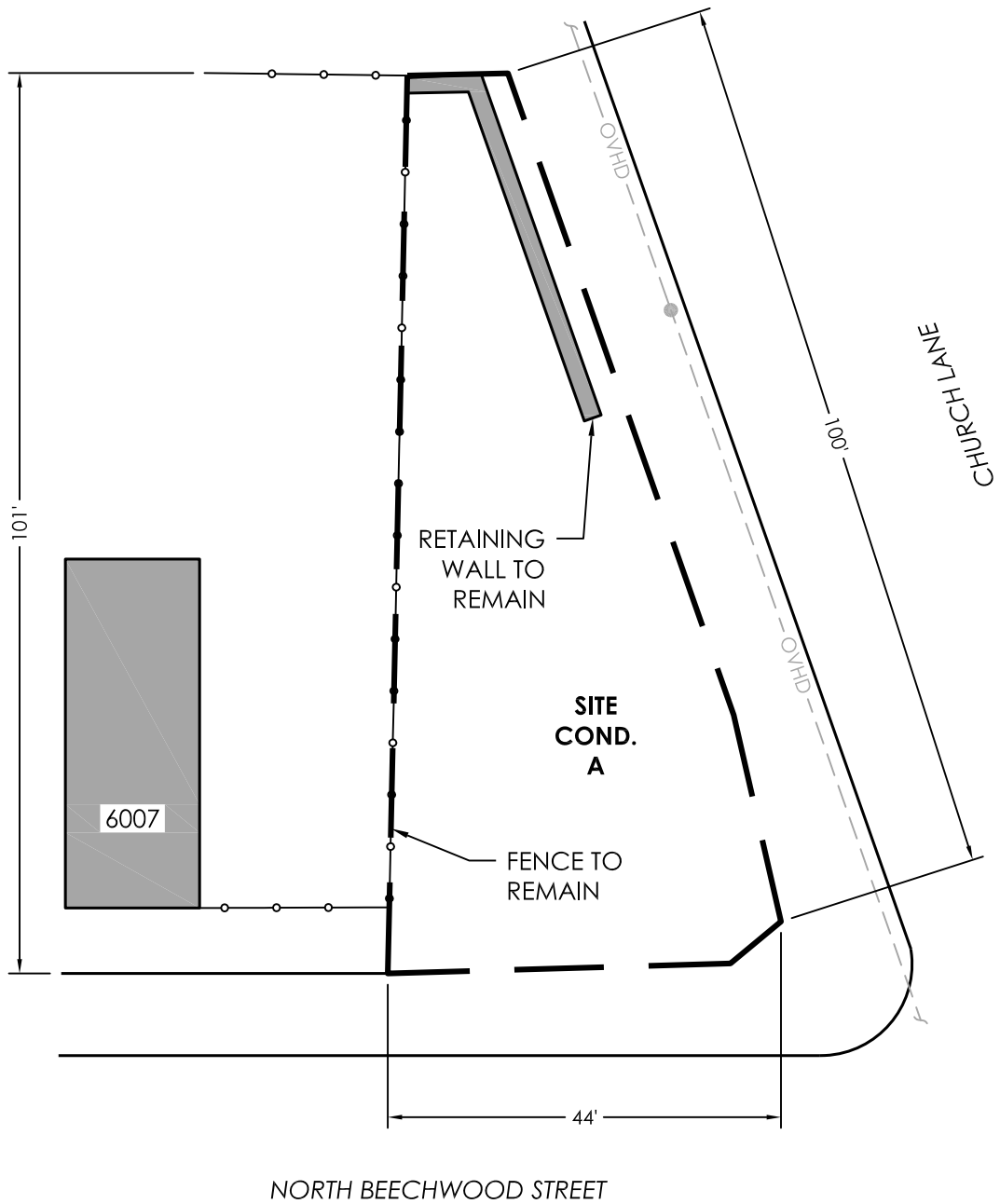
Project Of:



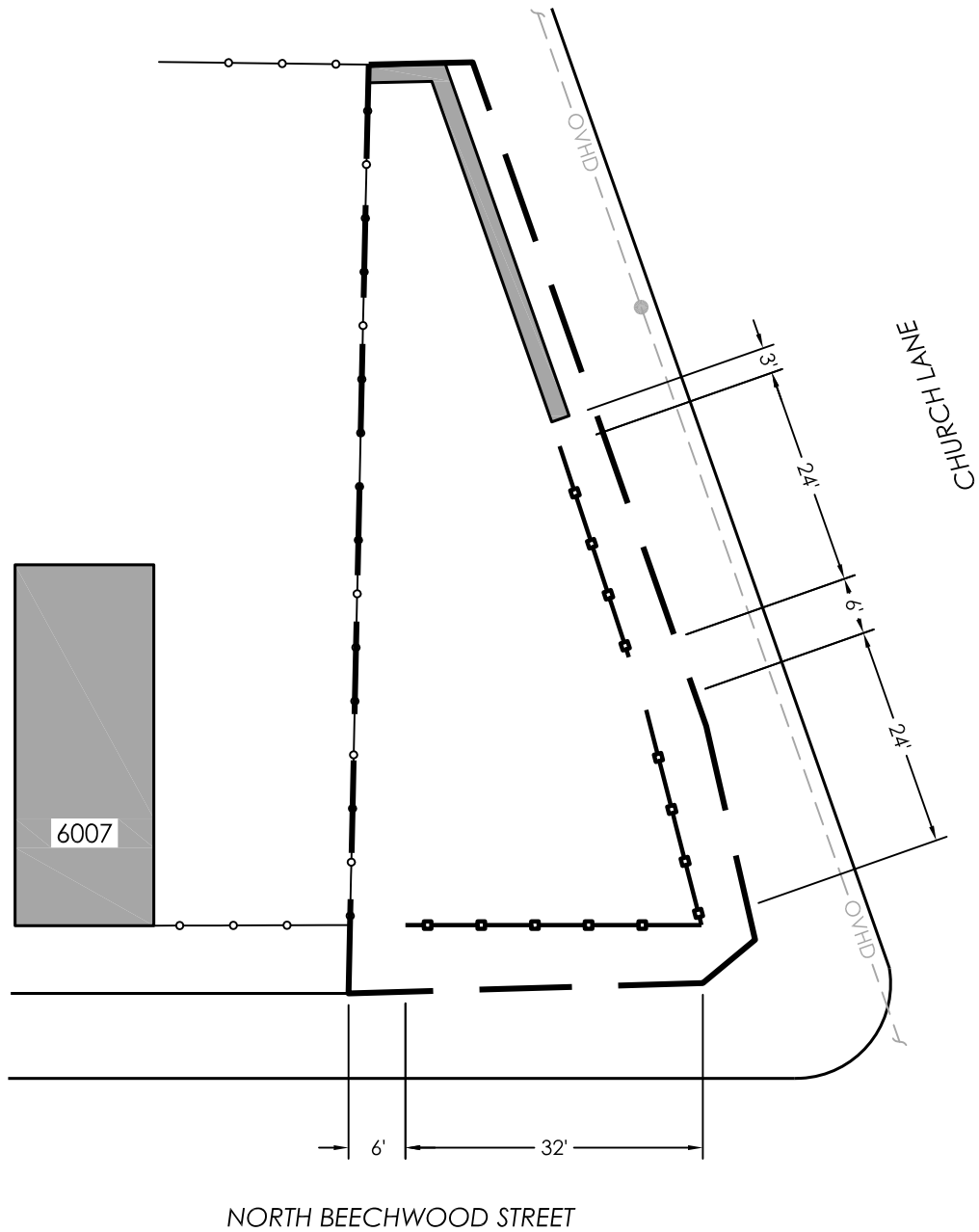
Project Manager:







Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>6001-03 NORTH BEECHWOOD STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group C				
VL10618NC_CLP	<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>			



Initial Date  
8/15/2023

Scale  
1" = 20'

Group C



# FENCE & TREE LAYOUT

6001-03 NORTH BEECHWOOD STREET

VL10618NC\_CLP

Project Of:



Project Manager:



**THE PENNSYLVANIA HORTICULTURAL SOCIETY**

**PHILADELPHIA LANDCARE STABILIZATION**

**Fall 2023**

**Group D**

**Stanton**



*Project funded by the City of Philadelphia  
Division of Housing and Community Development*

Group D Site List  
Fall 2023  
Stanton  
Page 1 of 1

<u>VL#</u>	<u>Address Range</u>
VL10621NC_CLP	1911-1921 N 20TH ST; 1912-1914 N UBER ST
VL10622NC_CLP	2021-23 N CROSKEY ST
VL10628NC_CLP	2134-2138 N LAMBERT ST
VL10631NC_CLP	2233-2241 W NORRIS ST
VL10632NC_CLP	2239-2241 FONTAIN ST
VL10633NC_CLP	2239-2241 PAGE ST
VL10634NC_CLP	2301-2325 N 22ND ST; 2316, 2320, 2326-2328 N BEECHWOOD ST
VL10637NC_CLP	2366-2368 NORTH GRATZ STREET
VL10638NC_CLP	2402 N GRATZ ST
VL10639NC_CLP	2413-2415 N 20TH ST



*Project funded by the City of Philadelphia  
Division of Housing and Community Development*





PHS



City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group D:  
Stanton - Fall 2023

-  Fall 2023 Parcels
-  Building



Map D1

1 inch = 100 feet







**PHS**



City of  
**Philadelphia**

Philadelphia LandCare Sites  
Proposed for Group D:  
Stanton - Fall 2023

-  Fall 2023 Parcels
-  Building





PHS



City of Philadelphia

Philadelphia LandCare Sites  
Proposed for Group D:  
Stanton - Fall 2023

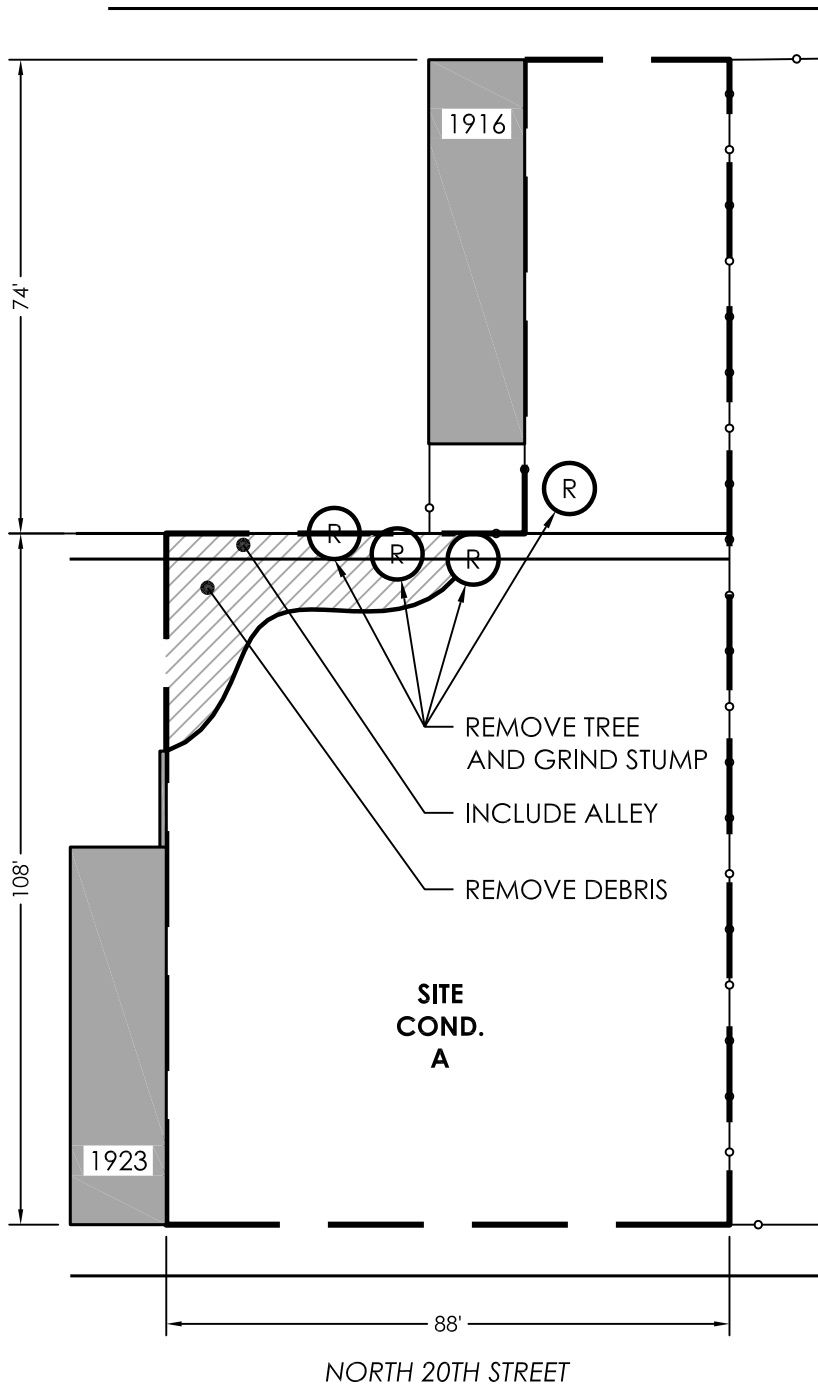
- Fall 2023 Parcels
- Building



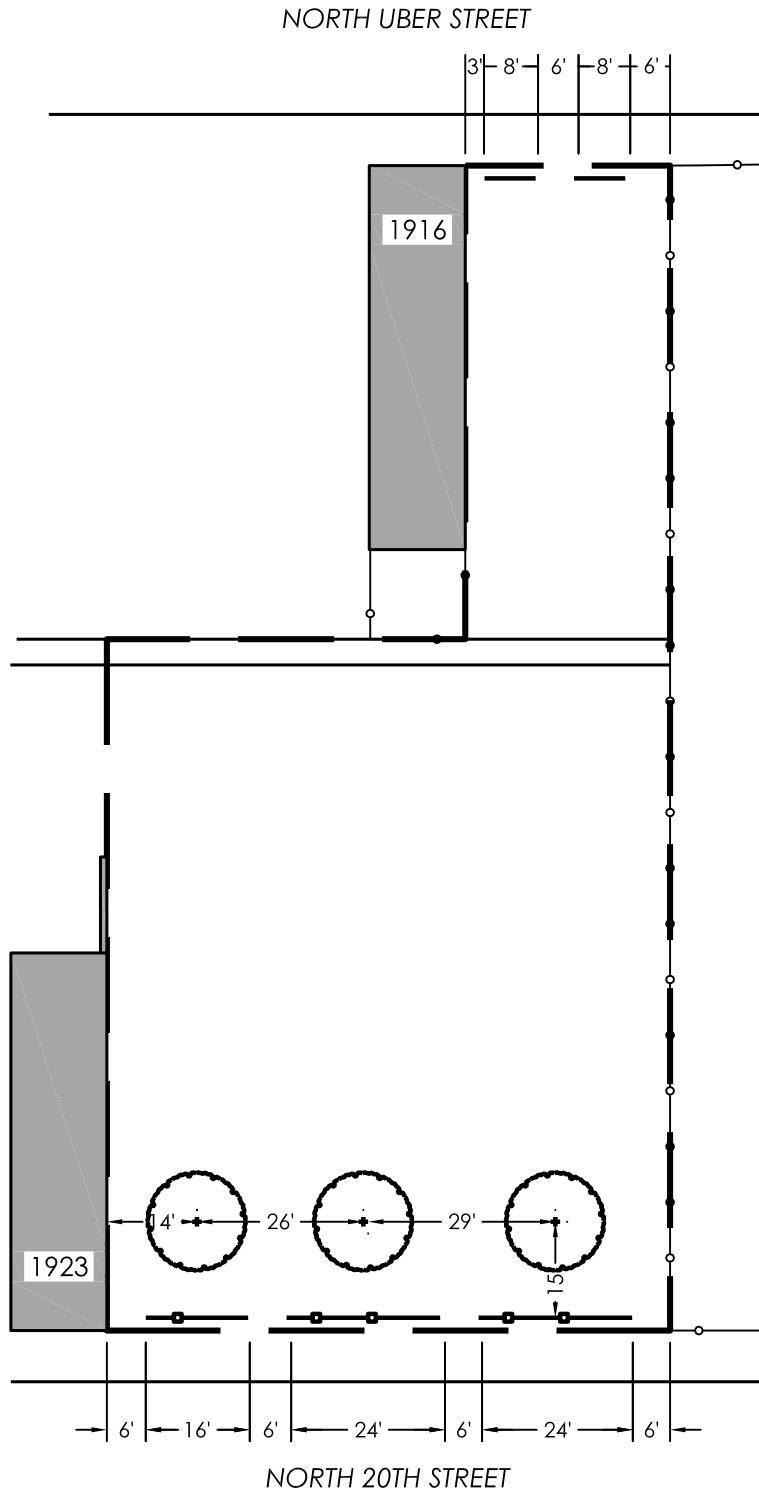




NORTH UBER STREET



Initial Date 8/15/2023		<b>EXISTING CONDITIONS</b> 1911-1921 NORTH 20TH STREET; 1912-1914 NORTH UBER STREET	Project Of: 	Project Manager: 
Scale 1" = 30'				
Group D VL10621NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date  
8/15/2023

Scale  
1" = 30'

Group D

VL10621NC\_CLP



## FENCE & TREE LAYOUT

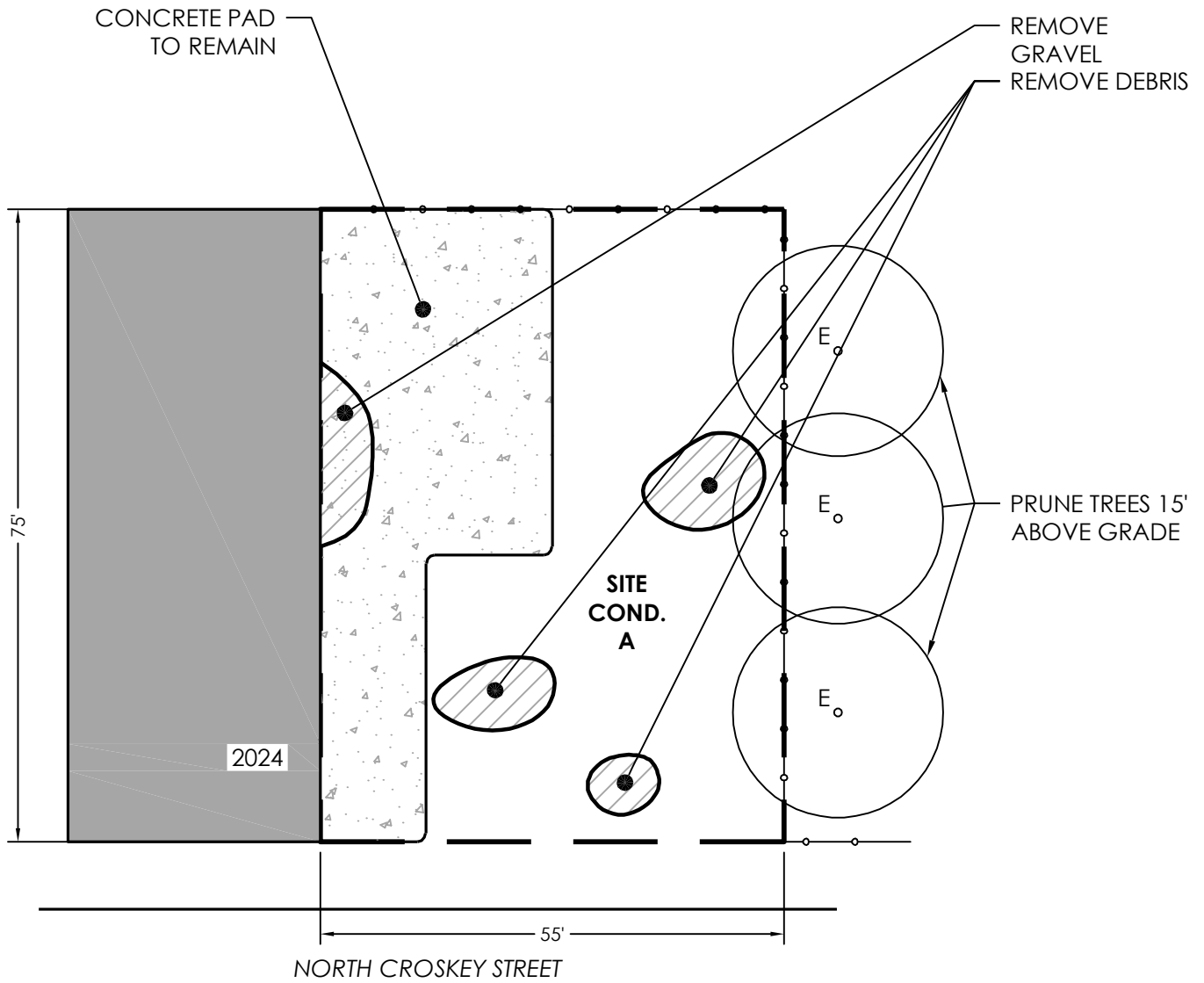
1911-1921 NORTH 20TH STREET; 1912-1914 NORTH UBER STREET

Project Of:

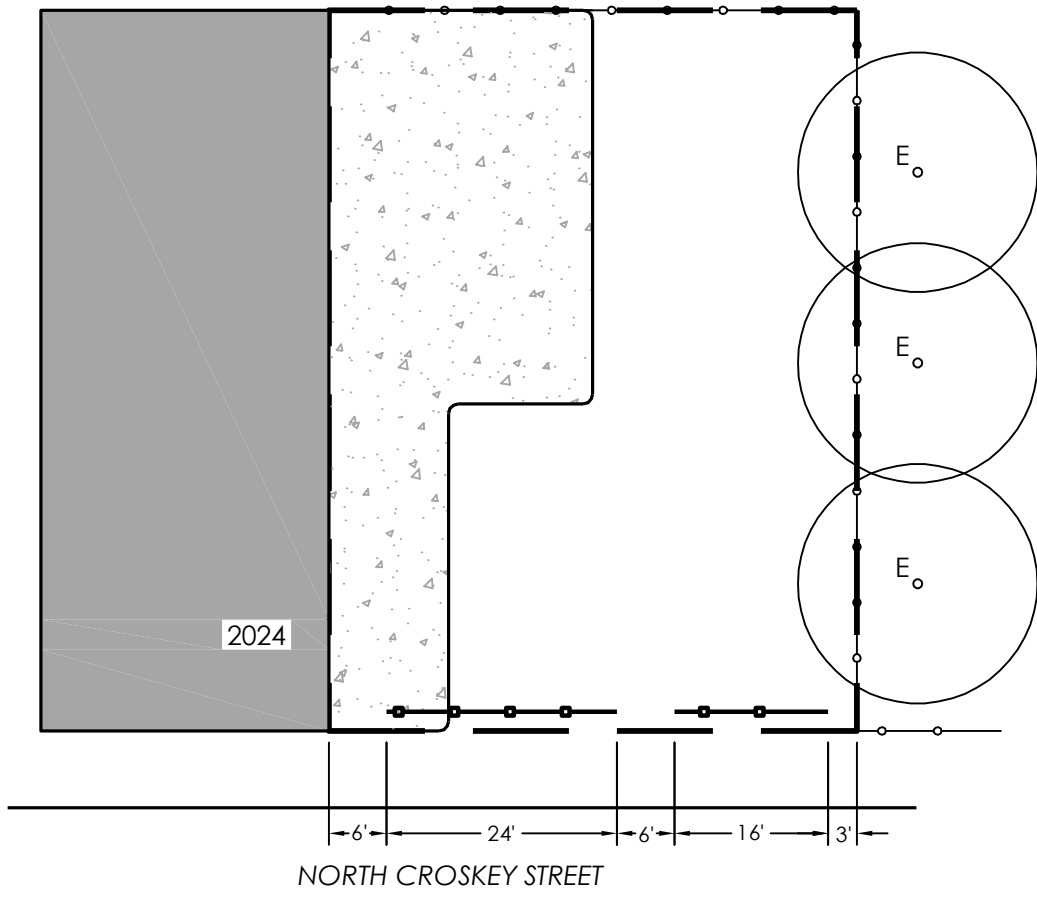


Project Manager:

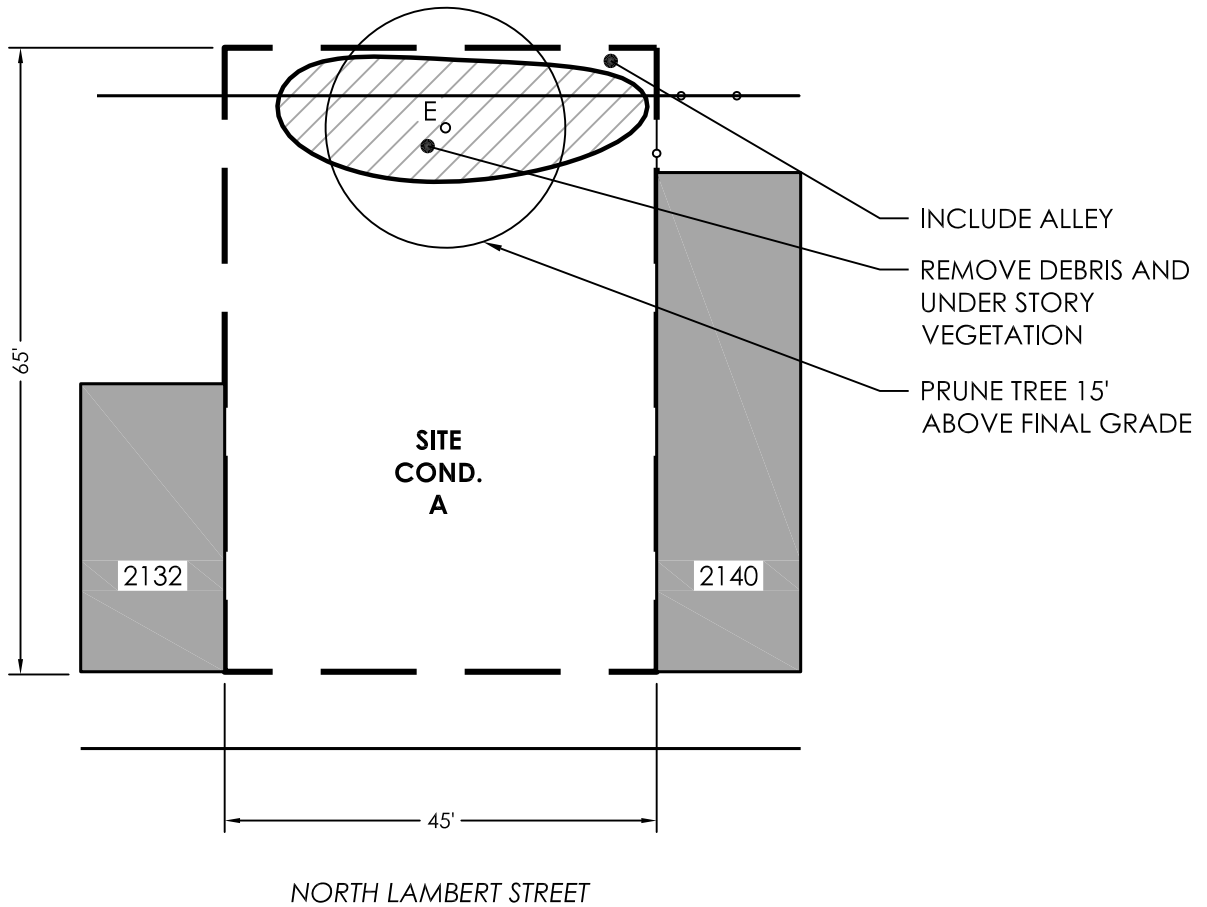




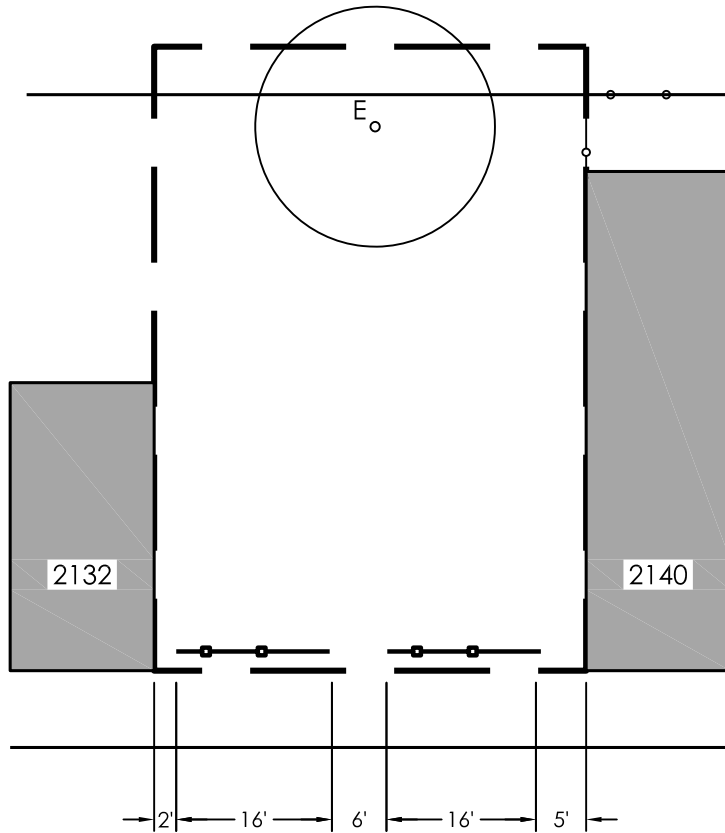
Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>1021-23 NORTH CROSKY STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VLT0622NC CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date 8/15/2023		<h2>FENCE &amp; TREE LAYOUT</h2> <p>1021-23 NORTH CROSKEY STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VI10622NC_CIP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		

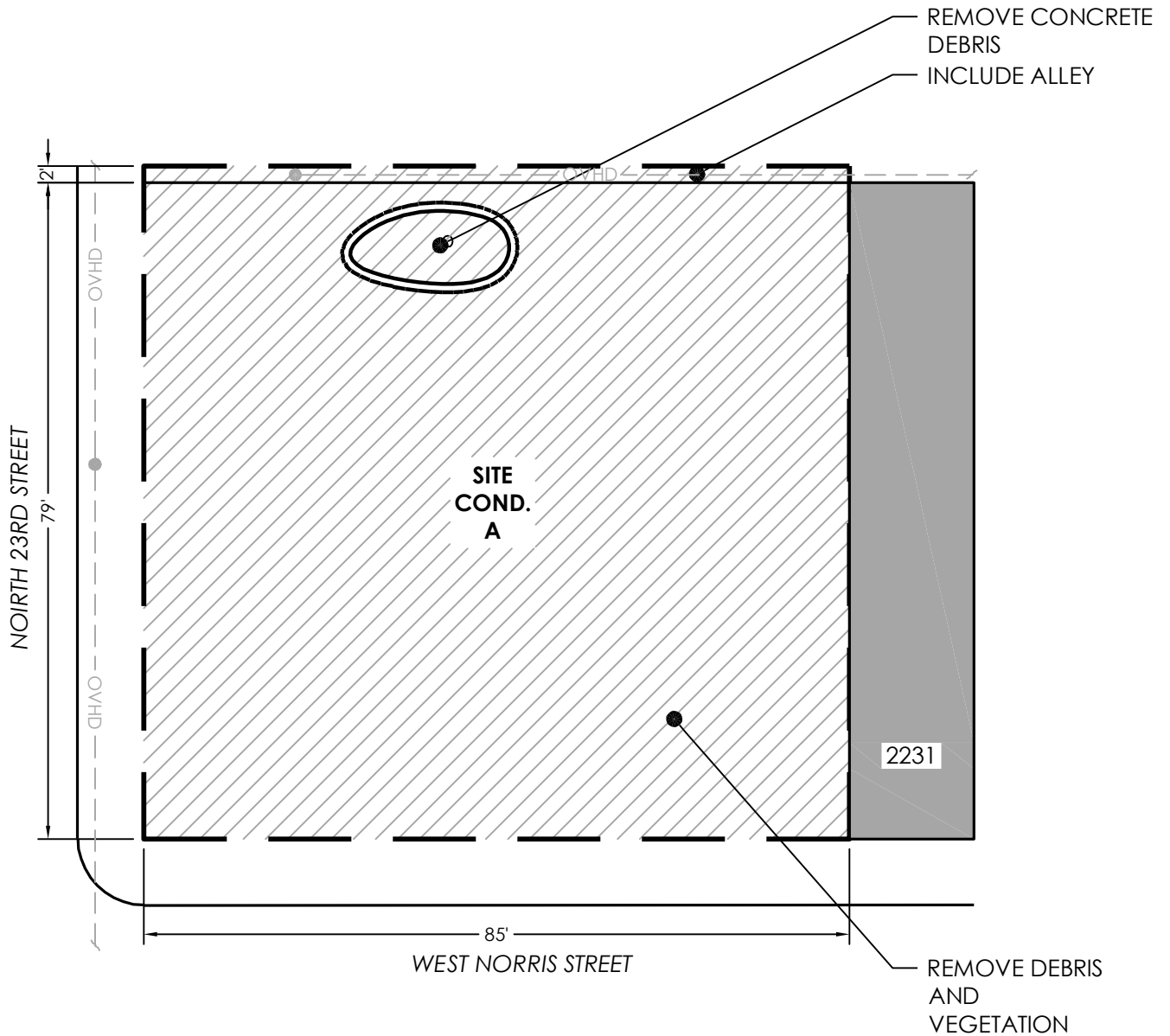


Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2134-2138 NORTH LAMBERT STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL10628NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				

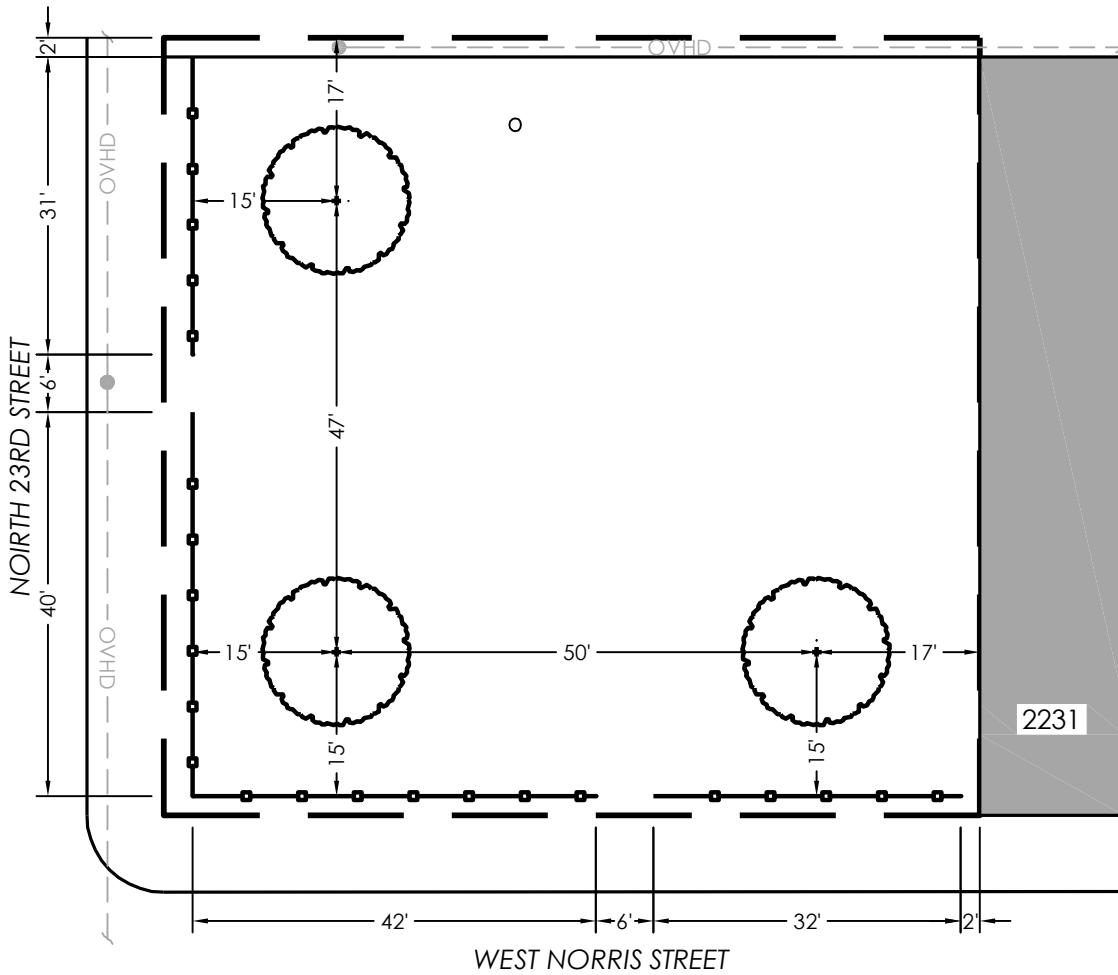


NORTH LAMBERT STREET

Initial Date 8/15/2023		<b>FENCE &amp; TREE LAYOUT</b> 2134-2138 NORTH LAMBERT STREET	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL10628NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2233-2241 WEST NORRIS STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D VLT063TNC CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group D

VI10631NC CIP



## FENCE & TREE LAYOUT

2233-2241 WEST NORRIS STREET

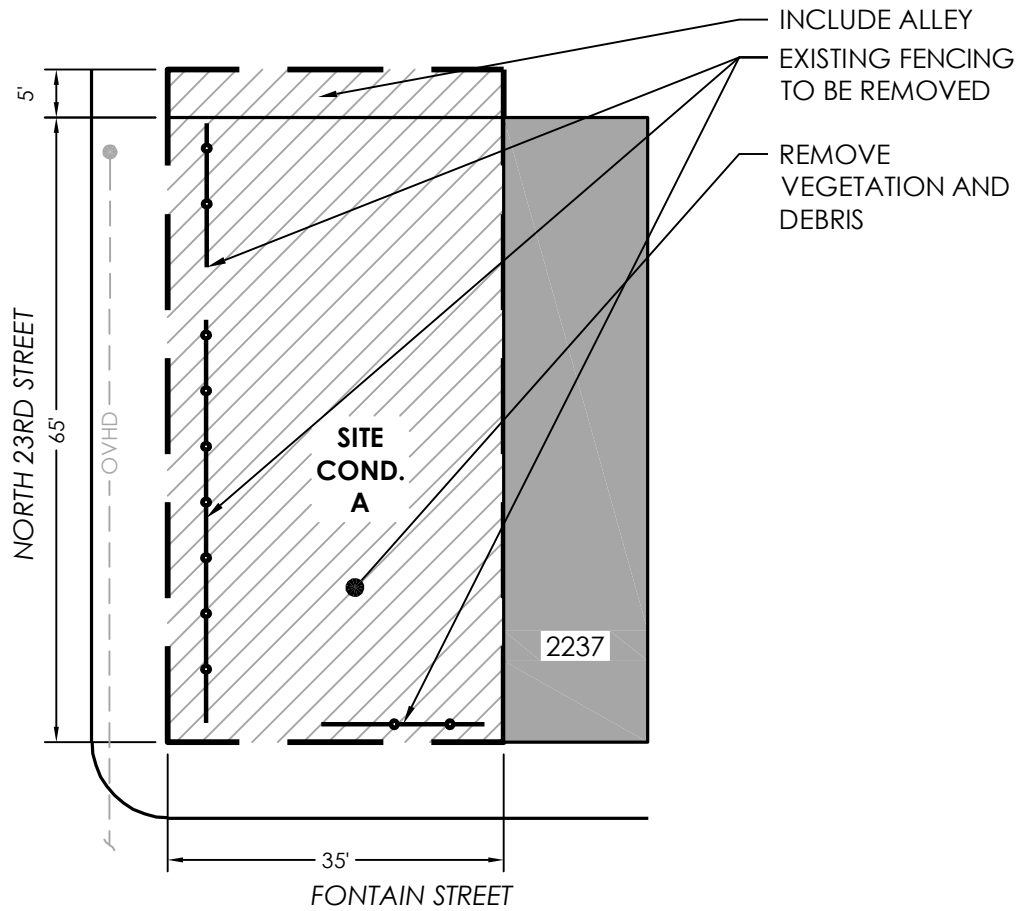
Project Of:



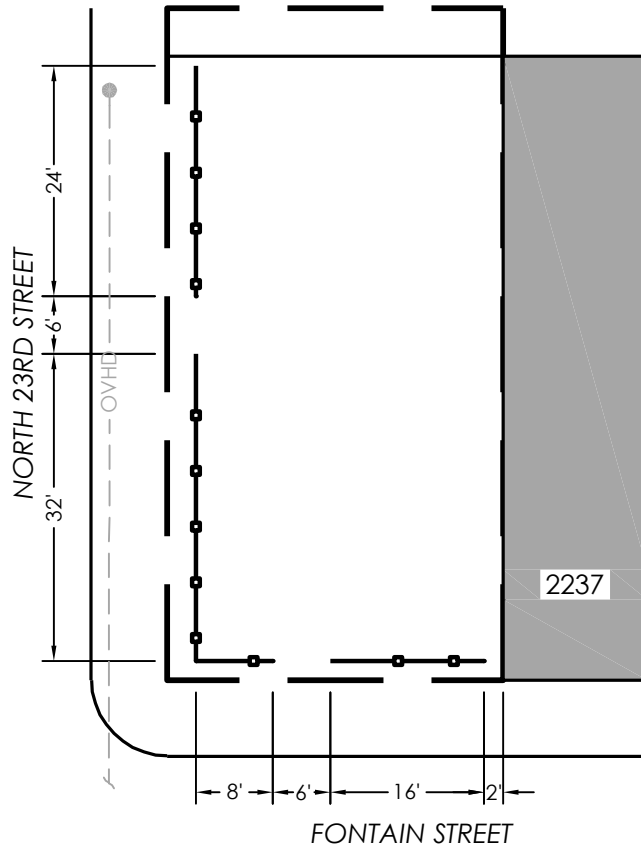
Project Manager:







Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2239-2241 FONTAIN STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VLT0632NC CLP		<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>		



Initial Date  
8/15/2023

Scale  
1" = 20'

Group D

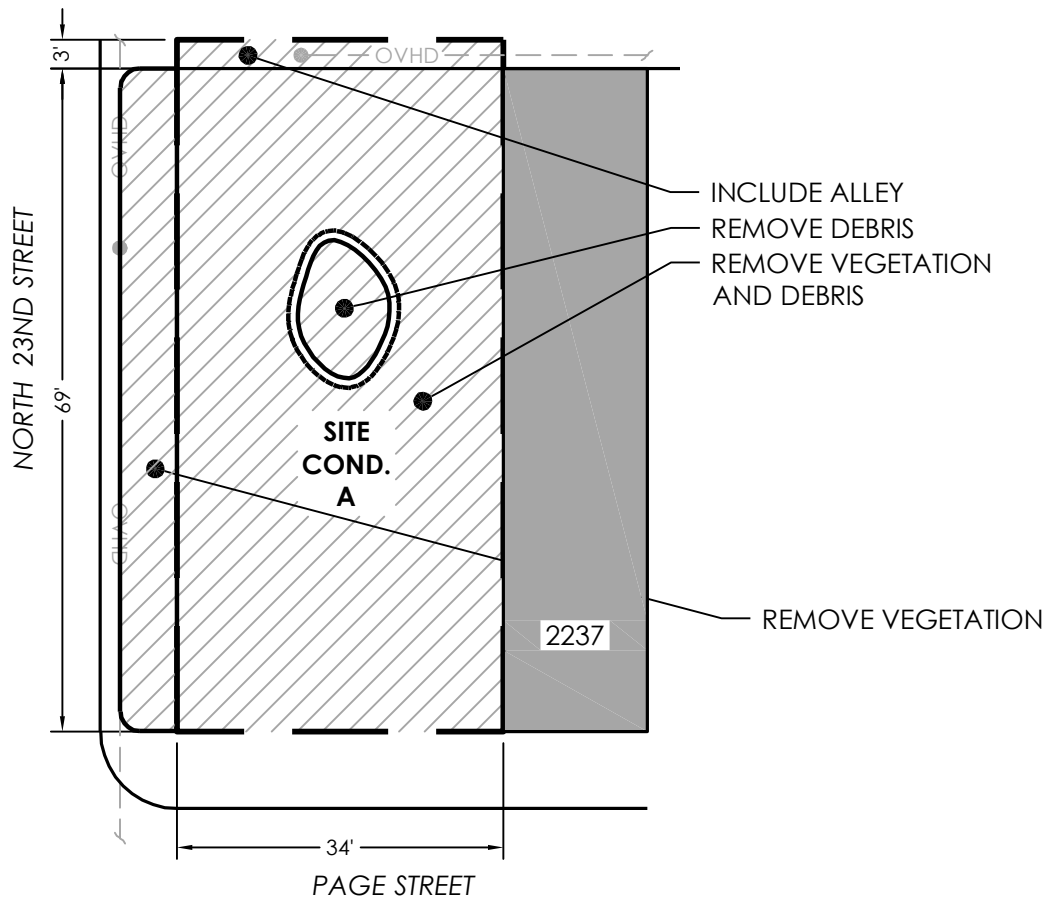
VI10632NC CIP



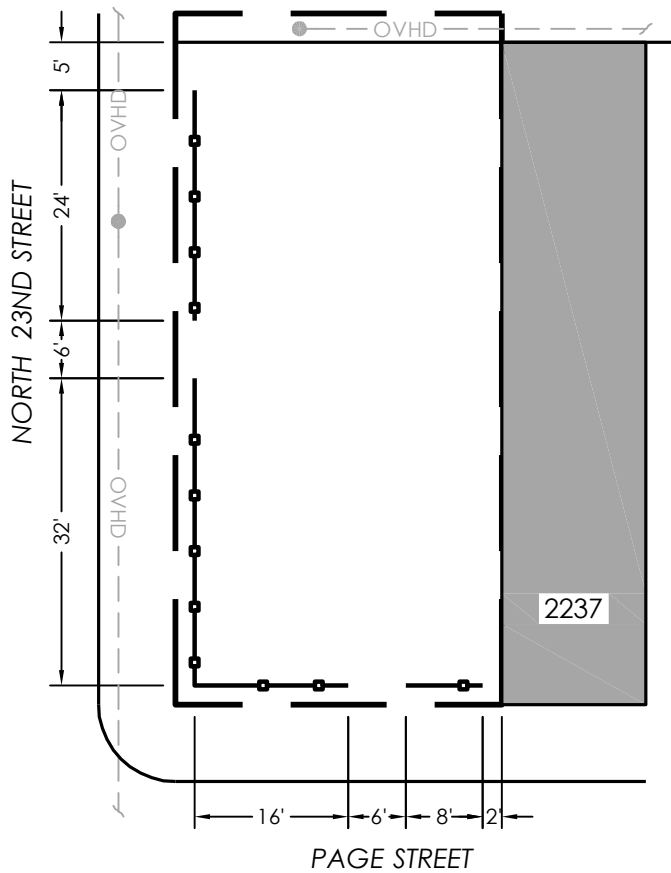
# FENCE & TREE LAYOUT

2239-2241 FONTAIN STREET





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2239-2241 PAGE STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D VLT0633NC CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group D

VI10633NC CIP



# FENCE & TREE LAYOUT

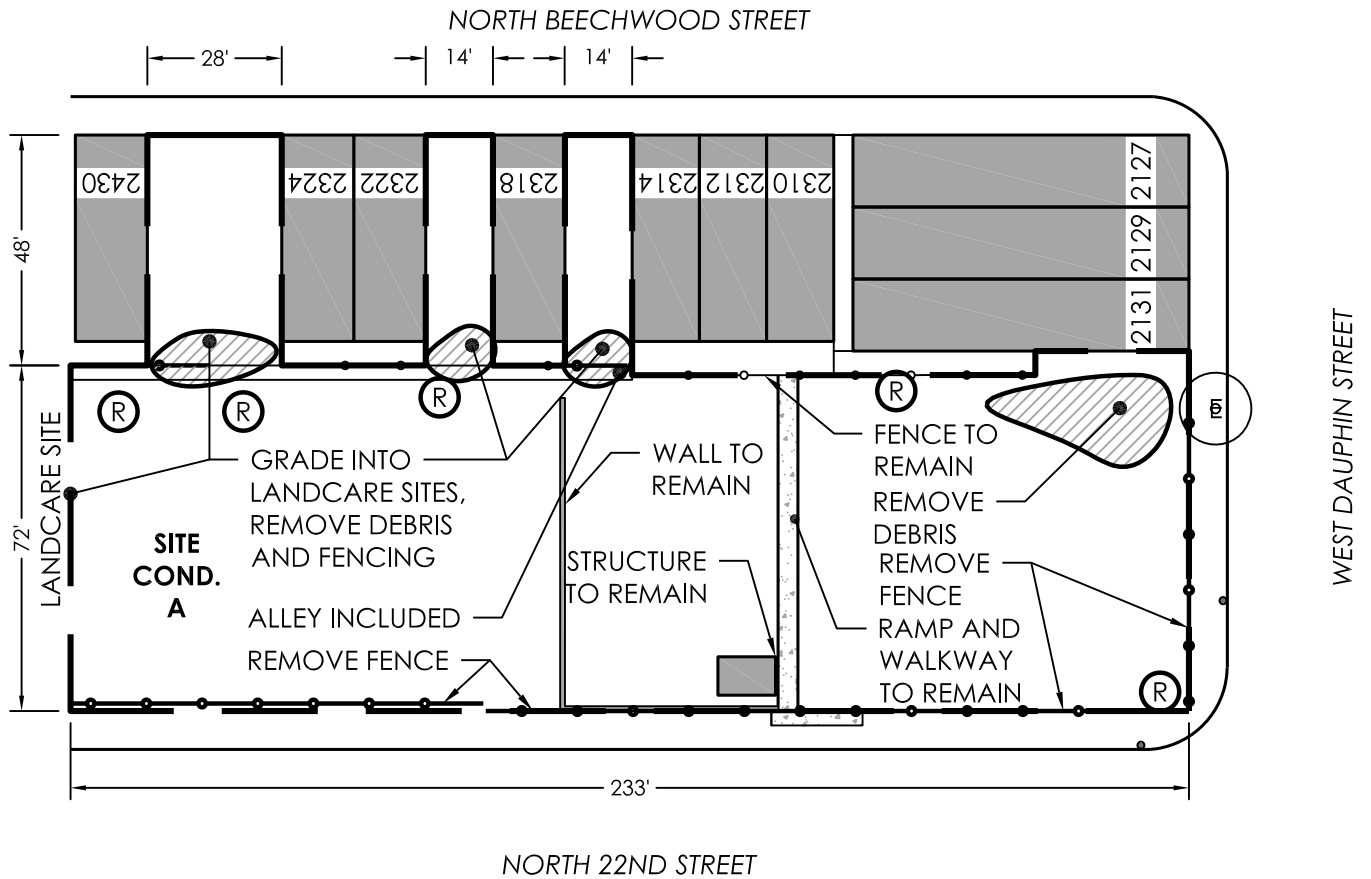
2239-2241 PAGE STREET

Project Of:

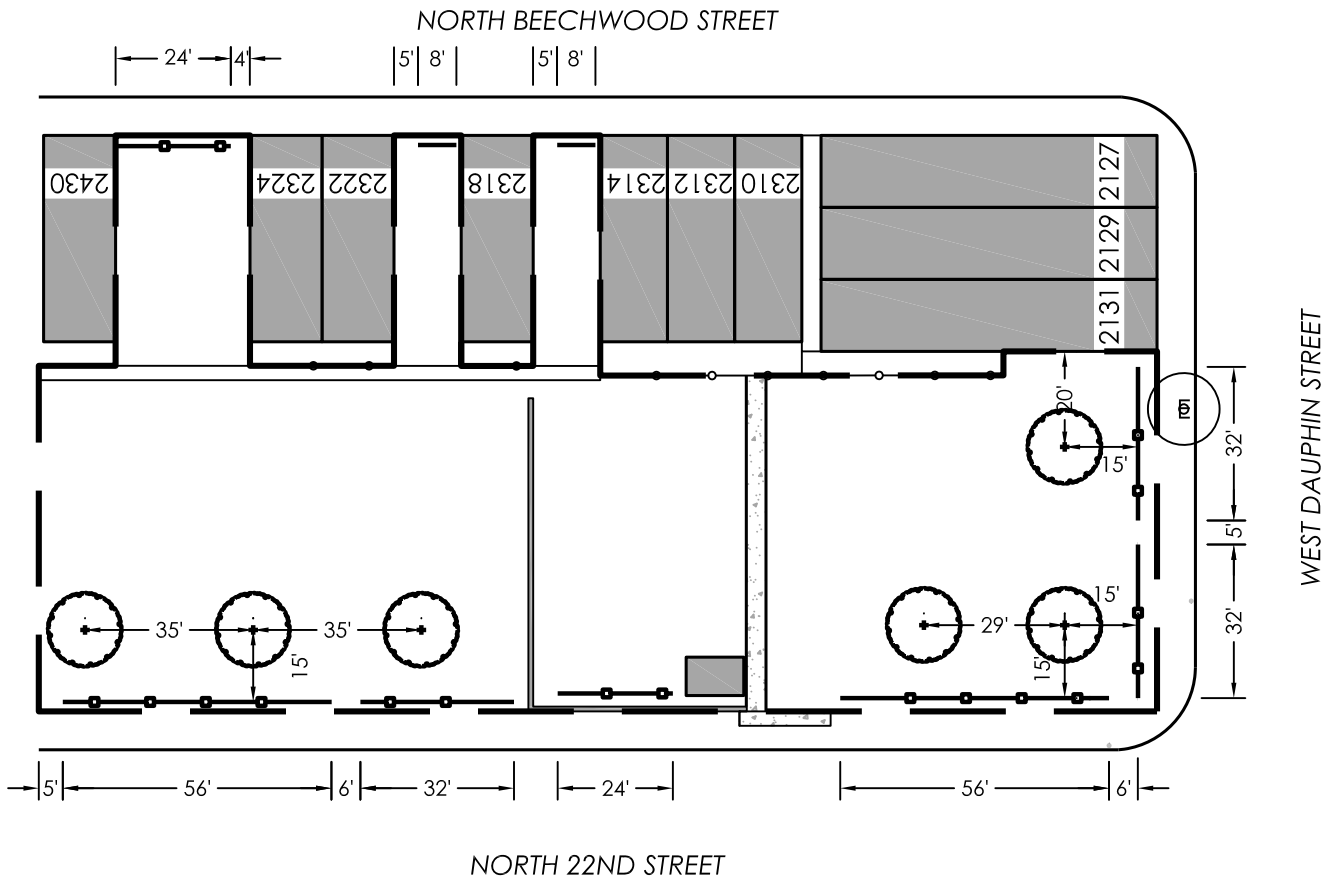


Project Manager:





Initial Date 8/15/22		<h1>EXISTING CONDITIONS</h1>	Project Of:	Project Manager:
Scale 1" = 40'				
Group D				
VL10634NC_CLP		THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800		



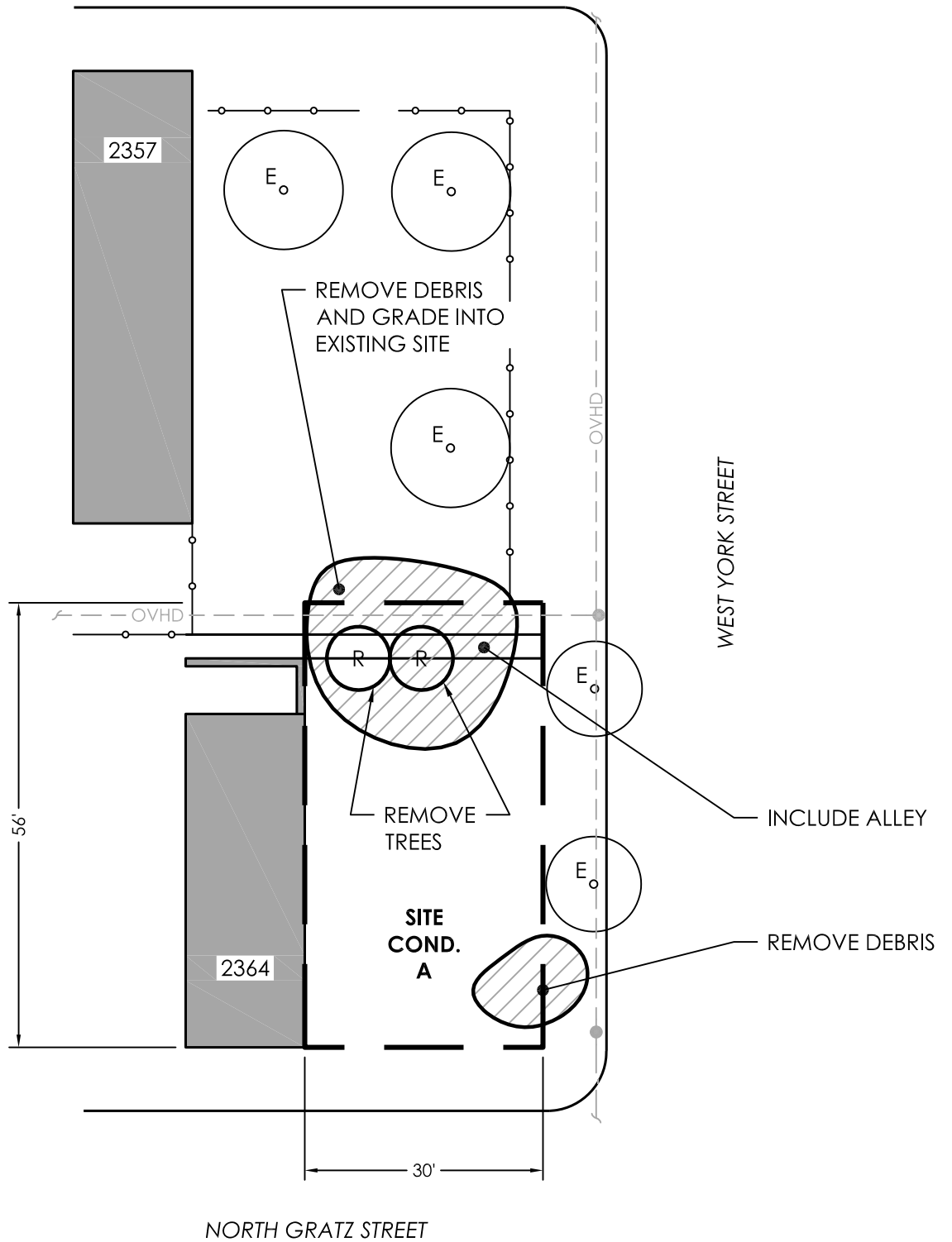
Initial Date  
8/15/22  
Scale  
1" = 40'  
Group D



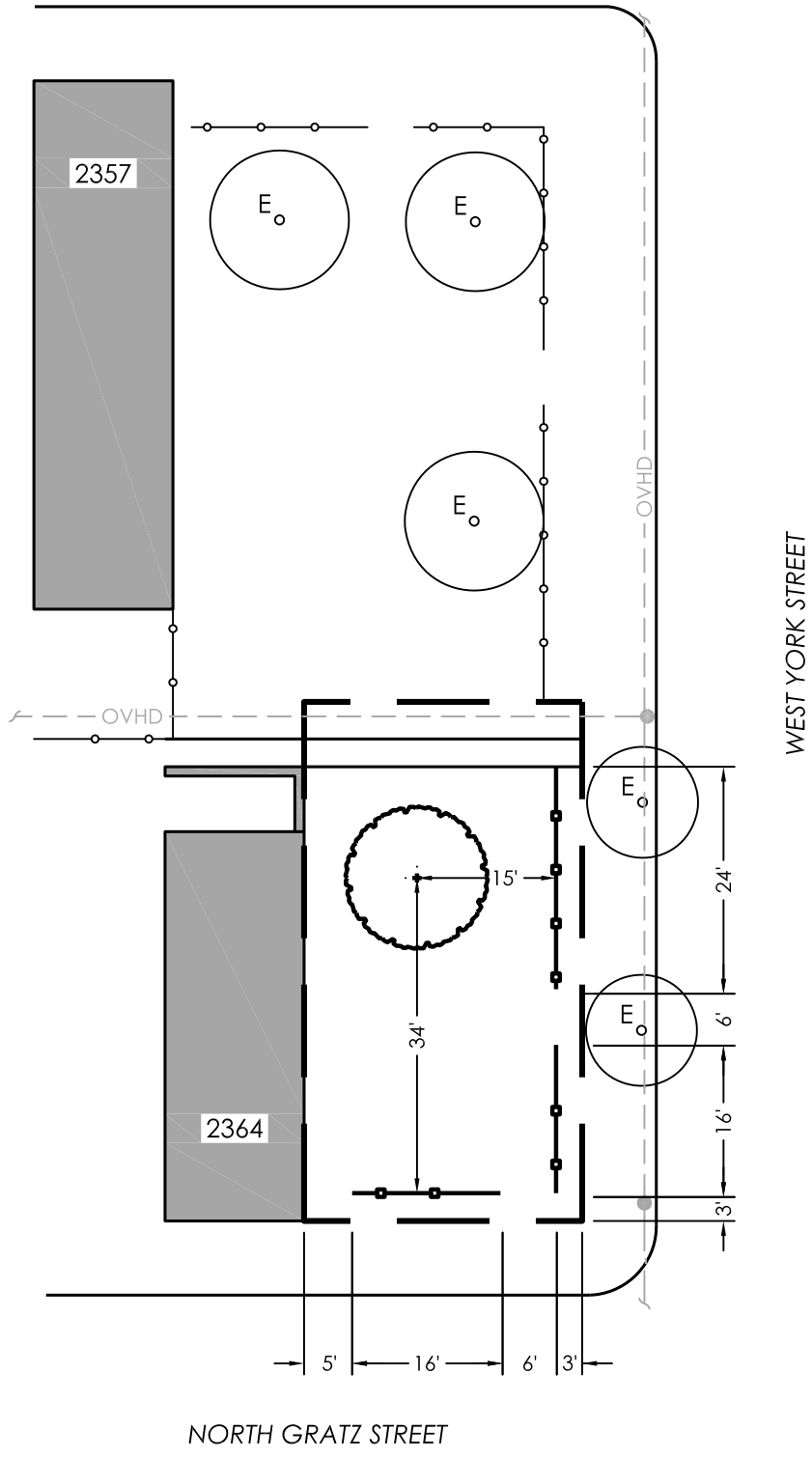
## FENCE & TREE LAYOUT

2301-2325 N 22ND STREET; 2316, 2320, 2326-2328 N BEECHWOOD STREET





Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2366-2368 NORTH GRATZ STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL10637NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group D

VL10637NC\_CLP

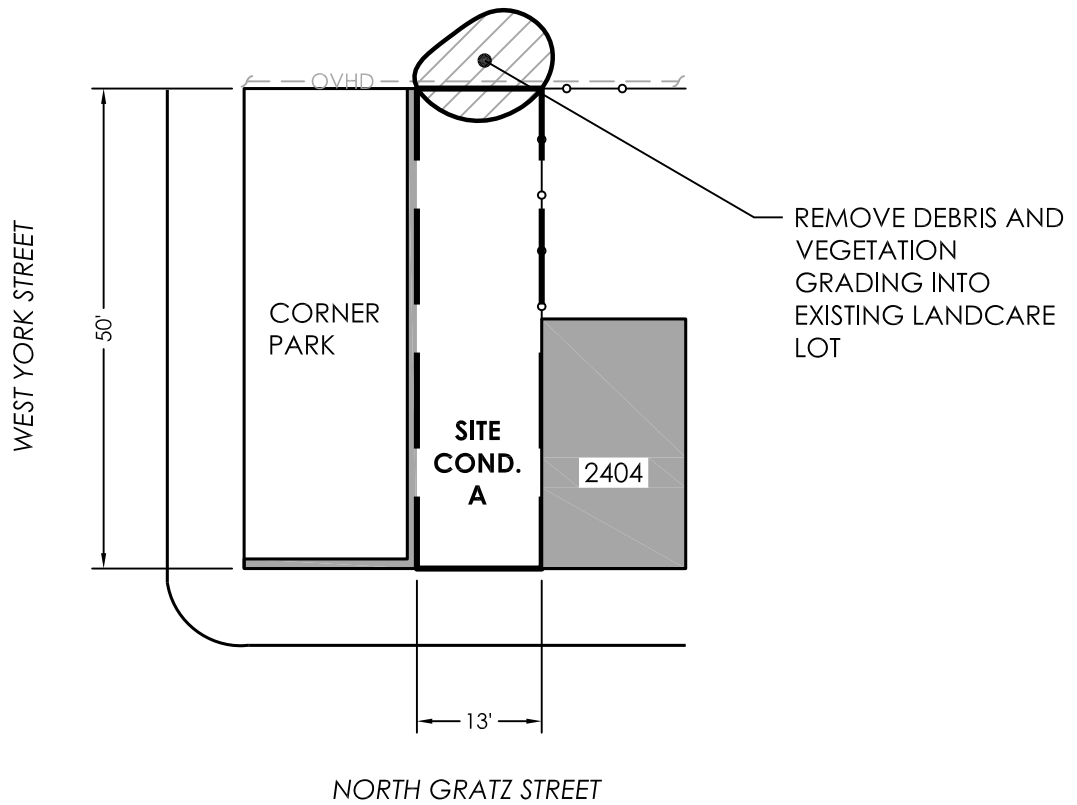


# FENCE & TREE LAYOUT

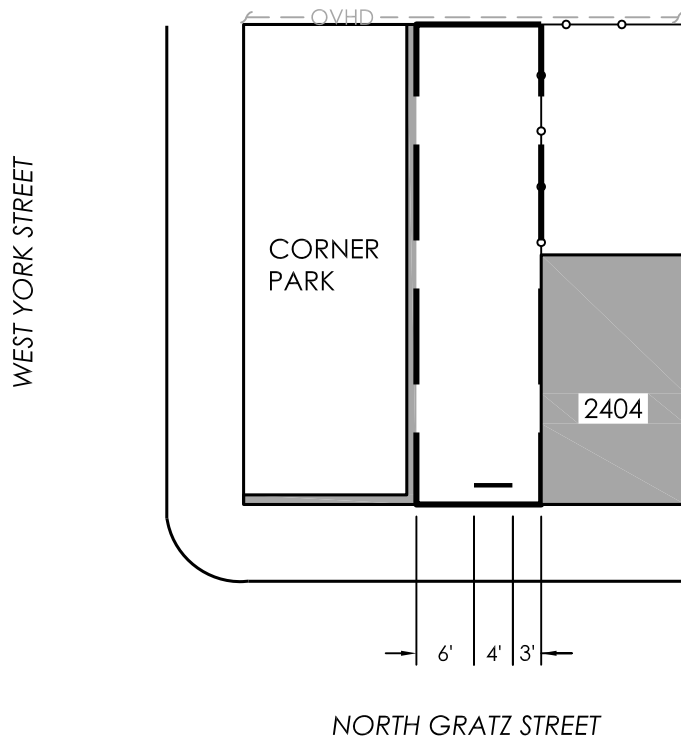
2366-2368 NORTH GRATZ STREET







Initial Date 8/15/2023		<h1>EXISTING CONDITIONS</h1> <p>2402 NORTH GRATZ STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL10638NC_CLP				
<p>THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800</p>				



Initial Date  
8/15/2023

Scale  
1" = 20'

Group D

VL10638NC\_CLP



# FENCE & TREE LAYOUT

2402 NORTH GRATZ STREET

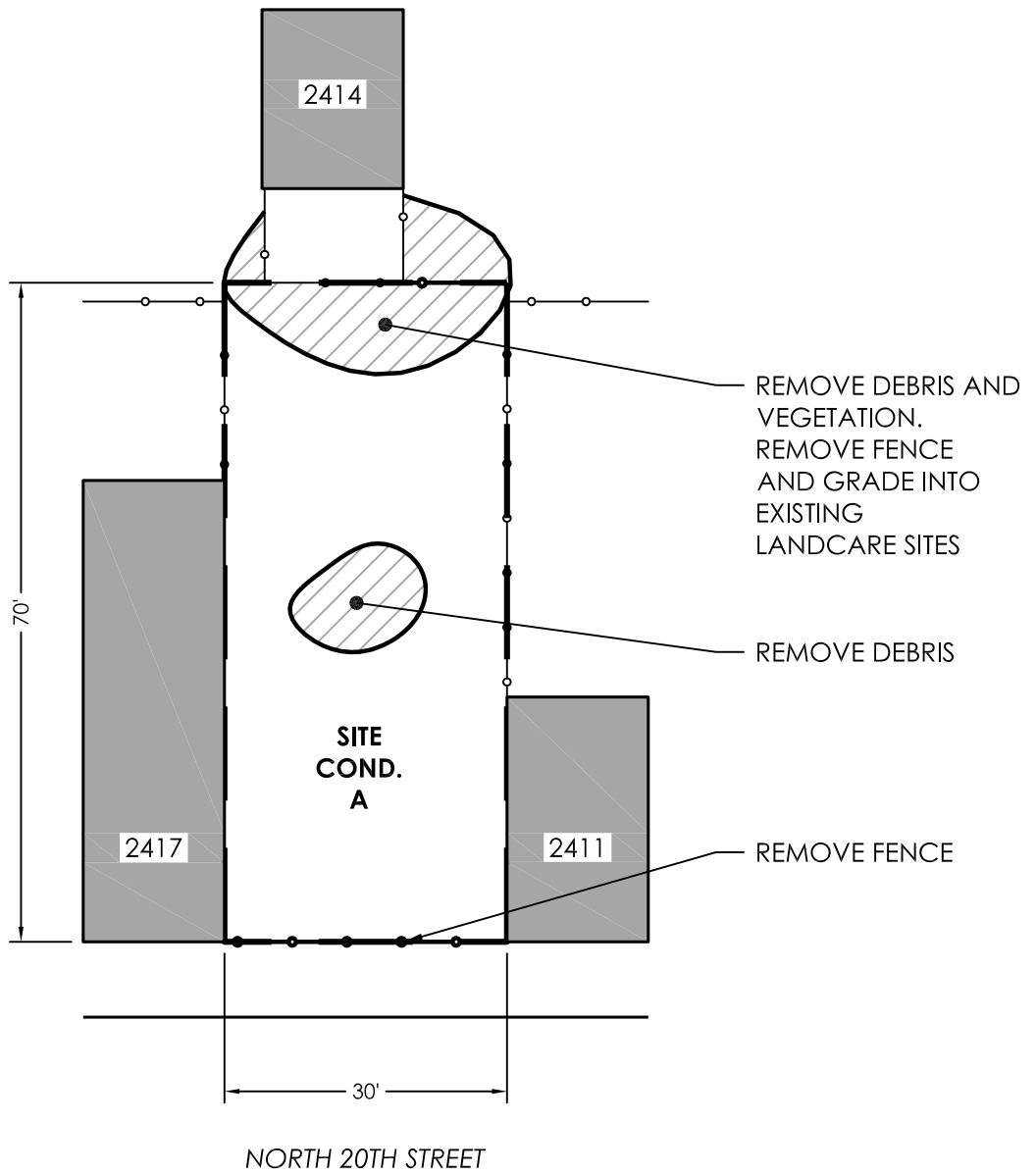
Project Of:



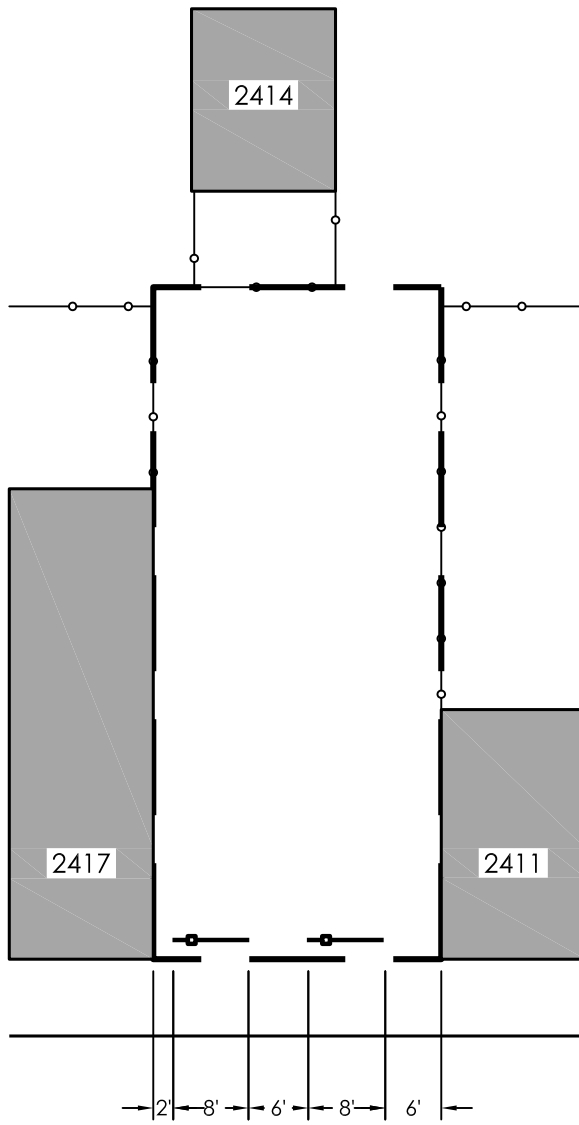
Project Manager:



**PHS**



Initial Date 8/15/2023		<h2>EXISTING CONDITIONS</h2> <p>2413-2415 NORTH 20TH STREET</p>	Project Of:	Project Manager:
Scale 1" = 20'				
Group D				
VL10639NC_CLP				
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				



NORTH 20TH STREET

Initial Date 8/15/2023		<h2 style="text-align: center;">FENCE &amp; TREE LAYOUT</h2> <p style="text-align: center;">2413-2415 NORTH 20TH STREET</p>	Project Of: 	Project Manager:  <b>PHS</b>
Scale 1" = 20'			Group D	VL10639NC_CLP
THE PENNSYLVANIA HORTICULTURAL SOCIETY - 100 NORTH 20TH ST, 5TH FLOOR - PHILADELPHIA, PA 19103-1495 - 215-988-8800				